

# HERMANUS CBD

## Public Space Manual

2nd Draft - June 2019



Hermanus CBD  
Public Space Manual  
2nd DRAFT REPORT

Document prepared for Overstrand Municipality



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# GLOSSARY

|      |                                   |
|------|-----------------------------------|
| CBD  | Central Business District         |
| CCTV | Closed Circuit Television         |
| NGO  | Non-Governmental Organisation     |
| SUDS | Sustainable Urban Drainage System |

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# 1. INTRODUCTION

## 1.1. PURPOSE OF THIS MANUAL

The Hermanus CBD requires a cohesive public realm with a unified material language for streetscapes and open space areas. Over the previous years the improvements to Market Square, Gearing's Point and the cliff path walkways have undoubtedly made a dramatic improvement to the quality of the public spaces of the Hermanus CBD. Similarly, the investments in the public realm associated with the Station Square and Woolworths developments have reinforced the quality of the town. However, much remains to be done.

These newly landscaped spaces do not connect well with the core CBD and a number of the streets and spaces of this core are in poor condition. There is a multitude of different paving materials and a variety of types of street furniture.

The Hermanus Public Space manual is one of the tools for fulfilling the town's strategy in planning, designing, managing, operating and using quality public spaces. The manual is a document responding to Hermanus's CBD Regeneration Framework that identifies the importance of public spaces for the quality of life in the CBD. The regeneration objectives identified promote a strengthened sense of place, promote ease of access and creates a vibrant public realm.

In order to achieve these objectives, an unified design language has to be adopted and rolled out throughout the CBD.

The Public Space Manual needs to fulfill a number of requirements, these include:

- Define the character and branding of the public domain in order to contribute to the "sense of Place" of the Hermanus CBD;
- Identify the appropriate materials and furniture for use in the public realm;
- Give guidance on how and where to use materials and furniture in the public realm;
- Consider maintenance aspects; and
- Consider management of replacement stock for the various elements used in the public domain.

The Public Space Manual contains the following components:

- Public Space Considerations and Objectives;
- Understanding Public Space in Hermanus CBD;
- Material Palette;
- Desired Streetscapes; and
- Maintenance considerations and implementation strategy.

The Public Space Manual is designed to be a "living document", that is consistently updated to ensure that it is up to date with the latest developments in terms of materials, use and application.

## 1.2. WHO IS THE DOCUMENT INTENDED FOR

The Hermanus Public Space Manual has been prepared to provide a set of objectives and guidelines to assist both the Overstrand Municipality, consultants and private developers to achieve continuity in the design and quality of Hermanus's streetscapes and public spaces.

This manual aims to contribute to the desired future character of the Hermanus CBD being reflected in the public domain, providing guidelines for the design of streetscapes and open space areas.

The manual should be read in conjunction with other necessary council by-laws and policies, these include:

- Outdoor Advertising and Signage Bylaw (March 2011);
- Draft Heritage Protection Overlay Zone Regulations (Sept 2016);
- Parking Management By law and amendments (Sept 2014);
- Standard planning by-law;
- Urban Tree Policy (March 2017);
- Overstrand Municipality SDF (2006);
- Hermanus CBD Regeneration Framework (2016); and
- Provincial Sustainable Transport Programme-Overstrand Sustainable Transport Plan (2018).

Most of these documents can be found on the Overstrand Municipality Website.

# 1.3. HOW TO USE THE DOCUMENT

The manual is not intended to enforce codes or regulations but instead developed to be a helpful design tool for the public domain in the Hermanus CBD.

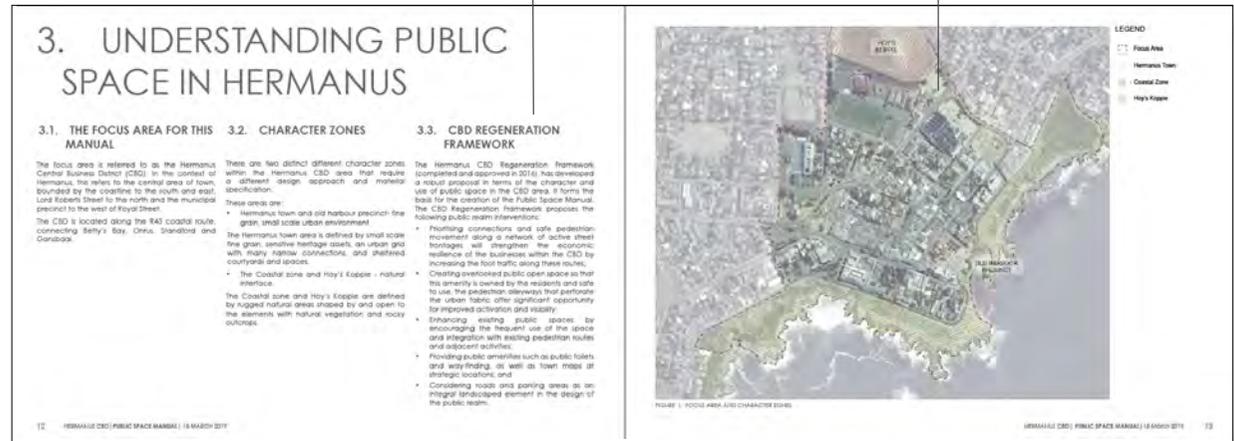
The manual provides guidelines and material pallets for public spaces and should be used by the municipality and private landowners within the CBD to guide development to ensure a cohesive public environment is created.

## PUBLIC SPACE INTRODUCTION

introduction to the manual

**WHAT:** Background and descriptions of existing and proposed public spaces

**WHERE:** Map of the Hermanus CBD showing existing and proposed public space interventions



## MATERIAL PALLET FOR THE CBD

application and rules for public spaces

**HOW:** Guiding principles and placement diagrams

**WHAT:** Specified product image. Description and specification of the product

**WHERE:** Where the product should be used

Sub-chapter identification  
Introduction to the chapter summarising the principles in words:

Precedent images and examples

Page number

| 5.4. BOLLARDS + BARRIERS + EDGES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Guiding principles and placement                                                                                                                                                                                                                                                                                                                                                                                                             | product                          | description                                                                                                                                                           | application                                                                                                                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>The Hermanus CBD strives to be a walkable, people friendly environment. As such bollards and barriers are used primarily to prevent cars from entering or parking in spaces designed for pedestrians. In some cases, bollards can be used to define and demarcate pedestrian dominant spaces.</p> <p>Bollards are vulnerable to being knocked over by vehicles and require maintenance. Whenever possible the Hermanus stone walls should be used as barriers to entrance the unique sense of place within the CBD, provide multifunctional seating areas and provide visual demarcation and screens to parking areas.</p> <p>PHOTOGRAPH 3. STEEL BOLLARDS IN SHARED SPACE</p> | <p>Use stone walls rather than bollards to demarcate and protect pedestrian pedestrian areas.</p> <p>Bollards should not be lower than 800mm to ensure that they are visible above a car.</p> <p>Post and rail system can be used in natural areas as a demarcation between vehicular and pedestrian space or as a protective barrier of view points and along paths.</p> <p>In the CBD, posts should not be joined with chairs or rails</p> | <p>Bollards</p> <p>Barrriers</p> | <p>Resin based polycarbonate bollard, 800mm height from finished paving level, lignous or similar. Colour and finish: integral powder finish in RAL 5008</p>          | <ul style="list-style-type: none"> <li>Within the CBD area</li> <li>Coastal zone</li> </ul>                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                  | <p>Steel 'Round 150 Flat Top' Bollard, Streetscape or similar. Size: Diameter: 150mm, Height Above Ground: 900mm. Colour and finish : painted steel in RAL 5008</p>   | <ul style="list-style-type: none"> <li>Within the CBD area</li> </ul>                                                                                         |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                  | <p>Steel 'Newlon' Bollard, Streetscape or similar. Size: Height Above Ground : 900mm. Colour and finish : painted steel in RAL 5008</p>                               | <ul style="list-style-type: none"> <li>Within the CBD area</li> </ul>                                                                                         |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                  | <p>Exposed aggregate concrete 'Bloc 220' bollard, Streetscape or similar. Size diameter: 220mm, Height Above Ground: 900mm. Colour and finish: exposed aggregate.</p> | <ul style="list-style-type: none"> <li>In the Coastal zone</li> </ul>                                                                                         |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                  | <p>In situ natural sandstone wall 450mm high, 400mm wide with concrete capping</p>                                                                                    | <ul style="list-style-type: none"> <li>Throughout Hermanus</li> <li>Can be used as demarcation of pedestrian alleyways.</li> </ul>                            |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                  | <p>Gum pole post and rail. Size: Finish: Natural</p>                                                                                                                  | <ul style="list-style-type: none"> <li>Coastal zone and Hays kapple</li> <li>as a protective barrier of view points and along paths as a hand rail</li> </ul> |

FIGURE 1. HOW TO USE THE HERMANUS CBD PUBLIC SPACE MANUAL



## PROMOTE SAFETY + SECURITY IN THE PUBLIC DOMAIN



Safety and security are fundamental aspects that need to be considered when operating in the public domain. This includes ensuring that spaces are active, legible, visible and allow for passive surveillance. Public space design should avoid creating hiding places and ensure adequate lighting at night at the appropriate places. Clutter, decay and outstanding maintenance, all negatively affect the overall experience and perception of safety and security of public spaces.

## ENSURE UNIVERSAL ACCESS



Public space needs to be accessible for all people and needs to make provision for people with special needs. This includes people in wheelchairs or other mobility problems, visually impaired and people with prams.

This means that pedestrian routes require even surfaces, dropped kerbs at crossings, ramps that are a maximum of 1:12 max and colour differentiation that supports the definition of functional areas.

## MAKE THE CBD MORE GREEN, WHY TREES?



Trees within the public realm are important as they add to the quality and experience of public space. Additionally street trees are specifically important to the ecological functioning of the CBD and aid in the the reduction of heat, provision of shade, retention of water, prevention of erosion, reduction of greenhouse gas, improvement of subsoil, as well as improved biodiversity.

## STRENGTHEN RESILIENCE AND PROMOTE BEST PRACTISE



International best practice should guide public realm developments in Hermanus. Specific best practice principles related to the public space include:

- Sustainable storm water management;
- Reduction of hard, paved surfaces to reduce the "heat island effect", improve water attenuation; and,
- Reduction of water consumption and considerations on the use of materials and their impact on the environment.

It also includes improvement of walkability, promotion of cycling, public transport and reduction of private motorised transport use.

## CREATE A WALKABLE CBD AND AN ENVIRONMENT THAT PROMOTES CYCLING



This can be achieved by prioritising connections and safe pedestrian movement along a network of active street frontages. And by increasing the foot traffic along these routes, the economic resilience of the businesses within the CBD can be strengthened. Hermanus currently lacks acceptable cycling infrastructure and a complete network of cycling paths is required. These routes should be dedicated and specially demarcated on High Mobility and Structuring Routes, and shared (integrated in the roadway) on local connectors and shared streets. The network needs to be combined with strategic places to park.

## MAKE DECISIONS WITH MANAGEMENT AND MAINTENANCE IN MIND



Maintenance and cleansing of the public domain is as important as good design. A cared for environment instills ownership and care from community members. This means that cleansing needs to be done appropriately, inspections need to be done regularly and maintenance needs to be done promptly. It also requires that municipal departments are easily contactable and swiftly act on requests from the public for maintenance and repairs.

# 3. UNDERSTANDING PUBLIC SPACE IN HERMANUS

## 3.1. THE FOCUS AREA FOR THIS MANUAL

The focus area for this manual is referred to as the Hermanus Central Business District (CBD). In the context of Hermanus, this refers to the central area of town, bounded by the coastline to the south and east, Lord Roberts Street to the north and the municipal precinct to the west of Royal Street.

This manual places emphasis on the design and materiality of public spaces within the CBD. These public spaces include, squares, transit areas, parks, natural open areas and roads and parking areas.

## 3.2. CELEBRATING THE HISTORIC CHARACTER

Hermanus CBD has a unique character as an historic fishing village with an important relationship between the historic village and natural coastal edge.

Hermanus was founded on the basis of these rich and diverse (natural) resources which contribute to its unique identity and strong sense of place. Reminders of the relationship with the coast and its history as small fishing village can be found scattered throughout the CBD and the historic harbour area. The 2009 Overstrand Heritage Survey identified several buildings of local heritage importance with the most complete segments found on Aberdeen, Long and High Streets. Other important historic reminders are the passageways that link the CBD to the coast and the informal paths (that have been formalized into the cliff path), originally used by fishermen going to specific fishing points. The cliff path that runs along the coast still has a significant number of the place

names that have links with fishing and are historic fishing spots.

The Hermanus Regeneration Framework already proposed the protection and enhancement of heritage resources through adaptive reuse and improved NMT/walkable connections of public realm that links through the CBD and to the coast. In addition the choice and limitation of materials and landscape palette for the CBD as defined in this manual provides a canvas for the history of Hermanus. Rather than direct and pastiche reminders, the pallet seeks to reveal the existing structures and enhance the grain and character that drew people to the area in the first place. Lastly, the manual identifies areas for various special interventions, like public art, with the intention that this can contribute to the sense of place and the narratives of the area.

## 3.3. CHARACTER ZONES

There are two distinct different character zones within the Hermanus CBD area that require a different design approach and material specification.

These two character zones are:

 Hermanus town and old harbour precinct with its fine grain and small scale urban character.

The Hermanus town area is defined by small scale fine grain, sensitive heritage assets, an urban grid with many narrow connections, and sheltered courtyards and spaces.

 The Coastal zone and Hoy's Koppie - natural interface.

The Coastal zone and Hoy's Koppie are defined by rugged natural areas shaped by and open to the elements with natural vegetation and rocky outcrops.



PHOTOGRAPH 1. CLIFF PATH COASTAL WALK



PHOTOGRAPH 2. ENTRANCE TO HOY'S KOPPIE - NATURAL INTERFACE



PHOTOGRAPH 3. HERMANUS CBD OVERVIEW



## LEGEND

- Focus Area**
- Hermanus Town**  
 Hermanus town and old harbour precinct-fine grain, small scale urban environment.
- Coastal Zone - natural interface**  
 defined by rugged natural areas shaped by and open to the elements with natural vegetation and rocky outcrops.
- Hoy's Koppie - natural interface**  
 defined by rugged natural areas shaped by and open to the elements with natural vegetation and rocky outcrops.

FIGURE 3. FOCUS AREA FOR THE HERMANUS CBD PUBLIC SPACE MANUAL AND IDENTIFIED CHARACTER ZONES WITHIN THE FOCUS AREA

### 3.4. CHARACTER ZONE CHALLENGES AND CURRENT PERFORMANCE

The Hermanus CBD has a lack of cohesive design language that effects the quality of the public environment. This disjuncture creates spaces that are disconnected from one another, visually cluttered and in some cases difficult to maintain.

There are however two distinct challenges identified for each of the character zones:

#### Hermanus town and old harbour precinct:

The biggest challenge within Hermanus town is the dominance of cars and other motorised transport claiming space that should be pedestrianized and is detracting from the small scale historic character and soft and green pedestrian and NMT oriented environments. Therefore the main issues are:

- Dominance of cars and car parking; and
- Poor walkability, unsafe pedestrian crossings and lack of greening and street trees.

#### Coastal zone and Natural Environments:

The main challenge facing the Coastal zone is the degradation of the natural beauty and environment by an overload of (different forms of) information signage, artworks, planet exhibitions, waste bins, exposed infrastructure services kiosks, etc.

The coastal edge has become a dumping ground for masses of street furniture and needs to be curated, so that focus can be placed back onto the natural beauty of the environment.

These challenges need active intervention to be able to improve the overall quality of each character zone.



PHOTOGRAPH 4. MULTIPLE SIGNAGE AND FURNITURE TYPES CREATING CLUTTER



PHOTOGRAPH 5. HERMANUS STYLE SIGNAGE IN ONE COHESIVE LANGUAGE.



PHOTOGRAPH 6. DIFFERENT SIGNAGE STYLES AND ARTWORK COMPETING WITH THE NATURAL INTERFACE AND CREATING CLUTTER



PHOTOGRAPH 7. COASTAL ZONE WITH APPROPRIATE INTERVENTION



PHOTOGRAPH 8. FAILED SPECIALISED BINS



PHOTOGRAPH 9. VARYING SHADES OF BRIGHT BLUE STREET FURNITURE



PHOTOGRAPH 10. UNEVEN SIDEWALKS AND MIX OF MATERIALS



PHOTOGRAPH 11. INFRASTRUCTURE SERVICES CREATING CLUTTER ALONG THE CLIFF PATH, DETRACTING FROM THE NATURAL CHARACTER.



PHOTOGRAPH 12. INFRASTRUCTURE SERVICES WRAPPED BY PLANTING



PHOTOGRAPH 13. FINE GRAIN URBAN CHARACTER OVERWHELMED BY PARKED CARS



PHOTOGRAPH 14. ACTIVE PEDESTRIAN DOMINANT PUBLIC SPACE.



PHOTOGRAPH 15. DAMAGED PUBLIC ART THAT SHOULD BE REMOVED OR FIXED IMMEDIATELY

### 3.5. CBD REGENERATION FRAMEWORK

The Hermanus CBD Regeneration Framework (completed and approved in 2016), has developed a robust proposal in terms of the character and use of public space in the CBD area. It forms the basis for the creation of the Public Space Manual. The CBD Regeneration Framework proposes the following public realm interventions:

- Prioritising connections and safe pedestrian movement along a network of active street frontages will strengthen the economic resilience of the businesses within the CBD by increasing the foot traffic along these routes;
- Creating overlooked public open space so that this amenity is owned by the residents and safe to use, the pedestrian alleyways that perforate the urban fabric offer significant opportunity for improved activation and visibility;
- Enhancing existing public spaces by encouraging the frequent use of the space and integration with existing pedestrian routes and adjacent activities;
- Providing public amenities such as public toilets and way-finding, as well as town maps at strategic locations; and
- Considering roads and parking areas as an integral landscaped element in the design of the public realm.

### 3.5.1. PUBLIC REALM AND PEDESTRIAN ROUTES

The Regeneration Framework proposes strategies for improving the quality of the public realm in Hermanus. Hermanus is characterised by its fine grained village character and retention of the historical village character of Hermanus must be maintained and reclaimed wherever possible and the overall connections and quality of the pedestrian network must be improved.

The “walkability” of the CBD is largely attributed to the quality of sidewalks, the level of continuous routes for pedestrians throughout the CBD and the quality of the pedestrian environment. Roads and parking areas are considered as an integral landscaped element in the design of the public realm.

The Regeneration Framework identified the following streets and areas for pedestrian upgrading and improved public realm:

- Main Street, it is proposed that sidewalks are widened and upgraded through landscaping, street furniture and signage. Pedestrian crossings at key intersections should also be improved and aligned with the pedestrian alleyways;
- Long street, it is recommended that the taxi rank is connected from Mitchell Square through Lemm’s Corner to the Harbour Precinct;
- The Mitchell Square Development includes a proposal to establish a strong central square at the centre of the CBD, intended to connect Station Square as well as Market Square and the coastal cliff walk;
- Improve pedestrian links along Main streets; High street and Main road - this can be achieved by improving the quality of the pedestrian environment along these streets;
- Enhance the existing Alleyway pedestrian connections;

- Provide safe, raised crossings and bump-outs at pedestrian connection points to improve safety and visibility at strategic locations;
- Establish Swallow Park as a gateway to the coastal walk;
- Provide public amenities such as public toilets and way-finding /town maps at strategic locations; and
- define locations for public art and play equipment.

In addition the Public Space Manual identifies the following required interventions:

- Improve and/or implement new pedestrian crossings (raised, paved and widened);
- Improve the cycling facilities in the CBD (requires the development of an overall cycling strategy for the whole of Hermanus);
- Increase the number of Street trees within the CBD;
- Rationalisation of interventions along the Coastal Cliff Path. This will require a careful selection of which elements are adding value to the experience and which are detracting (see figure 6 which indicates level of intervention allowed in the different intervention zone);
- Removal of all bins besides the standard Hermanus waste bins;
- Removal of all signage and benches besides the traditional “Hermanus concrete and timber bench” and the new sandstone bench; and
- Wrapping of all infrastructure service kiosks in the Coastal Zone in planting.



PHOTOGRAPH 16. LOOK OUT POINTS WITH NATURAL STONE WALL



PHOTOGRAPH 17. HISTORIC AND NATURAL INTERFACE- HERMANUS STATION AND HOY’S KOPPIE



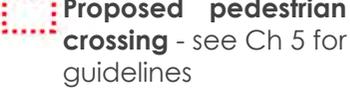
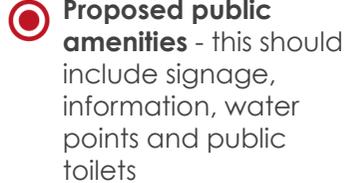
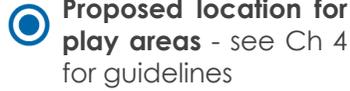
FIGURE 4. THE CLIFF PATH FOLLOWS OLD FISHERMANS ROUTES CONNECTING VARIOUS FISHING SPOTS (SOURCE: [HTTP://WWW.HERMANUS-HISTORY-SOCIETY.CO.ZA/2018/09/19/HERMANUS-CLIFF-PATH-WHATS-IN-A-NAME/](http://www.hermanus-history-society.co.za/2018/09/19/hermanus-cliff-path-whats-in-a-name/))



FIGURE 6. PROPOSED INTERVENTION ZONES IN THE COASTAL EDGE

FIGURE 5. PUBLIC REALM AND PEDESTRIAN ROUTES, PROPOSALS AND INTERVENTIONS

## LEGEND

-  Public space
-  Pedestrian Routes
-  Pedestrian Alley
-  Coastal Walk
-  Coastal Edge
-  Proposed pedestrian crossing - see Ch 5 for guidelines
-  Proposed public amenities - this should include signage, information, water points and public toilets
-  Proposed location for play areas - see Ch 4 for guidelines
-  Proposed location for public art - see Ch 4 for guidelines
-  Existing Street Trees

## 3.5.2. VEHICULAR ACCESS AND PARKING

The Hermanus CBD Regeneration Framework identified the significant pedestrian-vehicular conflict within the CBD. Vehicular noise, emissions, safety and congestion undermine the character of the CBD. The organisation of routes must be managed in such a way that balance, efficiency and equitable distribution is achieved.

The overall objective is to balance vehicular and pedestrian access. It is possible to create strongly pedestrian oriented streets while still allowing important vehicular circulation and access.

Motorised transport is a vital part of the CBD's functioning and includes private vehicles, delivery vehicles, tour buses and taxis, which need to be accommodated and integrated with the urban fabric without compromising the experience of people on foot, especially within the core of the CBD.

The access network and parking provision should be set up as a balanced, efficient and equitable distribution network that permits reasonable vehicular access, convenient parking and delivery access to support business without dominating the fine grained street network of the CBD.

The following road network interventions are proposed;

- Closure of Marine Drive extension at Swallow Park, to allow for engagement of property interfaces / frontages onto Swallow Park;
- Park Lane becomes a two way road with rationalised parking on the eastern edge, allowing for improved widening sidewalks and tree planting; and

- Marine Drive past Park Lane to become single direction road segment, allowing for a vastly improved pedestrian sidewalk / promenade along the coastal edge of Marine drive - establishing a gateway to the coastal walk from Swallow Park.

The following parking interventions are proposed:

- Reduced on-street parking along Main Road between Park Lane and Harbour Road, to allow widening of sidewalks and bump outs for improved pedestrian crossings;
- Reduced on-street parking along Marine Drive between Park Lane and Gearings point parking area to allow for the provision of a pedestrian, coastal promenade;
- Reduced on-street parking along the southern side of Long Street;
- Rationalise various parking areas to improve capacity, pedestrian movement and aesthetics;
- Improve direction signage towards currently under-utilised parking areas; and
- Promote the use of the Hermanus Primary School fields as a temporary parking area for events and during peak periods.



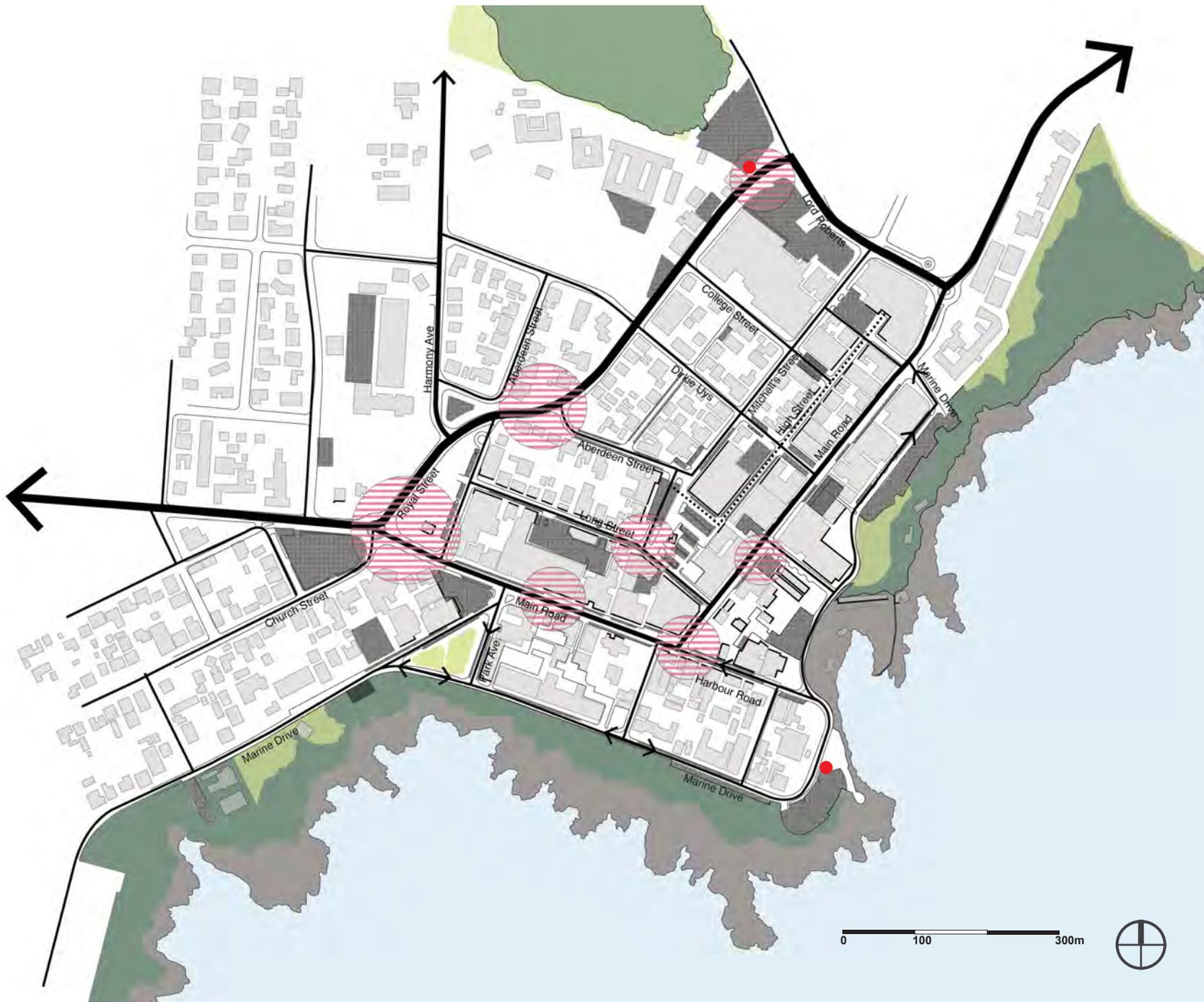
PHOTOGRAPH 18. EXAMPLE OF WIDE, CAR DOMINATED STREET



PHOTOGRAPH 19. PARKING AREA SEPARATED FROM PEDESTRIAN WALKWAY WITH LOW STONE WALL AND PLANTING



PHOTOGRAPH 21. WELL PLANTED PARKING AREA AT THE WHALE COAST MALL



## LEGEND

-  **High order mobility route** - see Ch 5 for guidelines
-  **Structuring route** - see Ch 5 for guidelines
-  **Local Connector** - see Ch 5 for guidelines
-  **Shared route** - see Ch 5 for guidelines
-  **Areas of vehicular pedestrian clashes**
-  **Parking areas** - see Ch 5 for guidelines
-  **Tour Bus Route** - Tour bus facilities, drop-off at Gearings Point and Collection at United Church parking lot

FIGURE 7. VEHICULAR ACCESS AND PARKING

# 4. MATERIAL PALETTE

## 4.1. HERMANUS PUBLIC SPACE LANGUAGE

A limited range of materials and elements have been selected for use in the Hermanus CBD to ensure there is a legible and consistent public space language. These materials evoke the character of a small scale fishing village and are suited to the fine grain historical nature of the CBD.

The proposed materials combined with functional and spatial characteristics represent the Hermanus public space language.

The functional and spatial characteristics for public space in Hermanus CBD must be:

- Pedestrian friendly, walkable/cyclable for all;
- Green with street trees and planting areas;
- Formal, urban and uncluttered in the Hermanus town area; and
- Free flowing and blending in with nature in the Coastal Zone.

The material language is to be characterised by:

- Paving materials: predominantly bricks and square pavers;
- Paving surfaces in various shades of grey with charcoal and/or red brick detail and bands;
- Natural sandstone walls with concrete capping serving as benches, space dividers and space markers;
- Street furniture in 'Sapphire' blue (RAL 5003);
- Larger street elements such as, light posts in special areas, pergolas and other structures, in 'Grey' Blue (RAL 5008) and
- Natural timber for seating, pergola's and other detailing.

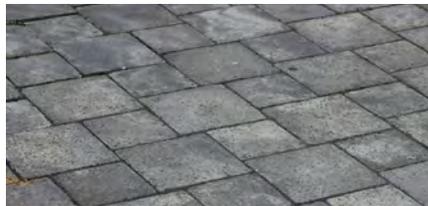


FIGURE 8. REPRESENTATION OF THE MATERIAL PALETTE FOR THE HERMANUS CBD AREA

## 4.2. PAVING + SURFACES

Street surfaces and the differentiation of surfacing play a vital role in defining the public realm. Surfaces can be used to establish continuity, as well as aid in defining and demarcating space for specific roles and functions.

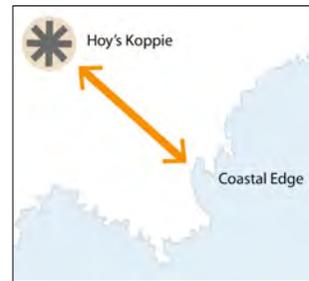
The paving and surfaces in Hermanus should form a consistent palette that creates a clear, coherent public domain and unified character for the CBD. The surfaces used must create a high-quality pedestrian environment with materials that are robust, durable and easy to maintain. Surfaces should reflect the public space context and build on existing pavement types, as well as create an attractive and safe environment for pedestrians and cyclists.

Although the sub-surface under Hermanus CBD contains a lot of rock, storm water infiltration should be promoted. In natural areas, parks and parking areas, preference must be given to permeable, pervious and porous surface material to increase rain water infiltration. Permeable paving refers to infiltration around the paver, pervious paving means the infiltration through the paver, and porous can be in the form of a grid filled in with gravel/sand/grass.

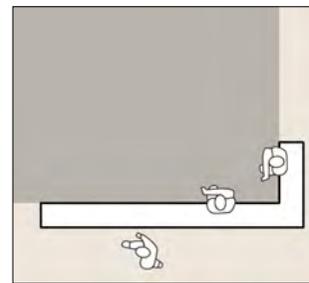


PHOTOGRAPH 22. EXAMPLE OF SIMPLE PAVING PALETTE PROVIDING AN APPROPRIATE CANVAS FOR HERITAGE BUILDINGS, SYDNEY (SOURCE: [HTTPS://WWW.KENSINGTONSTREET.COM.AU](https://www.kensingtonstreet.com.au))

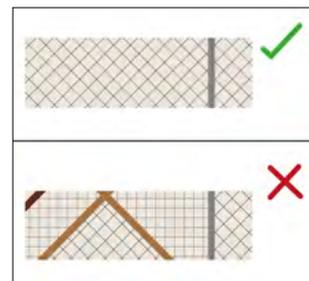
### Guiding principles and placement



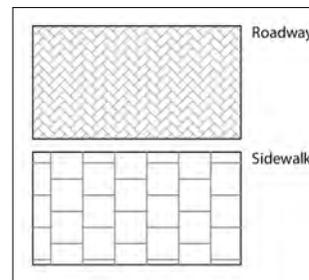
Create or strengthen continuous pedestrian passageways and routes between the mountain and the sea by consistency in materials and colour.



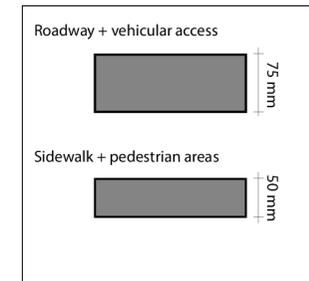
Use paving colour /shades to define functional areas.



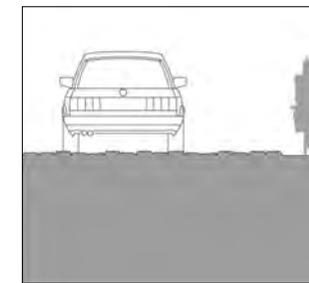
Minimise material variation. Differentiation within a shared space can also be carried out using the same material in different colours or by changing the size or pattern of the pavers. Painting of lines is not permitted on pavers.



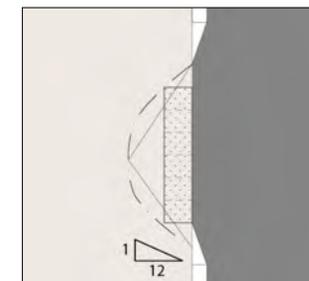
Pavers in the roadway to be laid in a herringbone pattern while sidewalks be laid in stretcherbond. Parking areas can have either pattern as long as the direction of the patterns is different from the sidewalk.



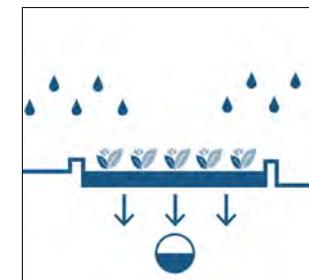
Roadway surfaces should be more durable than the ones used for pedestrian surfaces. Use 50mm pavers for pedestrian zones and 70/75mm pavers for vehicular areas.



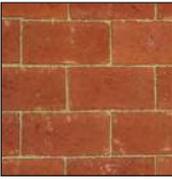
Uneven materials (for instance cobbles) can be used in the roadway to slow down motorised traffic (possible cyclists sharing the roadway should however be considered).



Ensure universal access by using smooth surface materials in pedestrian areas, drop kerbs on pedestrian routes, limit slopes to 1:12, and avoid building steps without a ramp. Use tactile pavers to mark pedestrian crossings.



Reduce the amount of hard surfaces in the urban environment in order to reduce storm water collection. Apply permeable, pervious or porous surface materials where possible.

|                            | product                                                                             | description                                                                                                                                                                                                                 | application                                                                                                                                                                                                                                                                    |
|----------------------------|-------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| roadway/cycling<br>parking |    | Premix / Black top.                                                                                                                                                                                                         | <ul style="list-style-type: none"> <li>High order mobility routes and connectors roads.</li> <li>To be applied in the roadway only, not suitable for pedestrian areas.</li> </ul>                                                                                              |
|                            |    | Concrete brick paver. C.E.L Paving or similar.<br>Size: 200 x 100 x 50/70mm (use 70mm in zones with vehicular traffic)<br>Colour and finish: Grey or charcoal. Polished exposed aggregate.                                  | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD as the primary paving material</li> <li>Predominantly for roadways and parking areas.</li> <li>Use in a herringbone pattern in roadways for added strength.</li> <li>Include admix in coastal zones.</li> </ul> |
|                            |    | Concrete cobble. C.E.L Paving or similar.<br>Size: 104mm x 104mm x 50mm thick / 105 x 105 x 75mm thick.<br>Colour and finish: Grey or charcoal in a granito finish.                                                         | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD.</li> <li>For roadways and parking areas.</li> <li>In pedestrian and cycle spaces only as banding or edging due to uneven surface.</li> <li>Include admix in coastal zones.</li> </ul>                          |
|                            |   | Square Concrete Block. C.E.L Paving or similar.<br>156x156 / 208 x 208 x 50mm thick for pedestrian areas or<br>157 x 157 / 210 x 210 X 75mm thick for roadways.<br>Colour and finish: Grey or charcoal in a Granito finish. | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD as a primary paving material.</li> <li>Use for sidewalks, in public squares and streets.</li> <li>Include admix in coastal zones.</li> </ul>                                                                    |
|                            |  | Concrete modular 'quartet'. C.E.L Paving or similar.<br>Size: 208 x 208 x 50mm thick in pedestrian areas 210 x 210 x 70mm thick in the roadway.<br>Colour and finish: Grey or charcoal in a Granito finish.                 | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD.</li> <li>As banding, edging or stairs.</li> <li>Include admix in coastal zones.</li> </ul>                                                                                                                     |
| roadway/<br>cycling        |  | Clay Brick Paver. Corobrik or similar.<br>Size 200 X 98.5 X 50mm / 70mm<br>Colour and finish: De Hoop red paver or Constanica red paver.                                                                                    | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD as a secondary paving material.</li> </ul>                                                                                                                                                                      |

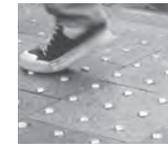
universal  
access



product

description

Precast tactile pavers  
 Size: 398.5 x 398.5mm x 60mm thick  
 Colour and Finish : Charcoal or grey  
 Alternative: tactile indicator studs to be applied to pavers



application

- at pedestrian crossings throughout Hermanus Town Area.

kerbs



Precast concrete "CEL 311" Kerb or similar  
 Size: 78x150mm high/104x200mm in 1000mm lengths  
 Colour and Finish : Charcoal or grey

- Kerb edging on mobility, structuring and connector streets; and
- Edging between vehicular and pedestrian areas.

natural and parking areas



Natural sandstone in concrete

- As detail throughout Hermanus CBD;
- As slabs for benches in the coastal zone;
- As stairs, level changes and edging; and
- Around tree holes.



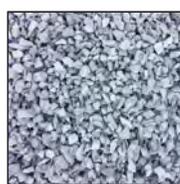
In-situ cast concrete slabs  
 Size: varies  
 Colour and Finish : Exposed aggregate or off shutter concrete

- In the coastal zone and Hoy's koppie.



Compacted laterite gravel  
 Cement stabilised decomposed granite or crushed sandstone surface Installed with edging surrounds

- In the coastal zone and Hoy's Koppie.



Stone chip  
 Size: 9-13mm  
 Colour: Grey or tan

- In parks and parking areas in the Hermanus CBD and Hermanus Town Area;
- In the coastal zone and Hoy's Koppie; and
- All stone chip in public areas must be edged and reinforced with BERA gravel fix or similar.

### 4.3. BENCHES + BINS + BIKE RACKS

Street furniture in Hermanus needs to enhance the sense of place and fine grained historic character of the CBD. Materials should be locally sourced and easy to maintain.

The low natural sandstone walls are typical for Hermanus CBD. They are important place making elements and often function as seating elements. They create pause moments and allow people to spend more time in the public space, which in turn creates communities and makes places safer.

The low seating walls, and benches provided at Gearings point, the Old Harbour and market precinct and Swallow Park present a high quality range of materials and elements that should be expanded upon.

Therefore natural sandstone walls with concrete toppings and natural timber should be used for all new and replacement of existing benches.

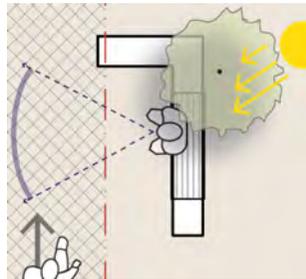
When elements are painted or coloured they must be in 'Sapphire' blue (RAL 5003).

The placement of benches needs to be considered carefully and the following aspects should be looked at when locating benches:

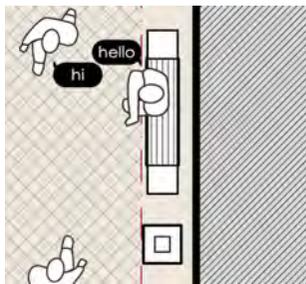


PHOTOGRAPH 23. EXAMPLE OF WELL INTEGRATED STREET FURNITURE, AUSTRALIA (SOURCE: [HTTPS://WWW.ARCHDAILY.COM/412359/LONSDALE-STREET-DANDENONG-BKK-ARCHITECTS](https://www.archdaily.com/412359/lonsdale-street-dandenong-bkk-architects))

#### Guiding principles and placement

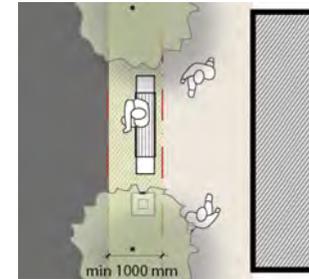


Placement of benches should consider orientation, provide shade in summer days, protection from the wind where possible and have views or interesting elements to look at.



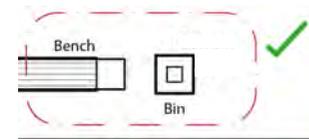
Locate seating along pedestrian routes.

Provide seating with a protected back where possible (to improve perception of safety and security).

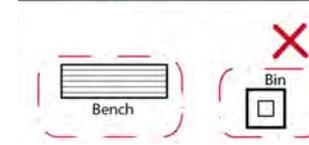


Bins and benches should not block the sidewalk, they should be placed in a zone with trees and other services.

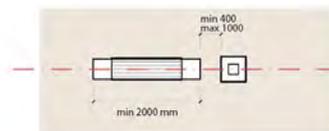
Only Municipal supplied and serviced waste bins are allowed.



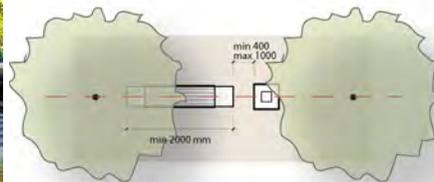
Cluster the placement of a bench with a waste bin. Additional bins should not be allowed within the CBD and should be phased out where they occur.



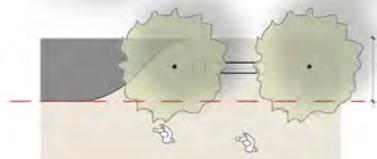
#### In Hermanus town:



Geometry of bins and benches should be formal and rectilinear.



Position benches in line with trees to provide shade.

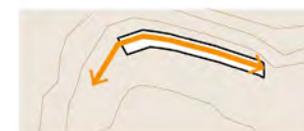


Position benches on corners / bump-outs where there is insufficient space on sidewalk.

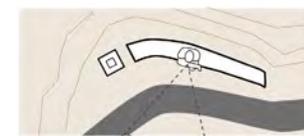
#### In the Coastal zone and Hoy's Koppie:



Position of benches to be determined by the landscape.



Form of benches to be molded by natural surroundings.



Bench to be located overlooking the Coastal pathway where possible to promote surveillance.

Bin to be placed in line with the bench.

| product | description                                                                         | application                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                              |
|---------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| benches |    | <p>In-situ natural sandstone wall 450mm high, 400mm wide bench with concrete capping. Organic shapes informed by the landscape in the Coastal zone.</p>                                                                                                                                                       | <ul style="list-style-type: none"> <li>• Coastal zone and Hoy's Koppie;</li> <li>• To be integrated on a sandstone or cast in-situ concrete slab;</li> <li>• To be used as lookout and rest points; and</li> <li>• Form to be guided by the natural surroundings.</li> </ul> |
|         |    | <p>In-situ natural sandstone wall bench with concrete capping and Rhinowood timber seating.</p> <p>Size: 450mm high, 400mm wide, varying length, dependant on the available space.</p>                                                                                                                        | <ul style="list-style-type: none"> <li>• Throughout the Hermanus town area;</li> <li>• Integrated into the furniture zone of streets; and</li> <li>• Form to be rectilinear and formal.</li> </ul>                                                                           |
| bins    |    | <p>Polyconcrete Bin, embossed with the Overstrand Municipality logo. Igneous or similar.</p> <p>Size: 500mm x 500mm Height: 770mm</p> <p>Colour and finish: RAL 5003</p> <p><i>*Additional bins and waste recepticals should not be allowed within the CBD and should be phased out where they occur.</i></p> | <ul style="list-style-type: none"> <li>• Throughout the Hermanus town area;</li> <li>• Integrated into the furniture zone of streets; and</li> <li>• To be placed in combination with seating areas.</li> </ul>                                                              |
|         |   | <p>Polywood single bin with lid. Primwood or similar</p> <p>Size : Single 530x520x725</p> <p>Colour and finish: Brown, polywood fibre finish</p> <p><i>*Additional bins and waste recepticals should not be allowed within the CBD and should be phased out where they occur.</i></p>                         | <ul style="list-style-type: none"> <li>• Coastal zone and Hoy's Koppie; and</li> <li>• To be placed in combination with seating areas and lookout points.</li> </ul>                                                                                                         |
| bike    |  | <p>Bike rack: Mild Steel Large Staple (Ø38mm Tube)</p> <p>Colour and finish: Galvanized and painted in RAL 5003.</p>                                                                                                                                                                                          | <ul style="list-style-type: none"> <li>• Throughout Hermanus town area;</li> <li>• Should be located at a destination and be part of a cycling network; and</li> <li>• Should be integrated with other street furniture i.e. tree, as a guard or bench.</li> </ul>           |

## 4.4. BOLLARDS + BARRIERS + EDGES

The Hermanus CBD thrives to be a walkable, people friendly environment. As such, bollards and barriers are used primarily to prevent cars from entering or parking in spaces designed for pedestrians. In some cases, bollards can be used to define and demarcate pedestrian dominant spaces.

Bollards are vulnerable to being knocked over by vehicles and require maintenance. Wherever possible the Hermanus stone walls should be used as barriers to enhance the unique sense of place within the CBD, create multi-functional seating areas and provide visual demarcation and screens to parking areas. Stone walls can also be used to demarcate pedestrian alleyways and create a sense of entry.

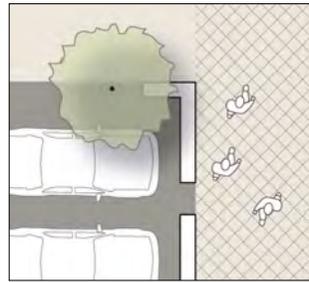


PHOTOGRAPH 25. LOW WALLS AND PLANTING USED TO DEFINE SPACE AND SOFTEN PARKING AREAS

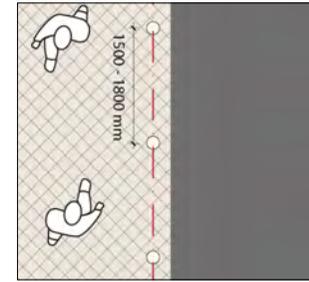


PHOTOGRAPH 24. POST AND RAIL SYSTEM ALONG THE CLIFF PATH

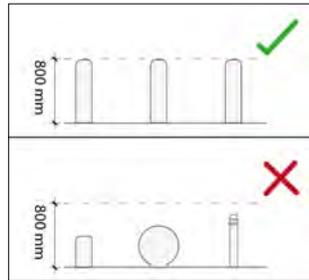
### Guiding principles and placement



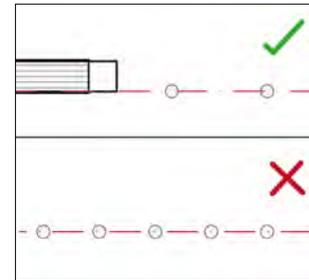
Use stone walls rather than bollards to demarcate and protect pedestrian predominate areas.



Bollards should be placed at a regular intervals and in a straight line.



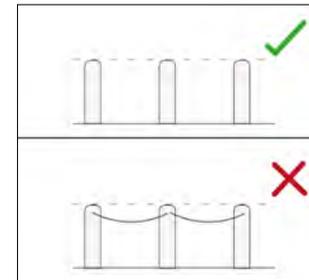
Bollards should not be lower than 800mm to ensure that they are visible while seated in a car.



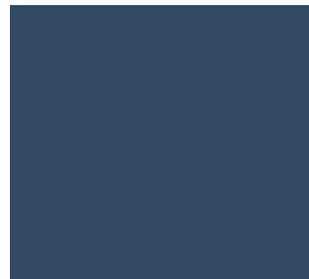
Reduce / limit the placement of bollards.



Post and rail system can be used in natural areas as a demarcation between vehicular and pedestrian space or as a protective barrier at view points and along paths.



In the CBD, bollards should not be joined with chains or rails to avoid creating barriers.



All steel and polyconcrete bollards must be "Saphire blue"(RAL 5003)



stone walls should be used as protective barriers around the harbour and gearings point.

bollards

## product

## description

## application



Resin based polyconcrete bollard. Igneous or similar.  
 Size: 800mm height from finished paving level.  
 Colour and finish: Integral powder finish in 'RAL 5003.'  
 or Steel 'Round 150 Flat Top' Bollard. Streetscape or similar.  
 Size: 150mm Ø, 900mm height from finished paving level.  
 Colour and finish: Painted steel in 'RAL 5003.'

- Within the Hermanus town area.



Steel "Newton" Bollard. Streetscape or similar.  
 Size: 900mm height from finished paving level.  
 Colour and finish: Painted steel in 'RAL 5003'

- Within the Hermanus town area.



Exposed aggregate concrete 'Bloc 220' bollard. Streetscape or similar  
 Size: 220mmØ, 900mm height from finished paving level.  
 Colour and finish: Exposed aggregate

- In the Coastal zone only.



In-situ natural sandstone wall with concrete capping  
 Size: 450mm high, 400mm wide

- Throughout Hermanus CBD; and
- Can be used as demarcation of pedestrian alleyways, parking areas etc.

barriers



Gumpole post and rail  
 Size: Rail 120Ø gum pole spanning 2100mm between posts  
 Posts 150Ø, gum pole 1000mm high  
 Finish: Natural timber

- Coastal zone and Hoys koppie;
- As a protective barrier at view points and along pathways; and
- Can function as hand rail.

## 4.5. LIGHTING

Lighting of the public spaces and streets of Hermanus is important for creating a positive urban character and will support night time activity and increase perceptions of safety within the area.

Lighting design has to consider energy efficient luminaires to be more sustainable and cost effective. Street lighting must be designed to limit contrast, reduce glare or light spillage onto adjacent properties and light pollution must be avoided. Public lighting of the coastal zone and natural areas should be limited to allow natural eco-systems to prevail.

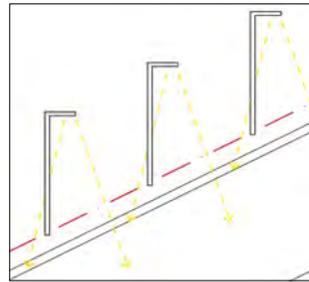
The Mobility routes and connectors will have more functional lighting, while streets with high pedestrian movement will have more aesthetically pleasing light fittings to add character and sense of place. Special attention should be given to the lighting of the pedestrian alleyways to promote a sense of safety and security.

All pedestrian lights must be coated in RAL 5008 "Grey Blue"

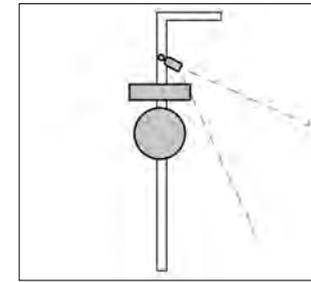


PHOTOGRAPH 26. WELL LIT PUBLIC SPACE CREATES OPPORTUNITY FOR ACTIVE EVENING USE OF AREAS (SOURCE: [HTTP://WWW.YKERSALE.COM/EN/WORK/PLACE-DE-LA-](http://www.ykersale.com/en/work/place-de-la-)

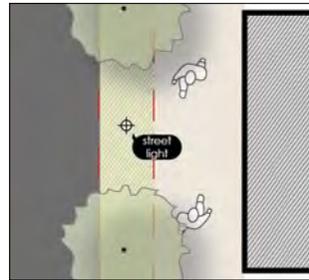
### Guiding principles and placement



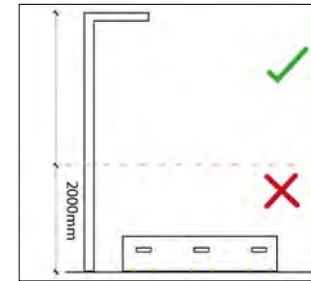
Ensure that street lights form part of the rhythm of the street by ensuring they align, are the same height and at a regular spacing.



Combine traffic signs, CCTV, and other information on singular poles to reduce clutter.



Streetlight poles should not obstruct pedestrian movement or sight lines. Poles should not be placed in front of building entrances or driveways.



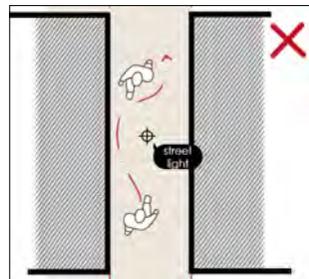
Avoid street lights lower than 2m to reduce chances of vandalism.



The position of lights should always respect the axis, rhythm and possible future growth of trees (see guideline regarding the pruning of trees).



Street lighting should be positioned to be out of view but accessible to be easily maintained.



Street lights should be placed in the furniture zone of the street (see generic street sections).



Pedestrian lights must be "Grey blue" (RAL 5008)

feature  
lights

pedestrian lights

street lights



Architectural  
feature lighting +

- Special streets and spaces; and
- To be applied on a site specific basis.



Elega '4' integrated street light. Beka-schreder or similar  
Single bracket, IP 66. Max 72W  
colour: RAL 5008  
Height: 3.4m , 4.6m , 5.8m

- Special streets and spaces.



Zela LED post top. Beka-schreder or similar  
IP 66 Max: 55W  
Colour: RAL 5008  
Height: 3-6m

- Parks;
- Public spaces; and
- Pedestrian priority areas.



LEDlume-maxi street light. Beka-schreder or similar  
IP 66. Max 279W  
GPR 'Bekapole' Pole  
Colour and finish : RAL 5008

- In connector streets.



LEDlume-midi street light. Beka-schreder or similar  
IP 66. Max 162W  
GPR 'Bekapole' Pole  
Colour and finish : RAL 5008

- In structuring streets.



LEDlume-mini street light. Beka-schreder or similar  
IP 66. Max 53W  
GPR 'Bekapole' Pole  
Colour and finish : RAL 5008

- In high mobility streets.

product

description

application

## 4.6. TREES

The Hermanus CBD currently has very few street trees. Most of the trees in the public domain have been planted in parking areas. In addition, the choice of trees has been poor since most are not suitable for built up areas because they have shallow and expansive root systems that damage paving and buildings. The proposed improvement of walkability and widening of sidewalks in Hermanus CBD should also create possibilities for more tree planting and greening.

Planting and trees have a vital role to play in the urban environment in terms of softening spaces, creating shade and contrast. Trees and planted elements can contribute greatly to the attraction and character of a space. Deciduous trees provide shade in summer and allow access to sun in winter. Subject to careful species selection they can also offer seasonal variety in terms of coloured flowers and fruit.

Tree planting in public spaces has many benefits, as it provides environmental quality, mitigates the potential for urban heat island effects, creates opportunities for sustainable urban drainage, enhances visual continuity and unity, and reinforces local identity and character.

The Coastal area is naturally not very suitable for tree planting due to the the saline and harsh conditions.



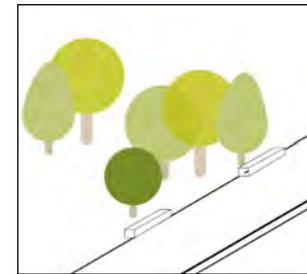
PHOTOGRAPH 27. EXAMPLE OF POSITIVE SPACE CREATED BY STREET TREES

### Guiding principles and placement

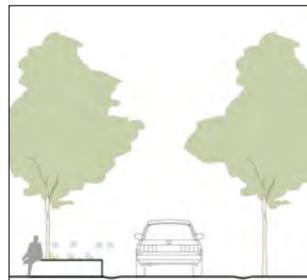


Plant more street trees in the Hermanus CBD.

Plant only Indigenous trees and plants to reduce maintenance and irrigation needs.

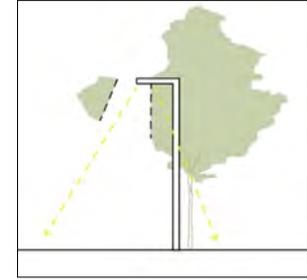


Allow for a mix of trees and vegetation in parks. Use trees as place making tools in combination with low walls.

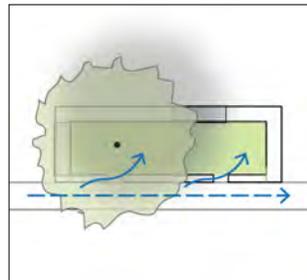


Use trees as spatial elements to create space, screen unattractive views and provide shade.

Support and create pedestrian routes through tree planting.

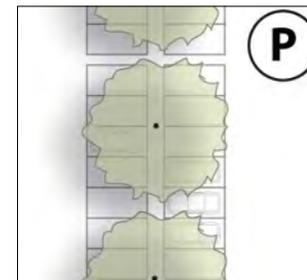


Pruning to take into account street lighting and other functional or spatial considerations (size in relation to street width, obstruction to building etc.)

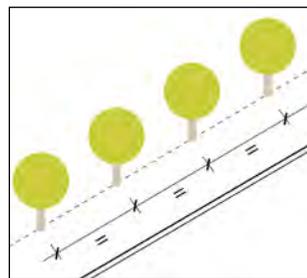


Promote Sustainable Urban Drainage System (SUDS).

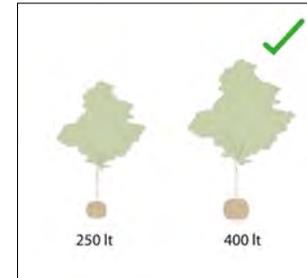
Collect storm water in planters and tree pits.



Medium-sized or large trees should be planted in parking lots. The minimum spacing is one tree to every five parking bays.



Create visually cohesive streets and spaces by planting trees at identical distance in a specific street.



The minimum size of a tree to be planted in the Hermanus CBD is 250 litres (lt) but preferably the tree should be 400 litres (lt) or more.

| species                                                                             | description                                                                                                                                                                                                         | application                                                                                                                                                                                                                      |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|    | <p>Chionanthus foveolata (Pock ironwood)</p> <p>Size : Large tree - 5-30m (5-10 in cultivation)</p> <p>Character: Hardy ornamental tree. Good wind break, does well in coastal areas. Non invasive root system.</p> | <ul style="list-style-type: none"> <li>• High mobility routes.</li> <li>• Parking areas.</li> <li>• Parks.</li> </ul>                                                                                                            |
|    | <p>Curtisia dentata (Assegai tree)</p> <p>Size: Medium to large tree - 6-12m</p> <p>Character: Upright tree, low leaf litter, can withstand wind. Non invasive root system.</p>                                     | <ul style="list-style-type: none"> <li>• High mobility routes and structuring routes.</li> <li>• Parking areas</li> <li>• Parks</li> </ul> <p>note: this tree is protected and should be sourced from a certified supplier</p>   |
|    | <p>Trichilia emetic (Natal mahogany)</p> <p>Size: Medium to large tree - 8-20m</p> <p>Character: Good shade tree, widespread crown, non invasive root system.</p>                                                   | <ul style="list-style-type: none"> <li>• Structuring routes</li> <li>• Parking areas</li> <li>• Parks</li> </ul>                                                                                                                 |
|    | <p>Ekebergia capensis (Cape ash)</p> <p>Size: Medium tree - 7-10m</p> <p>Character: Evergreen / Semi-evergreen tree that provides good shade quickly.</p>                                                           | <ul style="list-style-type: none"> <li>• Structuring routes and local connector streets</li> <li>• In urban squares and parks</li> <li>• Parking areas</li> </ul>                                                                |
|   | <p>Celtis Africana (White stinkwood)</p> <p>Size: Medium tree - 8-12m</p> <p>Character: Attractive street tree for sheltered areas.</p>                                                                             | <ul style="list-style-type: none"> <li>• Local connector and shared streets.</li> <li>• Sheltered urban spaces and parking areas</li> <li>• Should only be planted in sheltered areas as it cannot withstand the wind</li> </ul> |
|  | <p>Apodytes dimidiata (White pear)</p> <p>Size: Small tree - 4-6m</p> <p>Character: Neat evergreen tree, can be shrub like. Non invasive root system</p>                                                            | <ul style="list-style-type: none"> <li>• Local connector and shared streets</li> <li>• Parks</li> </ul>                                                                                                                          |
|  | <p>Euclea racemosa (Sea guarri)</p> <p>Size: Small - up to 6m</p> <p>Character: Shrub like, part of the dune scrub / low coastal forest.</p>                                                                        | <ul style="list-style-type: none"> <li>• Parks</li> <li>• Along the Coastal zone</li> </ul> <p>*tarcanathus can be planted in the CBD but should be used sparingly due to its tendency to bush</p>                               |

## 4.7. TREE GUARDS + SURFACES

Tree base treatments in Hermanus can vary according to location and context of the surrounding material palette with harder base material on higher order streets and soft planting in pedestrian zones or parks. All base material must be permeable and tree surrounds must be designed to incorporate Sustainable Urban Drainage Systems (SUDS) and to receive water runoff from surrounding roads and footpaths.

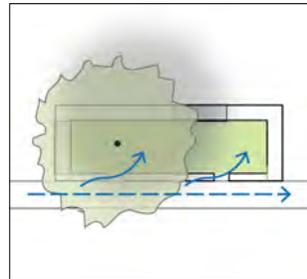


PHOTOGRAPH 29. INVITING, LANDSCAPING (SOURCE: PRAGUE DESIGN MANUAL, 2014)

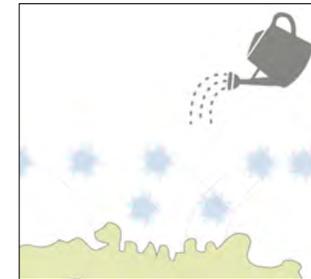


PHOTOGRAPH 28. LOW WALLS, TREES AND LANDSCAPING (SOURCE: SQUARE ONE LANDSCAPE ARCHITECTS)

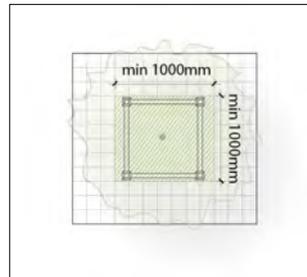
### Guiding principles and placement



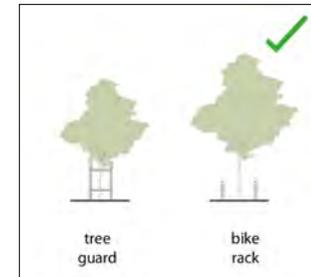
Design for trees to be integrated into a SUDS system. Planters must be designed to receive storm water, avoid up-stand kerbs that prevent storm water inlet are to be used.



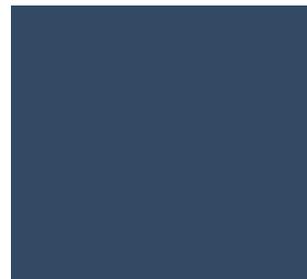
Sustainable planting practices must be exercised by giving preference to hand-watering at establishment and allowing for plants to be watered with storm water.



Trees must be given sufficient space for water infiltration, minimum size of permeable material around the tree is 1x1m.



All trees should be planted with a tree guard for support and protection. More mature trees can alternatively be protected with a bike rack on either side.



All tree guards must be "Saphire blue" (RAL 5003)



Bike racks can be used to protect more mature trees.

species/product description

application

tree guard



'Hermanus' steel and timber tree guard. Streetscape or similar  
 Size: 2400 x 900mm.  
 Colour and finish: Painted galvanised steel 'RAL 5003' and natural timber.

- Throughout Hermanus CBD.

tree ring permeable surfaces



Wood chip or bark.  
 Size: Not smaller than 13mm.

- Throughout Hermanus CBD.



Stone chip.  
 Size: 9-13 mm.  
 Colour: Grey or tan.

- Throughout Hermanus CBD.
- All stone chip in public areas must be edged and reinforced with BERA gravel fix or similar

tree ring planting



The following plant species can be planted within the tree ring:

- Arctotis acaulis*
- Bulbine frutesces*
- Drosanthemum sp.*
- Gazania sp.*
- Geranium incanum*
- Jasminum multipartitum* "Bush form"
- Lampranthus sp.*
- Osteospermum sp.*
- Othonna capensis*
- Carpebrotis edulis*

- Throughout Hermanus CBD.

## 4.8. VEGETATION + SUDS + LANDSCAPED AREAS

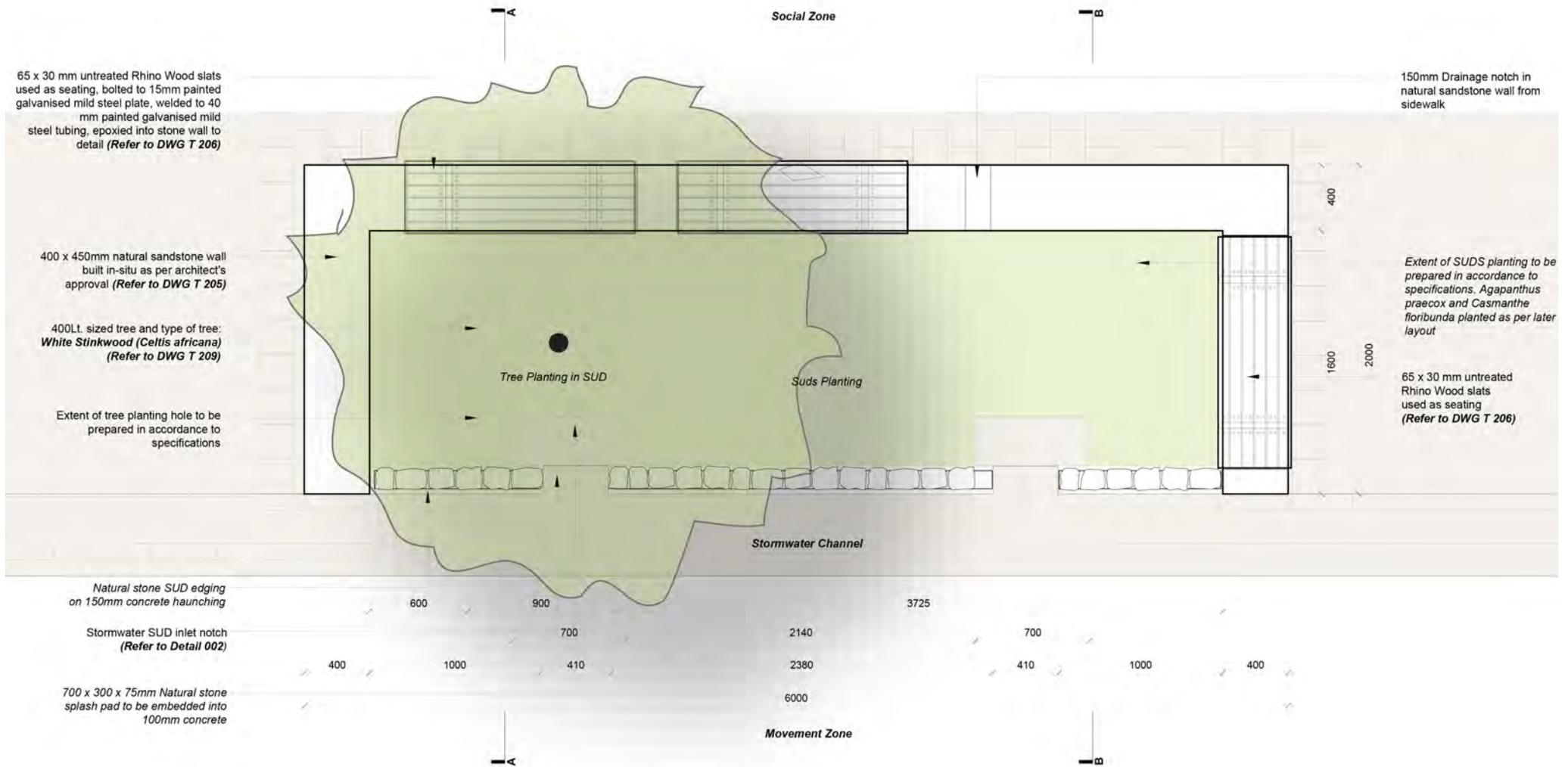
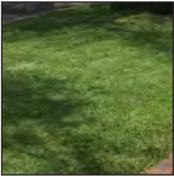


FIGURE 9. KERB SIDE SUDS LAYOUT

|               | species                                                                             | description                                             | application                                                                                                                           |
|---------------|-------------------------------------------------------------------------------------|---------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| grass         |    | Cynodon dactylon (L.) Pers.                             | <ul style="list-style-type: none"> <li>Parks in Hermanus town.</li> </ul>                                                             |
|               |    | Agapanthus praecox .<br>Agapanthus africanus.           | <ul style="list-style-type: none"> <li>Within SUDS in Hermanus town.</li> </ul>                                                       |
| suds planting |    | Chasmanthe floribunda.                                  | <ul style="list-style-type: none"> <li>Within SUDS</li> <li>in Hermanus town.</li> </ul>                                              |
|               |   | The following plant species can be planted in planters: | <ul style="list-style-type: none"> <li>Parks in Hermanus town.</li> <li>Public spaces.</li> <li>Pedestrian priority areas.</li> </ul> |
| shrubs        |  | Barleria obtusa                                         |                                                                                                                                       |
|               |  | Dietes grandiflora                                      |                                                                                                                                       |
|               |  | Dietes bicolor                                          |                                                                                                                                       |
|               |  | Carissa macrocarpa                                      |                                                                                                                                       |
|               |  | Coleonema alba                                          |                                                                                                                                       |
|               |  | Searsia crenata                                         |                                                                                                                                       |
|               |  | Eriocephalus africanus                                  |                                                                                                                                       |
|               |  | Gnidia squarrosa                                        |                                                                                                                                       |
|               |  | Lobostemon fruticosus                                   |                                                                                                                                       |
|               |  | Phyllica ericoides                                      |                                                                                                                                       |
|               |  | Salvia africana-lutea                                   |                                                                                                                                       |

## 4.9. SIGNAGE + AMENITIES

A well-conceived system of wayfinding, interpretive and building signage is important for making sense of any successful CBD. Good signage enhances the character of buildings, reinforces the hierarchy of streets and spaces, and contributes to the sense of place of the urban environment, neighborhood and natural / green spaces.

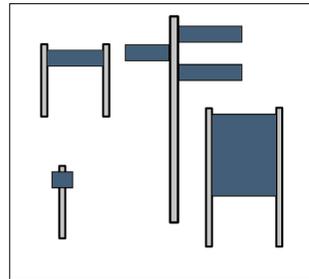
In Hermanus this signage system must be able to be used by a wide variety of users from all over the world and should be legible logical and user-friendly. Infographics should be integrated with signage and used wherever possible. Coastal walks along with the future biodiversity and heritage walks and major tourist attractions in CBD, could be knitted together through a system of wayfinding and interpretive signage.

The signage language designed for Market Square is appropriate and should rolled out for the rest of Hermanus town and Coastal area. This type of signage should be continued throughout the area and expanded upon. The design family also requires information boards that still need to be designed.

Hermanus as a tourist town also requires public ablution facilities at important nodes. The most appropriate space solution is usually to locate these facilities within existing (municipal) buildings to avoid the creation of "blind boxes" in the space.

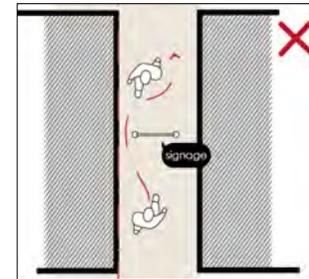
Commercial signage in Hermanus CBD is often dominating, haphazard and incoherent and detracts from the fine-grained urban and heritage character. The current Overstrand Outdoor Advertising and Signage Bylaw and the Draft Heritage Protection Overlay Zone regulations for the CBD are not sufficient to protect the CBD from this threat. There is an urgent need for a signage audit to enforce and implement regulations and remove and place appropriate elements.

### Guiding principles and placement for Municipal signage

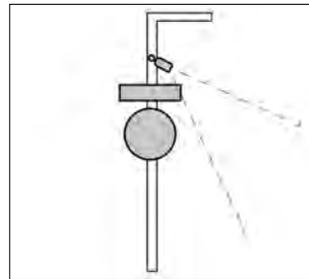


Developing a visual identity using clear, legible and timeless graphic design principles.

The signs used in Market Square and gearings point must become the standard. Gum pole sign structures must be phased out.



Signage should not create physical or visual obstructions to pedestrians or vehicles.



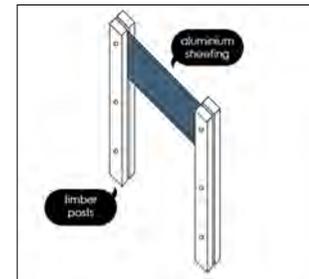
Signs and signage should be organised / incorporated with / on buildings, or with street lighting, low walls and other landscape furnishings to not visually clutter the streetscape.



Signage should make use of infographics for maximum understanding for all people.



Information signage, ablution facilities and drinking fountains at important nodes should be combined with the placement of public amenities



Signage must be constructed from a frame of timber that sandwiches an anodised aluminum sheet.

See signage design in appendix.



All signage must be **"Sapphire blue"** (RAL 5003)



Commercial signage must adhere to the Overstrand Outdoor Advertising and Signage Bylaw.

|                    | product                                                                                                                  | description                                                                                                                                                                                                                                                                                                                                                             | application                                                                                                       |
|--------------------|--------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| street names       |                                         | <p>Precast concrete kerb stone with street name lettering.</p> <p>Size: 1000 x 150 x 240 mm.</p> <p>Colour and finish: preferably grey or alternatively yellow with black painted lettering.</p>                                                                                                                                                                        | <ul style="list-style-type: none"> <li>In all roadways where kerbs occur.</li> <li>Along coastal path.</li> </ul> |
|                    |  <p>*signage range to be expanded</p>   | <p>"Hermanus" low anodized aluminium and timber place name board.</p> <p>Size: 52 x 800 x 1200 mm (750 mm above ground).</p> <p>Colour and finish: 52mm natural timber posts with 5 mm anodized aluminium plate in RAL5003, with min 50 mm Century Gothic text in reflective white vinyl, double sided.</p> <p>see appendix for design specification.</p>               | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD as required.</li> </ul>                            |
| hermanus signage   |  <p>*signage range to be designed</p>   | <p>"Hermanus" high anodized aluminium and timber place name board.</p> <p>Size, varies but ensure a clearance of 2400 mm at the lowest point.</p> <p>Colour and finish natural timber post with 5 mm anodized aluminium plate in RAL5003, with min 50 mm Century Gothic text in reflective white vinyl, double sided.</p> <p>see appendix for design specification.</p> | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD as required.</li> </ul>                            |
|                    |  <p>*signage range to be designed</p> | <p>"Hermanus" information board.</p> <p>To be designed in keeping with the Hermanus signage.</p>                                                                                                                                                                                                                                                                        | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD as required.</li> </ul>                            |
| national standards |                                       | South Africa Road Traffic Signs                                                                                                                                                                                                                                                                                                                                         | <ul style="list-style-type: none"> <li>As required by South African Road Traffic Sign Manual (SARTSM)</li> </ul>  |

## 4.10. SERVICES INFRASTRUCTURE

Utilities and services within the CBD and Coastal zone are vitally important to the functioning of Hermanus but should not be allowed to detract from the natural beauty of the area.

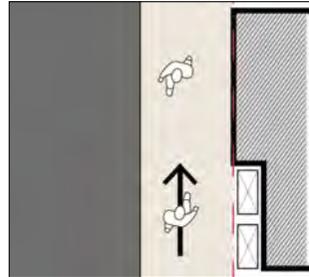
Utilities in the streetscape consist of cctv poles, overhead wires, surface pits and electricity kiosks. These should be efficiently located to minimise impacts on other elements within the public realm, as well as providing efficient access and maintenance requirements.

Consideration should be given to the undergrounding of overhead services (where feasible), to reduce visual obstruction. The provision of below ground services should be co-ordinated where possible, to minimise digging in the public realm.

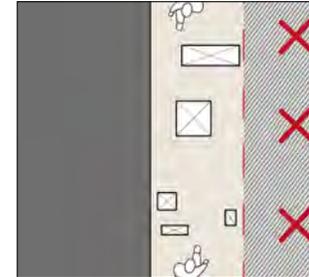


PHOTOGRAPH 30. SOFT INFRASTRUCTURE, (SOURCE: NEW YORK CITY; DOT)

### Guiding principles and placement



Minimise the visual and physical impact of service kiosks and boxes on the public realm by integrating services infrastructure into buildings or private erven.

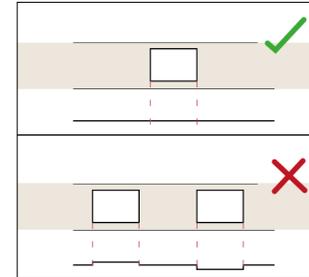


Service kiosks and boxes should not:

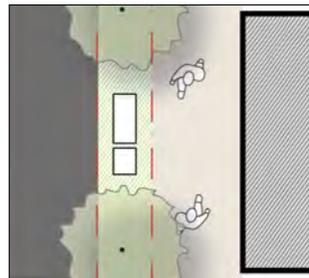
- Be placed perpendicular to the sidewalk
- Be placed in the centre of a walkway
- Spread out over an area, creating clutter.



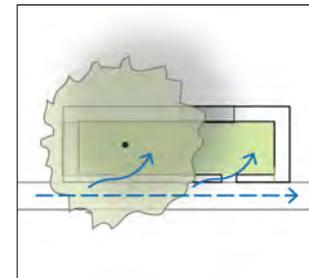
Integrate service kiosks and boxes into landscape elements such as stone walls or planting.



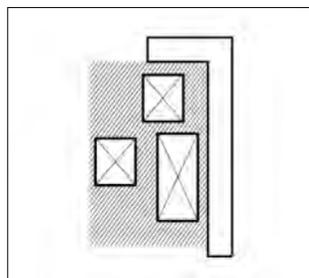
Manhole covers should be level with the paved surface and should not create a hazard for pedestrians or cyclists.



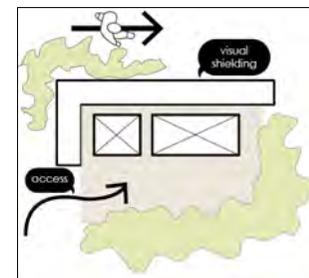
In the case that the above two options are not possible, place the element parallel with the pedestrian area to minimise obstruction.



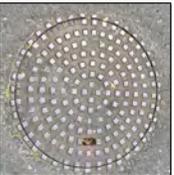
Integrate SUDS or swales in the streetscape where possible, in addition to the conventional storm water system.



In case of a cluster of service kiosks and boxes within the CBD, create a screen to cover them to avoid clutter.



In case of a cluster of service kiosks and boxes within the coastal zone, create a screen to cover them to avoid clutter.

|                                      | product                                                                                        | description                                                                                                                                                              | application                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                         |
|--------------------------------------|------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| above ground<br>infrastructure boxes | <br>town area | <br>coastal zone                                                                        | <p>Services kiosks and boxes.</p> <p>Colour: Grey for town area, green for Coastal zone.</p>                                                                                                                                                                                                                     | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD where required, although avoid the vicinity of heritage buildings if possible. Need to be integrated in the build fabric as much as possible.</li> </ul> |
|                                      |               | <p>Cctv cameras and aerials.</p>                                                                                                                                         | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD where required, although avoid the vicinity of heritage buildings if possible. Need to be integrated into the built fabric as much as possible. Preferably to be mounted on buildings and avoid dedicated poles for this purpose only.</li> </ul> |                                                                                                                                                                                                                         |
| below ground<br>infrastructure       |               | <p>Manhole covers, storm water grids / inlets.</p> <p>Colour: limit to black, brown, grey or green (Coastal zone).</p> <p>Materials: cast iron, composite, concrete.</p> | <ul style="list-style-type: none"> <li>Throughout Hermanus CBD.</li> <li>Ensure that they do not interfere with the usage of the space or create a hazard (for instance: lengthwise openings in storm water grids in the cycling direction).</li> </ul>                                                          |                                                                                                                                                                                                                         |
|                                      |              | <p>Underground infrastructure services.</p>                                                                                                                              | <ul style="list-style-type: none"> <li>Throughout Hermanus town area in the roadways.</li> <li>Avoid placing services under pedestrian areas to allow for tree planting in the sidewalks or alternatively allow for services on the edge of the pedestrian walkways.</li> </ul>                                  |                                                                                                                                                                                                                         |
| SUDS                                 |             | <p>Green Infrastructure:</p> <ul style="list-style-type: none"> <li>SUDS / Swales.</li> <li>Permeable paving (pervious / porous).</li> </ul>                             | <ul style="list-style-type: none"> <li>Throughout Hermanus as a supplement to the 'hard' storm water infrastructure.</li> <li>In the street section as kerbside SUDS.</li> <li>In parks, and natural areas as swales.</li> <li>As permeable paving in parking areas.</li> </ul>                                  |                                                                                                                                                                                                                         |
| litter trap                          |             | <ul style="list-style-type: none"> <li>Litter Traps</li> </ul>                                                                                                           | <ul style="list-style-type: none"> <li>Throughout Hermanus as a supplement to the 'hard' storm water infrastructure.</li> </ul>                                                                                                                                                                                  |                                                                                                                                                                                                                         |

## 4.11. PUBLIC ART AND PLAY AREAS

Public art is an important aspect of public space and contributes to the sense of place of the CBD, but Hermanus requires direction and discretion in the placement of art in the coastal zone to ensure that it enhances and does not detract from the beauty of the natural environment.

At a pedestrian scale, public art can assist in way finding and provide visual interest for passersbys. Public art can also provide functional objects with interest and beauty, all elements of the streetscape, such as, benches, barriers, lighting and tree planting have the potential to be art pieces that enhance the sense of place of Hermanus. Public art should always be sited with consideration to enhance the character of the CBD and provide interest to an interactive pedestrian environment.

Likewise play areas can activate spaces within the the CBD, creating a lively space and add vibrancy. These should be included within Swallows park and near the amphitheater

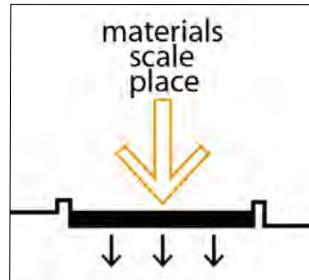


PHOTOGRAPH 32. EXAMPLE OF FUNCTIONAL ART (SOURCE: [HTTPS://BERMANPHOTOS.WORDPRESS.COM/2013/10/13/BEZOS-CENTER-FOR-INNOVATION](https://BERMANPHOTOS.WORDPRESS.COM/2013/10/13/BEZOS-CENTER-FOR-INNOVATION))

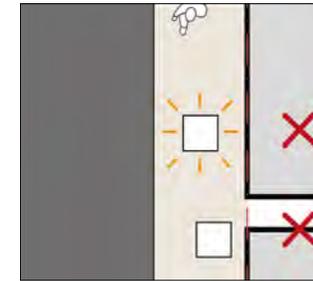


PHOTOGRAPH 31. EXAMPLE OF ACTIVE PLAY AREA, GREENPOINT PARK (SOURCE: [HTTPS://WWW.BLOK.CO.ZA/DEVELOPMENTS/NEIGHBOURHOOD](https://WWW.BLOK.CO.ZA/DEVELOPMENTS/NEIGHBOURHOOD))

### Guiding principles and placement



The scale and material of art and play should be chosen according to the specific situation and location, as well as the intended effect of the work.

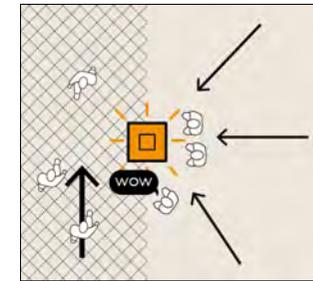


Artworks should not block windows or entrance ways, nor obstruct pedestrian movement.



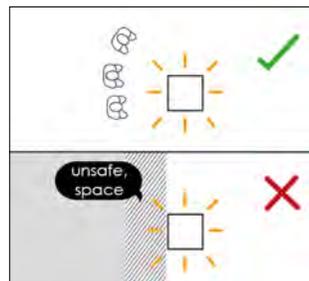
The choice of location and placement of a piece of art and play areas should be well considered and tailored to the identity of the place. Art should not clutter the coastal zone.

see public realm map for locations

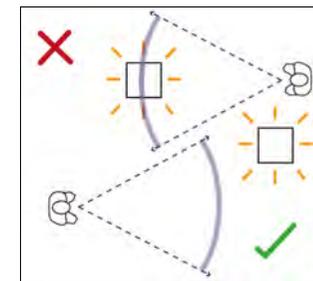


Art and play areas can work as public space activator or respond to already active places.

This can either be along movement routes or at destinations.



Art should be placed in a site where it will enhance its surroundings or at least not detract from it (creating a "blind" spot where illegal activity can take place).



Artworks at viewpoints and along the coastal routes should not detract from the natural beauty but compliment it.

The artwork in the coastal zone should be curated in order not to clutter and detract.



Artworks by local artists has the advantage of creating more of a sense of ownership and contributing to a local identity.



Artworks relating to local heroes, events and/or characteristics add to the sense of place and identity.

hermanus signage

product

description

application



Functional Art.

- All street furniture: benches, bins, streetlights etc.
- Direction signage.

- Throughout Hermanus CBD.
- Special locations where an additional investment of art adds value and a twist to the space.



Permanent art displays and Murals

- Paint, mosaic, etc.
- create an icon or focal point

- Throughout Hermanus CBD.
- Special locations where an additional investment of art adds value to the environment.
- Locations that require activation or a focal point.



Temporary installations, Interactive art

- Paint, mosaic, etc.
- Invite people to play.
- Invite people to move something.

- Throughout Hermanus CBD.
- Visible and active locations to ensure impact of the temporarily added attraction.
- To be located on blind walls, that require activation. Additional lighting can further improve impact of the intervention.



Play equipment integrated into the streetscape and public spaces

should reference materials used elsewhere in the CBD, such as low stone walls and fishing village iconography

- in public spaces and restaurant forecourts throughout the Hermanus CBD.



Play equipment in dedicated park spaces.

Natural timber or gum pole construction.

- next to the Amphitheatre in the coastal zone
- in Swallows park



rubberised mat



wood chip

Surface under and around play equipment

Rubberised fibre tile or matting, in a variety of colours

or

Wood chip or bark. Size: Not smaller than 13mm.

- Under play equipment in parks and open spaces.

# 5. DESIRED STREETSCAPES

In order to achieve a mobility balance within the CBD the following streetscape types are identified:

1. **High order mobility street**
2. **Structuring route**
3. **Connector street**
4. **Shared street**
5. **Pedestrian alleyway**

The sections and plans in this chapter show a generic street layout for each of the street types listed above. The proposed new layout aims to increase the space provided for pedestrians, improve walkability and address comfort and character of the street through the provision of a uniform material palette and introduction of street trees and greening.

A cycling strategy for Hermanus is required as per the PSTP. This document defers to the strategy when in place. In the absence of the cycling strategy for Hermanus we propose the following:

- Bicycles, where possible, should be routed away from high mobility routes towards less busy routes within the CBD, otherwise bicycles should have dedicated bike paths;
- Bicycle on structuring routes should have clearly demarcated lanes in the roadway;
- On local streets bikes share space with vehicular traffic but are separated from pedestrian movement; and
- In shared streets bicycles, pedestrians and vehicles share the same space.



PHOTOGRAPH 36. EXAMPLE OF SUDS AND PLANTING IN THE MEDIAN OF A HIGH MOBILITY ROUTE



PHOTOGRAPH 34. EXAMPLE OF ACTIVITY ON A CONNECTOR STREET



PHOTOGRAPH 35. ACTIVATED STREET EDGES, FRANSCHHOEK



PHOTOGRAPH 33. COMFORTABLE SPACE FOR ALL, EXAMPLE OF A SHARED STREET

## 5.1. HIGH ORDER MOBILITY STREETS



High Order Mobility Streets are designed for efficient transportation through the CBD, they are primarily designed to get from one area to another.

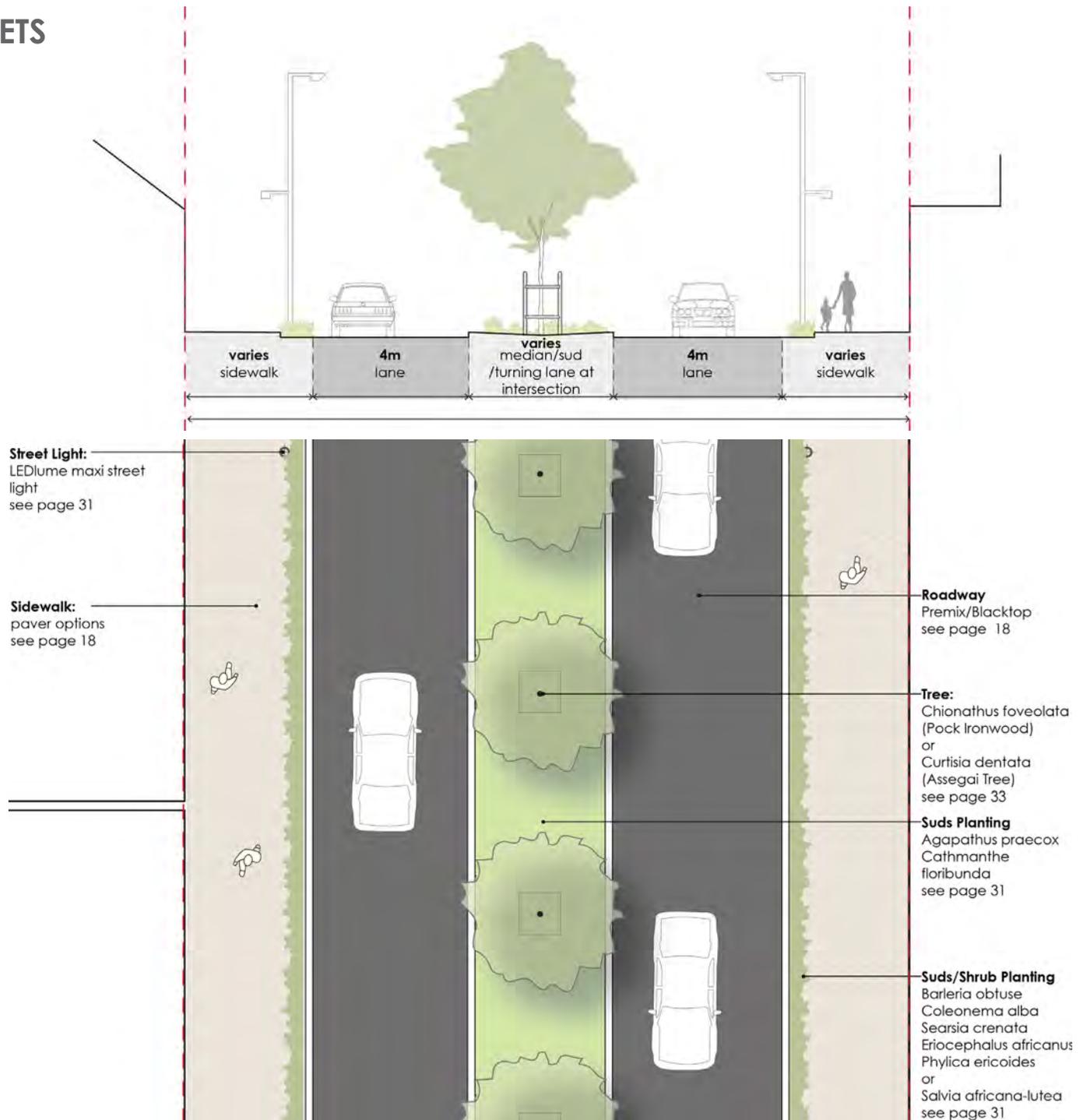
**Sidewalks :** Generous sidewalks provided on either side of the roadway.

**Travel Lanes :** Asphalt/ premix roadway travel lanes in two directions separated by a median . The travel lanes are designed for vehicular traffic and can be between 3.2-4m wide.

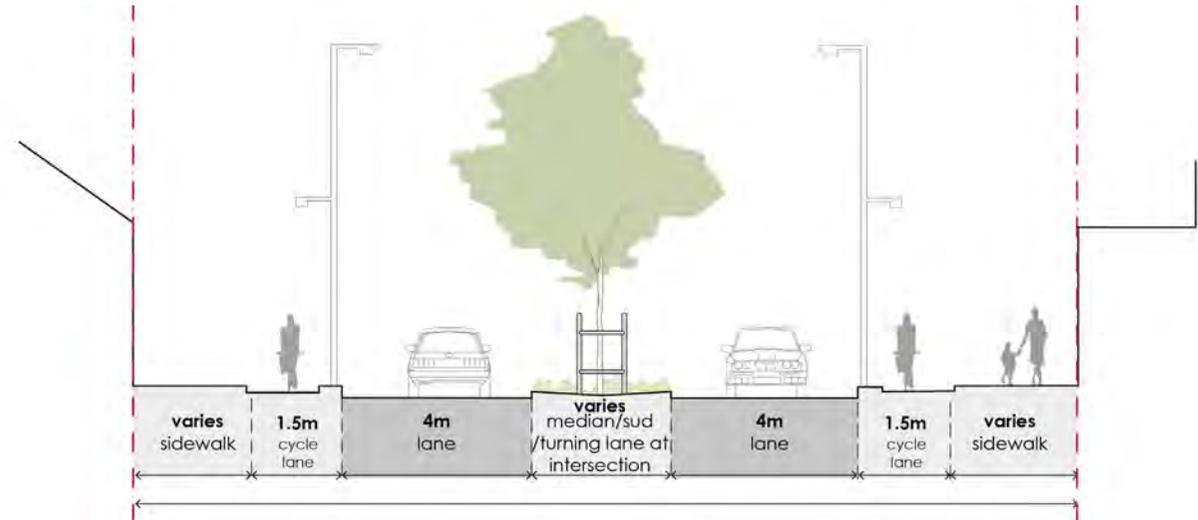
**Median:** The median provides space for trees and planting and can be used as part of the SUDS system. The median can also accommodate turning lanes were required.

**Street Tree Planting:** Large Street trees are planted in the centre median of the high mobility route. Although attention should be given to sightlines at turning points and intersections.

**Cycle lane:** cycling is discouraged on high order mobility routes and is rather accounted for on lower order routes within the CBD.



## 5.2. HIGH ORDER MOBILITY STREETS OPTION B



Should the cycle strategy for Hermanus require routes on the High Order Mobility Street the following option should be considered.

**Cycle Lanes:** Should be a minimum of 1.5m on either side of the road. The cycle lanes should be separated from vehicular traffic (separated with a kerb) and from the sidewalk.

**Sidewalks:** Sidewalks should be a minimum of 2m wide.

**Street Light:**  
LEDlume maxi street light  
see page 31

**Sidewalk:**  
paver options  
see page 18

**Roadway**  
Premix/Blacktop  
see page 18

**Tree:**  
Chionathus foveolata (Pock Ironwood)  
or  
Curtisia dentata (Assegai Tree)  
see page 33

**Suds Planting**  
Agapathus praecox  
Cathmanthe floribunda  
see page 31

**Suds/Shrub Planting**  
Barleria obtuse  
Coleonema alba  
Searsia crenata  
Eriocephalus africanus  
Phylica ericoides  
or  
Salvia africana-lutea  
see page 31

## 5.3. STRUCTURING ROUTES



Structuring Routes have the following components:

**Sidewalks:** preference is given to the width of sidewalk to provide sufficient pedestrian space, accommodate street trees and at points allow for spill out activity. Sidewalks should be paved.

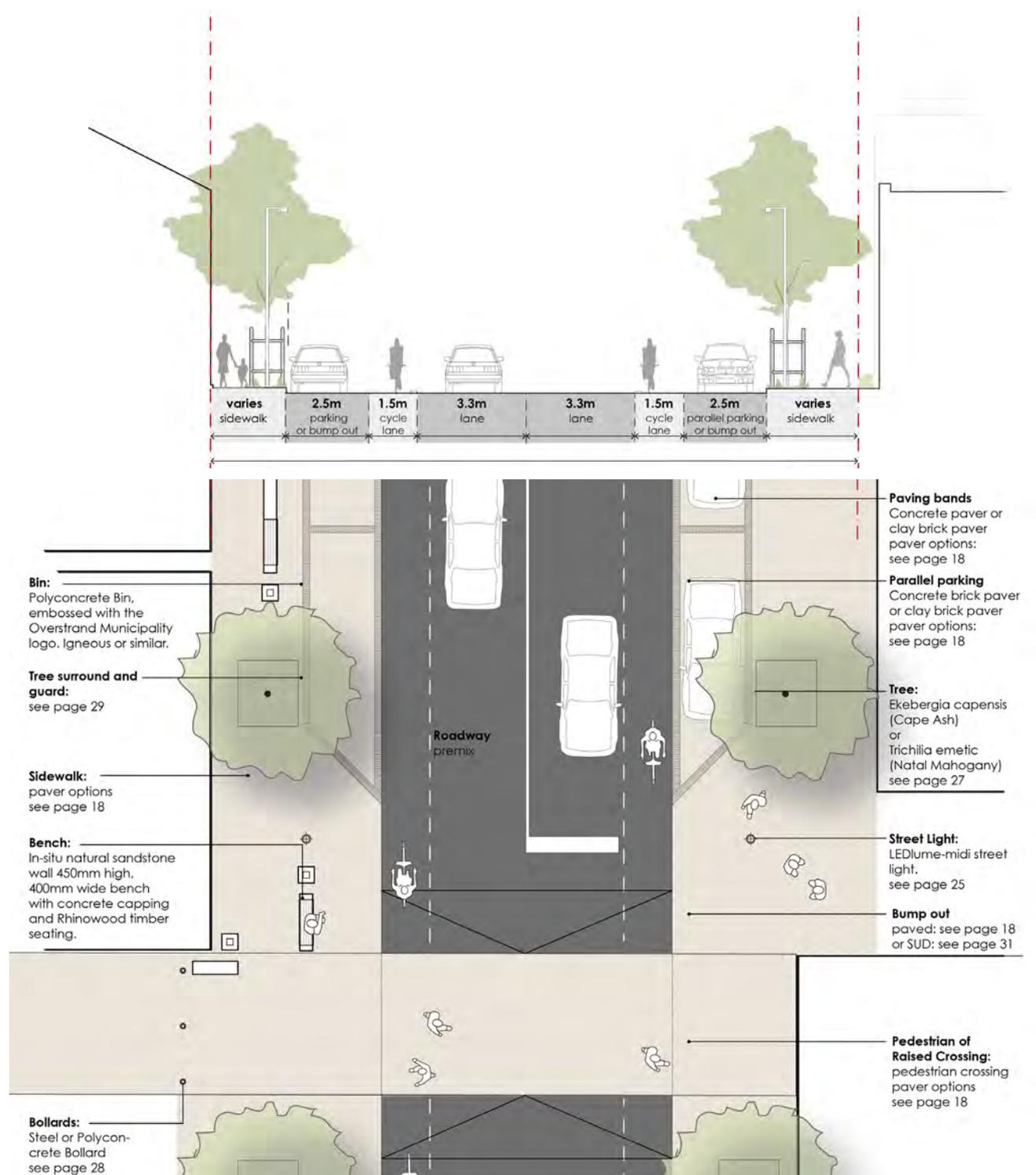
**Travel Lanes :** Bi-directional travel lanes, surfaced in premix. The travel lanes on the structuring route should be 3.3m wide.

**On Street Parking :** is provided parallel to the roadway a maximum of 2.5m wide. parking must give way to bump outs at intersections and pedestrian crossings to increase safety, expand the size of the pedestrian realm and minimize the distance the pedestrian has to walk over the roadway.

**Cycle Lanes :** When cycle lanes are required they should be demarcated on the roadway. Cycle lanes must be a min of 1.8m wide on both sides of the road.

**Street Tree Planting :** Tree planting is allowed in the sidewalk zone. a minimum of 1m x 1m is required for the tree hole.

**Raised Ped Crossings :** raised, paved crossings should be introduced along structuring routes.



## 5.4. CONNECTOR STREET



Connector streets are streets that connect places in Hermanus to one another. Connector streets have the following components:

**Sidewalks** : Large sidewalks are proposed to increase walkability and pedestrian safety. Sidewalks should be paved.

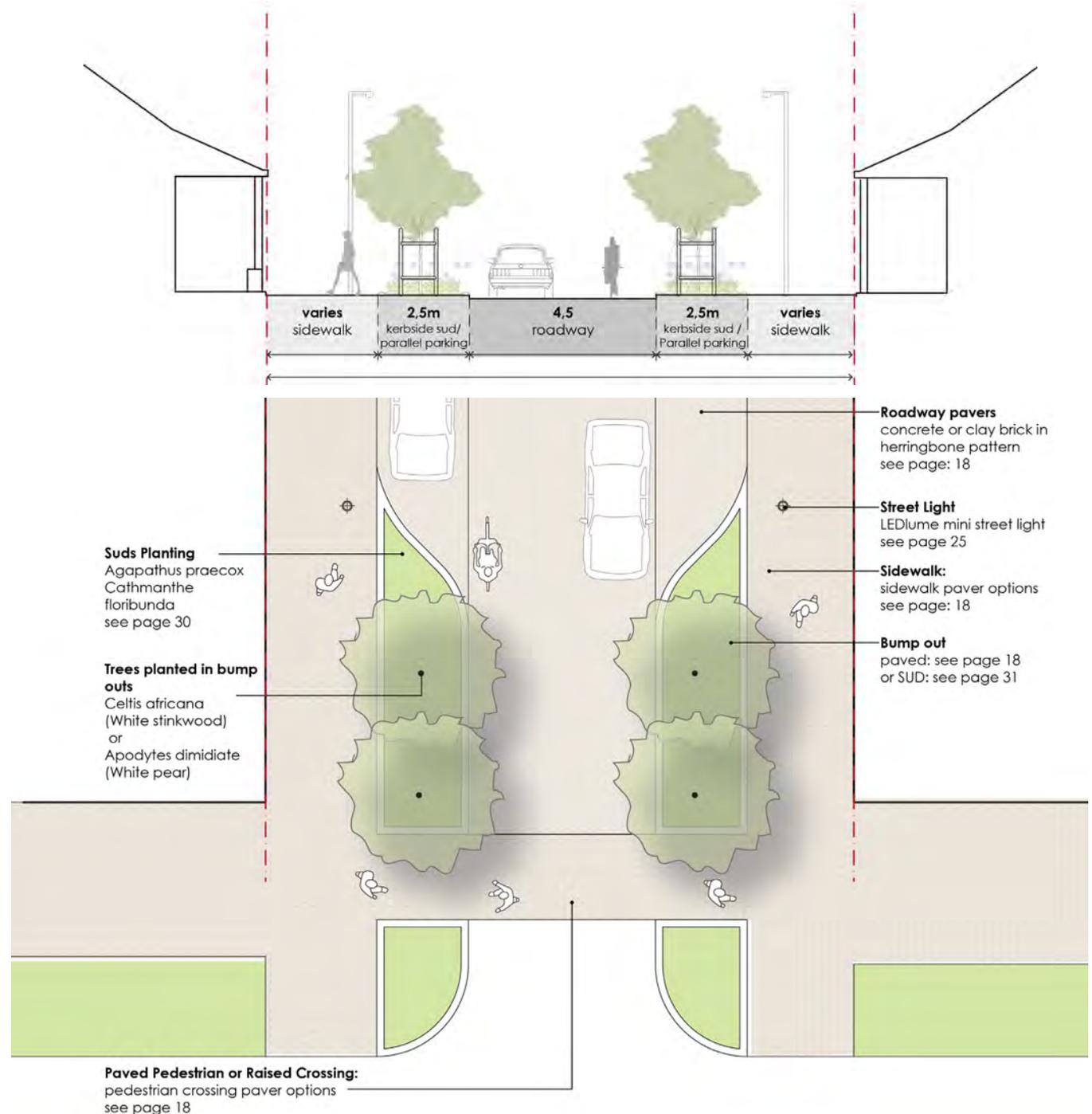
**Travel Lanes** : should be approximately 4.5 m wide and should be paved in concrete or clay brick, laid in a herringbone pattern.

**On Street Parking** : on street parking, parallel to the roadway, should be staggered with SUDS planters and paved bump outs. Parking should be intermittent rather than in continuous strips.

**Street Tree Planting** : Included within the suds and bump outs because there is not enough space to plant them in the sidewalk. Street trees must have a minimum of 1m x 1m planting space and can be integrated into SUDS.

**Cycle Lanes** : cycling lanes on connector streets should not be separated from the vehicular traffic but be allowed to share the roadways with cars. this can be done because of the low travel speeds on these roads

**Raised Pedestrian Crossings** : should be present at all intersection and should be used to create safer crossing points.



## 5.5. SHARED STREET



Shared Streets have a level paved surface that runs from building edge to building edge. It provides space for all users but ensures that cars feel like guests in the space. Rather than the typical sidewalk and roadway zone the shared street has a social zone that is dedicated for pedestrians, street furniture, tree planting and activity accommodation, and a movement zone, that is predominantly for pedestrian, cycling and limited car movement.

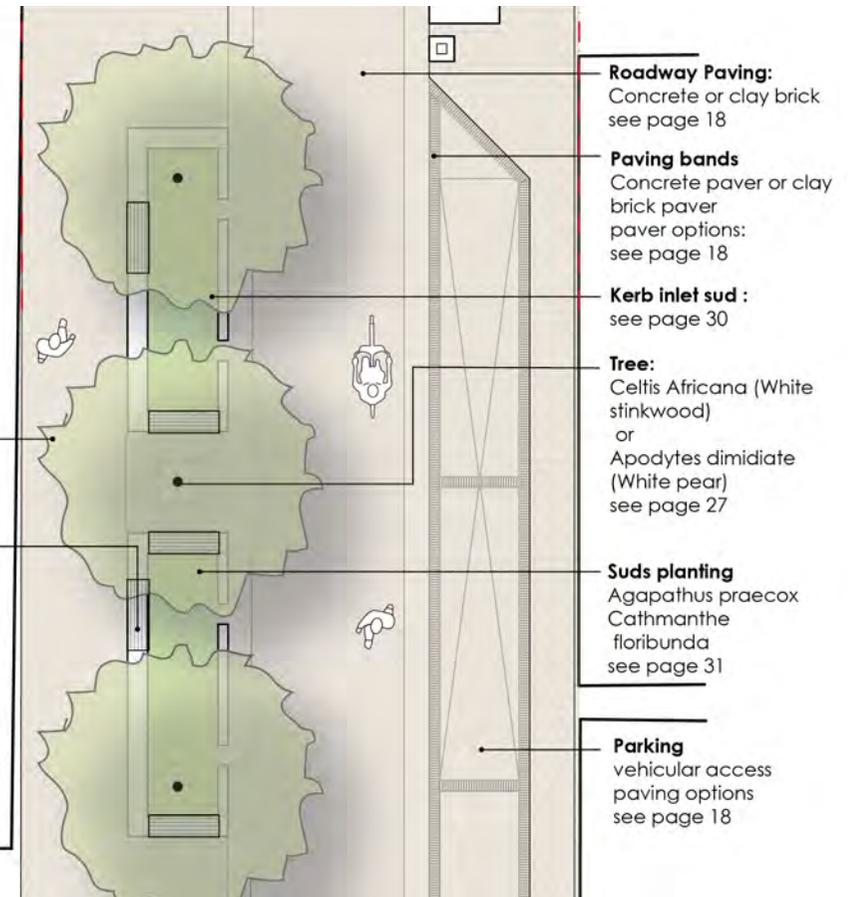
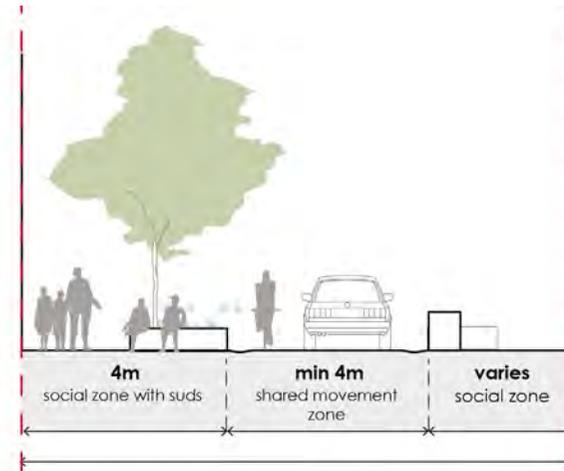
**Social Zone:** the width of the social zone should be maximised.

**Movement Zone :** the movement zone has a minimum width of 4 m. The social and movement zones are separated by bollards, low stone walls and street trees.

**On Street Parking :** Parking and loading is minimised but where it is provided it is integrated into the movement section.

**Street Tree Planting and SUDS Network :** Street trees should be integrated along the length of the street. Places for pedestrians to sit and pause should be created and wherever possible be integrated into the SUD systems.

**Street Furniture:** shared streets are designed to make people linger in the street and as such, quality, comfortable street furniture should be provided.



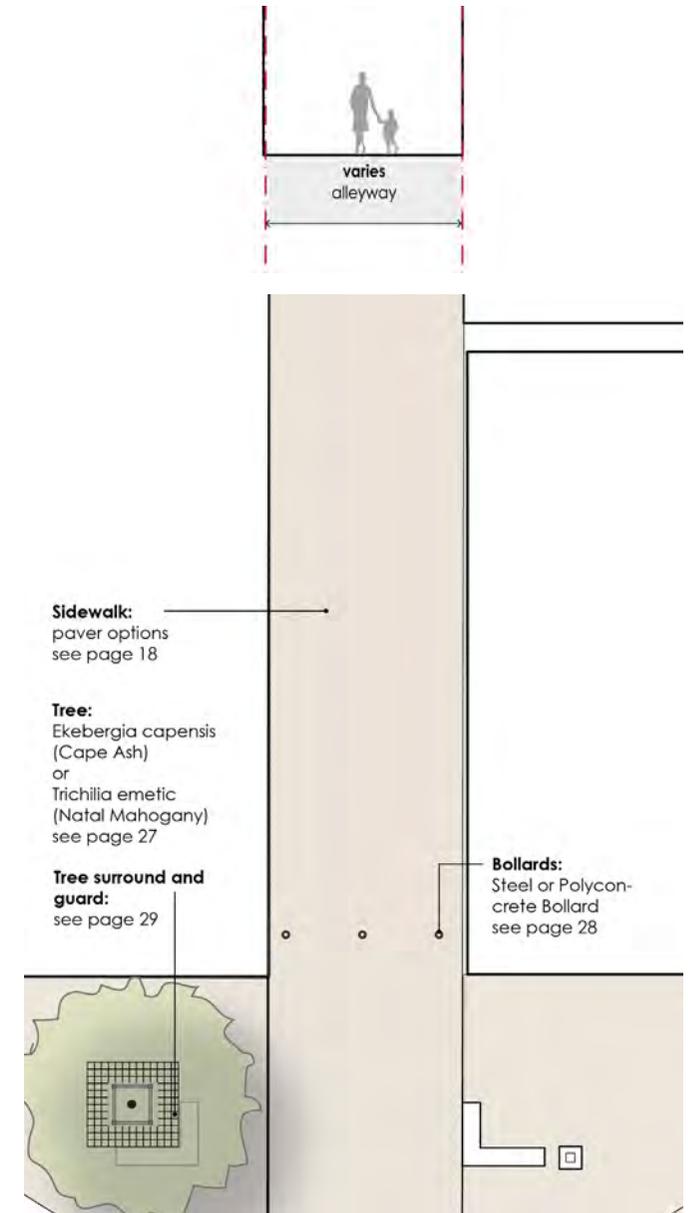
## 5.6. PEDESTRIAN ALLEYWAYS



Pedestrian Alleyways are of particular importance within Hermanus as they are a reminder of the CBD's history as a fishing village, and as such they should be celebrated.

The pedestrian alleyways are designed to only be accessible by pedestrians and cyclists.

They should be paved with either clay or concrete pavers. There is an opportunity to introduce paving patterns and that use a mixture of the pavers specified.



## 5.7. PARKING AREAS



Parking areas in the CBD should be small scale, and integrated into the urban fabric of the town. Queues should be taken from successful parking areas at Gearings Point and Market Square.

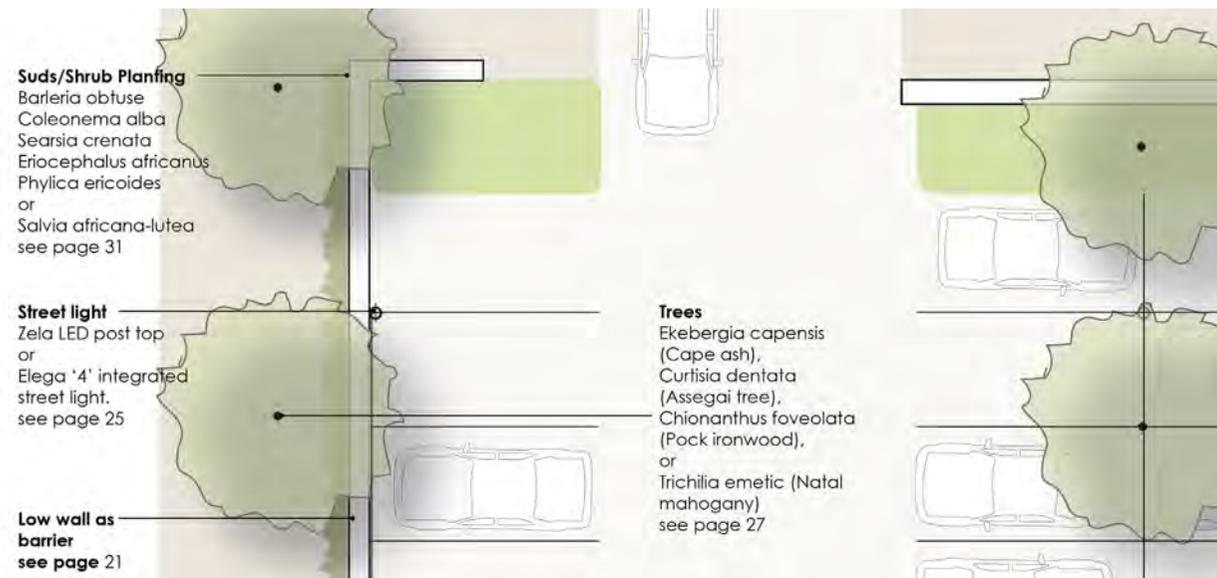
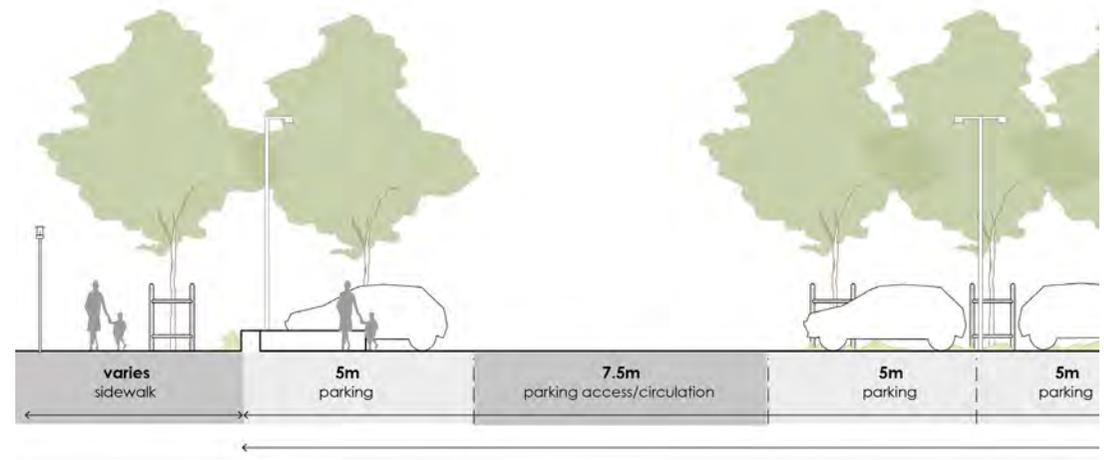
Parking areas have the following components:

**Low wall:** a visual barrier should be provided to shield the view of parked cars from the pedestrian area and define the space.

**Parking Surface:** the surface of the parking lot should be made of a permeable or pervious surface to allow for ground water attenuation and should have planted areas to act as SUDS.

**Trees:** Large trees should be planted in the parking areas to break the scale, provide shade and reduce the heat island effect.

Good **pedestrian access:** should be provided and trees should be used to shade these routes.

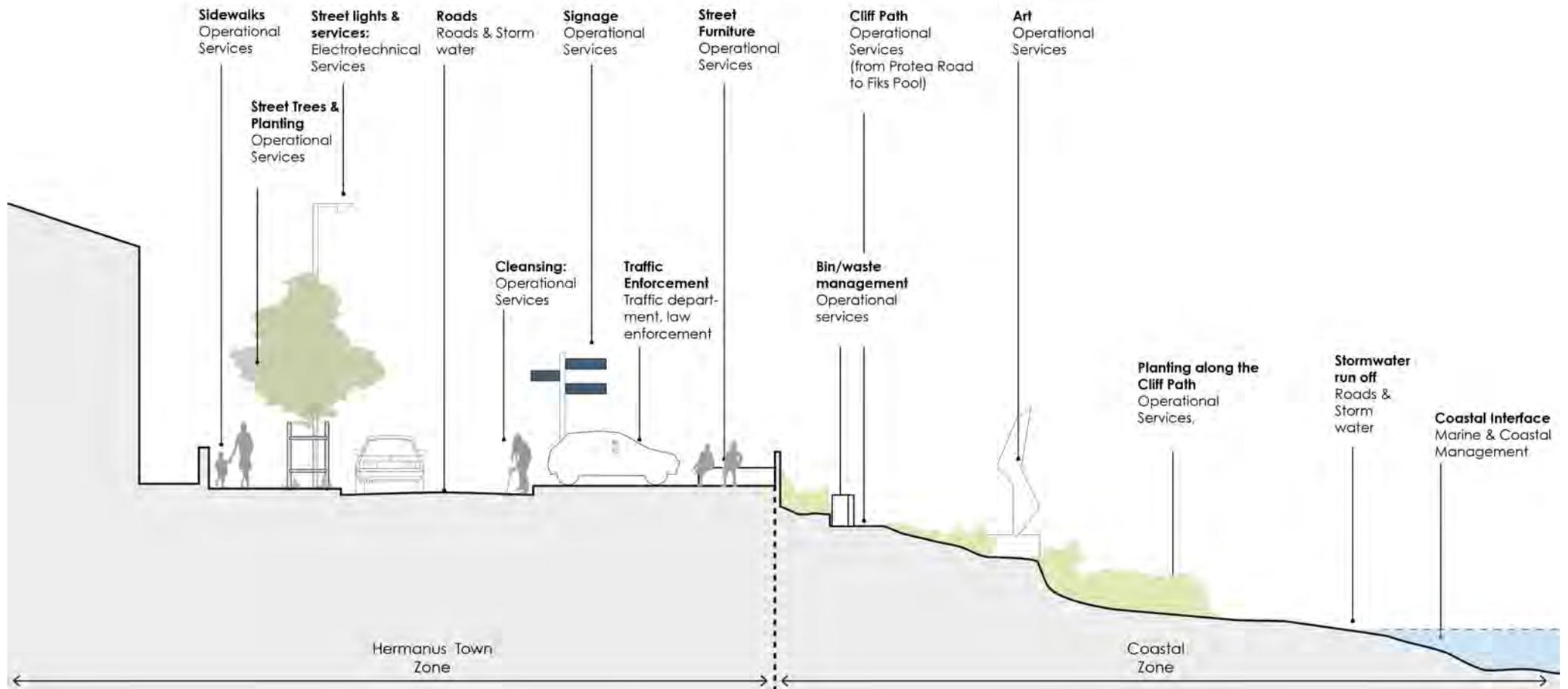


# 6. IMPLEMENTATION STRATEGY

The following have been identified as critical action items in the implementation of the Public Space Manual.

|   | <b>What should be done</b>                                                                                                                  | <b>Who is the driver</b>                             | <b>When</b>           |
|---|---------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|-----------------------|
| 1 | Implementation and application of the Public Space Manual                                                                                   | Town planning department                             | Ongoing               |
| 2 | Monitor the use and update/adjust the Public Space Manual where necessary                                                                   | Town planning department                             | Ongoing               |
| 3 | Ongoing maintenance and prompt removal of broken or damaged elements in the public domain                                                   | Operational Services                                 | Ongoing               |
| 4 | Replacement of concrete and timber benches in the Coastal zone with sandstone benches, removal of redundant structures, bins and benches    | Operational Services                                 | Ongoing               |
| 5 | General assessment/audit of all signage (both public and private) in Hermanus CBD and enforcement of the Municipal By-law on signage        | Town Planning                                        | Short term            |
| 6 | General assessment of all art and installations in the Coastal zone and relocation of the planet exhibition to a more appropriate location. | Operational Services and Cliff Path Management Group | Short term            |
| 7 | Develop an integrated cycling and NMT strategy as per PSTP                                                                                  | Roads and Stormwater and Town planning               | Short term            |
| 8 | Implement NMT oriented street interventions                                                                                                 | Roads and Stormwater and Town planning               | Short and medium term |

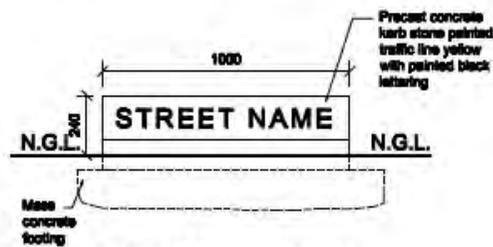
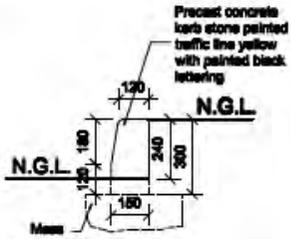
# 7. MAINTENANCE RESPONSIBILITIES

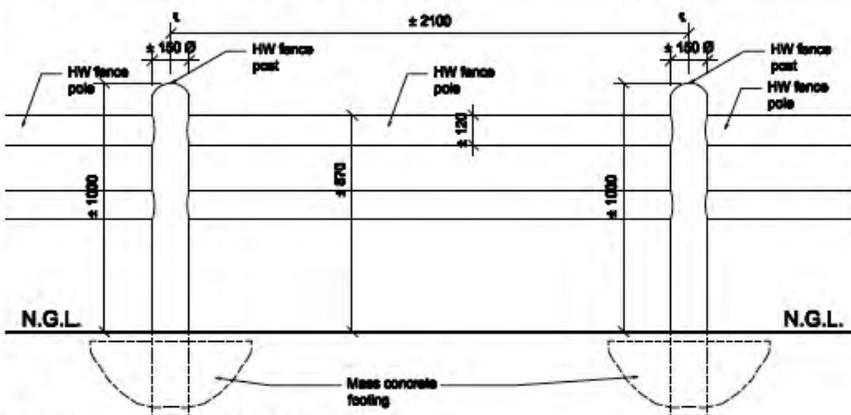


# 9. APPENDIX

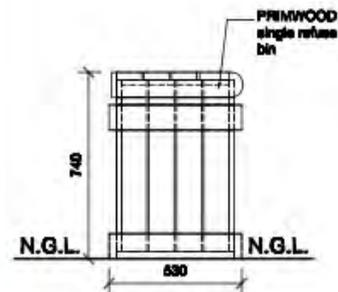
- A. EXTRACTS FROM THE STREET FURNITURE SURVEY - 2011
- B. EXTRACTS FROM MARKET SQUARE SIGNAGE DESIGN
- C. EXTRACTS FROM THE HIGH STREET UPGRADE.

# A. EXTRACTS FROM STREET FURNITURE SURVEY - 2011

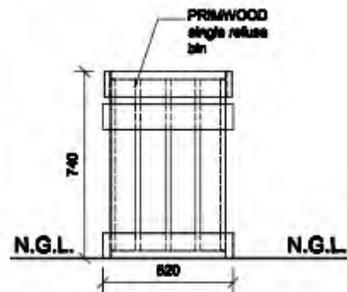
|                                                                                                                                                              |                                                                                     |                                                                                                                                                              |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br>HERMANUS CBD &<br>WESTCLIFF                                                                                                       | <b>SURVEY</b><br>STREET NAME KERB SIGN                                              | DATE : 03 / 08 / 2011<br>DRG. NO. Her 003<br>REV. : 0                                                                                                        |
|  <p style="text-align: center;"><b>ELEVATION : FRONT</b><br/>SCALE 1:20</p> |                                                                                     |                                                                                                                                                              |
|  <p style="text-align: center;"><b>ELEVATION : SIDE</b><br/>SCALE 1:20</p>  |                                                                                     |                                                                                                                                                              |
|                                                                            |                                                                                     |                                                                                                                                                              |
| DIGITAL PHOTO NO. : 003<br>LOCATION : Duiker Street<br>DATE : 03 / 08 / 2011                                                                                 |                                                                                     | SPECIFICATION : Precast concrete kerb stone painted traffic line yellow with painted black lettering                                                         |
| <b>OVERSTRAND MUNICIPALITY</b><br>MAGNOLIA STREET<br>HERMANUS<br>OVERSTRAND<br>7200                                                                          |  | <b>ANDREW GREFF ARCHITECTS</b><br>20 PATERSON STREET<br>HERMANUS<br>7200<br>TEL : 028 - 313 1986<br>FAX : 028 - 313 1977<br>e-mail: aggreff@overstrand.co.za |

|                                                                                                                                                                |                                                                                       |                                                                                                                                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br>HERMANUS CBD &<br>WESTCLIFF                                                                                                         | <b>SURVEY</b><br>GUM POLE FENCE                                                       | DATE : 03 / 08 / 2011<br>DRG. NO. Her 006<br>REV. : 0                                                                                                        |
|  <p style="text-align: center;"><b>ELEVATION : FRONT</b><br/>SCALE 1:20</p> |                                                                                       |                                                                                                                                                              |
|                                                                            |                                                                                       |                                                                                                                                                              |
| DIGITAL PHOTO NO. : 006<br>LOCATION : Duiker Street<br>DATE : 03 / 08 / 2011                                                                                   |                                                                                       | SPECIFICATION : Gumpole fence                                                                                                                                |
| <b>OVERSTRAND MUNICIPALITY</b><br>MAGNOLIA STREET<br>HERMANUS<br>OVERSTRAND<br>7200                                                                            |  | <b>ANDREW GREFF ARCHITECTS</b><br>20 PATERSON STREET<br>HERMANUS<br>7200<br>TEL : 028 - 313 1986<br>FAX : 028 - 313 1977<br>e-mail: aggreff@overstrand.co.za |

|                                             |                                                    |                                                                            |
|---------------------------------------------|----------------------------------------------------|----------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br><b>KLEINMOND</b> | <b>SURVEY</b><br><b>PRIMWOOD SINGLE REFUSE BIN</b> | <b>DATE : 25 / 08 / 2011</b><br><b>DRG. NO. K1e 020</b><br><b>REV. : 0</b> |
|---------------------------------------------|----------------------------------------------------|----------------------------------------------------------------------------|



**ELEVATION : FRONT**  
**SCALE 1:20**



**ELEVATION : SIDE**  
**SCALE 1:20**



DIGITAL PHOTO NO. : 022  
LOCATION : 1Ste Laan  
DATE : 25 / 08 / 2011

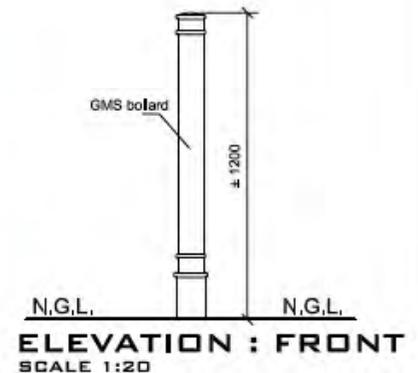
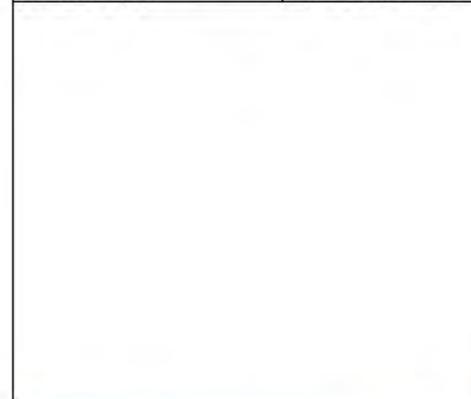
SPECIFICATION : PRIMWOOD single refuse bin

**OVERSTRAND MUNICIPALITY**  
MAGNOLIA STREET  
HERMANUS  
OVERSTRAND  
7200



**ANDREW GREEFF ARCHITECTS**  
20 PATERSON STREET  
HERMANUS  
7200  
TEL : 028 - 313 1988  
FAX : 028 - 313 1977  
e-mail: agreeff@indico.co.za

|                                                                |                                             |                                                                            |
|----------------------------------------------------------------|---------------------------------------------|----------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br><b>HERMANUS CBD &amp; WESTCLIFF</b> | <b>SURVEY</b><br><b>GMS BOLLARDS TYPE 1</b> | <b>DATE : 03 / 08 / 2011</b><br><b>DRG. NO, Her 023</b><br><b>REV. : 0</b> |
|----------------------------------------------------------------|---------------------------------------------|----------------------------------------------------------------------------|



**ELEVATION : FRONT**  
**SCALE 1:20**

DIGITAL PHOTO NO. ; 023  
LOCATION ; Marne Drive  
DATE ; 03 / 08 / 2011

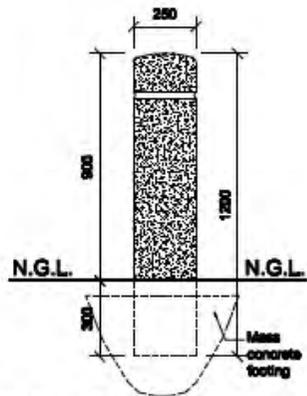
SPECIFICATION : GMS Bollards painted blue

**OVERSTRAND MUNICIPALITY**  
MAGNOLIA STREET  
HERMANUS  
OVERSTRAND  
7200



**ANDREW GREEFF ARCHITECTS**  
20 PATERSON STREET  
HERMANUS  
7200  
TEL : 028 - 313 1988  
FAX : 028 - 313 1977  
e-mail: agreeff@indico.co.za

|                                                                          |                                                                                 |                                                                            |
|--------------------------------------------------------------------------|---------------------------------------------------------------------------------|----------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br><b>HERMANUS CBD &amp;</b><br><b>WESTCLIFF</b> | <b>SURVEY</b><br><b>OLD WORLD CONCRETE CIVIC</b><br><b>ROUND BANDED BOLLARD</b> | <b>DATE : 03 / 08 / 2011</b><br><b>DRG. NO. Her 028</b><br><b>REV. : 0</b> |
|--------------------------------------------------------------------------|---------------------------------------------------------------------------------|----------------------------------------------------------------------------|



**ELEVATION : FRONT**  
**SCALE 1:120**

DIGITAL PHOTO NO. : 028  
LOCATION : Mitchell Street  
DATE : 03 / 08 / 2011

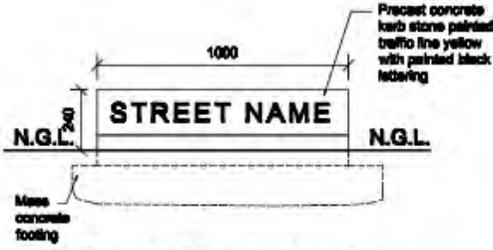
SPECIFICATION : OLD WORLD CONCRETE  
Civic round 250 x 1200mm Ht banded bollard

**OVERSTRAND MUNICIPALITY**  
MAGNOLIA STREET  
HERMANUS  
OVERSTRAND  
7200



**ANDREW GREIFF ARCHITECTS**  
20 PATERSON STREET  
HERMANUS  
7200  
TEL : 028 - 313 1888  
FAX : 028 - 313 1877  
e-mail: agriff@overstrand.co.za

|                                             |                                               |                                                                            |
|---------------------------------------------|-----------------------------------------------|----------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br><b>EASTCLIFF</b> | <b>SURVEY</b><br><b>STREET NAME KERB SIGN</b> | <b>DATE : 03 / 08 / 2011</b><br><b>DRG. NO. Eas 003</b><br><b>REV. : 0</b> |
|---------------------------------------------|-----------------------------------------------|----------------------------------------------------------------------------|



**ELEVATION : FRONT**  
**SCALE 1:120**



**ELEVATION : SIDE**  
**SCALE 1:120**

DIGITAL PHOTO NO. : 003  
LOCATION : DeVilliers Street  
DATE : 03 / 08 / 2011

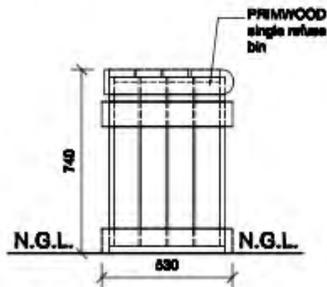
SPECIFICATION : Precast concrete kerb stone  
painted traffic line yellow with painted black  
lettering

**OVERSTRAND MUNICIPALITY**  
MAGNOLIA STREET  
HERMANUS  
OVERSTRAND  
7200

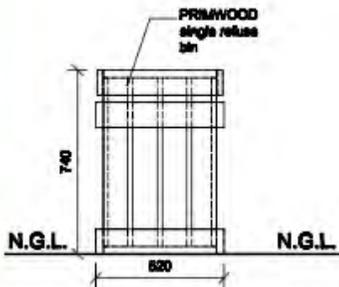


**ANDREW GREIFF ARCHITECTS**  
20 PATERSON STREET  
HERMANUS  
7200  
TEL : 028 - 313 1888  
FAX : 028 - 313 1877  
e-mail: agriff@overstrand.co.za

|                                           |                                                           |                                                                            |
|-------------------------------------------|-----------------------------------------------------------|----------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br><b>ROOIELS</b> | <b>SURVEY</b><br><b>PRIMWOOD SMALL REFUSE BIN HOUSING</b> | <b>DATE : 24 / 06 / 2011</b><br><b>DRG. NO. Roo 004</b><br><b>REV. : 0</b> |
|-------------------------------------------|-----------------------------------------------------------|----------------------------------------------------------------------------|



**ELEVATION : FRONT**  
**SCALE 1:20**



**ELEVATION : SIDE**  
**SCALE 1:20**

**SPECIFICATION : PRIMWOOD small refuse bin housing**

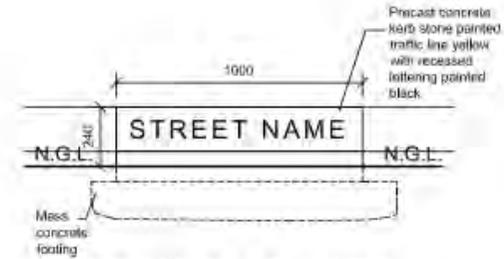
**DIGITAL PHOTO NO. : 004**  
**LOCATION : Rocklands Road**  
**DATE : 24 / 06 / 2011**

**OVERSTRAND MUNICIPALITY**  
MAGNOLIA STREET  
HERMANUS  
OVERSTRAND  
7260

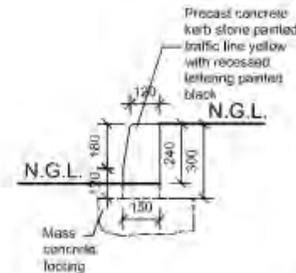


**ANDREW GREEFF ARCHITECTS**  
20 PATERSON STREET  
HERMANUS  
7260  
TEL : 028 - 313 1808  
FAX : 028 - 313 1877  
e-mail: agreeff@overstrand.co.za

|                                                          |                                                 |                                                                                  |
|----------------------------------------------------------|-------------------------------------------------|----------------------------------------------------------------------------------|
| <b>STREET FURNITURE</b><br><b>HERMANUS AND ELSEWHERE</b> | <b>PROPOSAL</b><br><b>STREET NAME KERB SIGN</b> | <b>DATE : 12 / 06 / 2012</b><br><b>DRG. NO. All / P / 010</b><br><b>REV. : 0</b> |
|----------------------------------------------------------|-------------------------------------------------|----------------------------------------------------------------------------------|



**ELEVATION : FRONT**  
**SCALE 1:20**



**ELEVATION : SIDE**  
**SCALE 1:20**

**LOCATION : ALL**

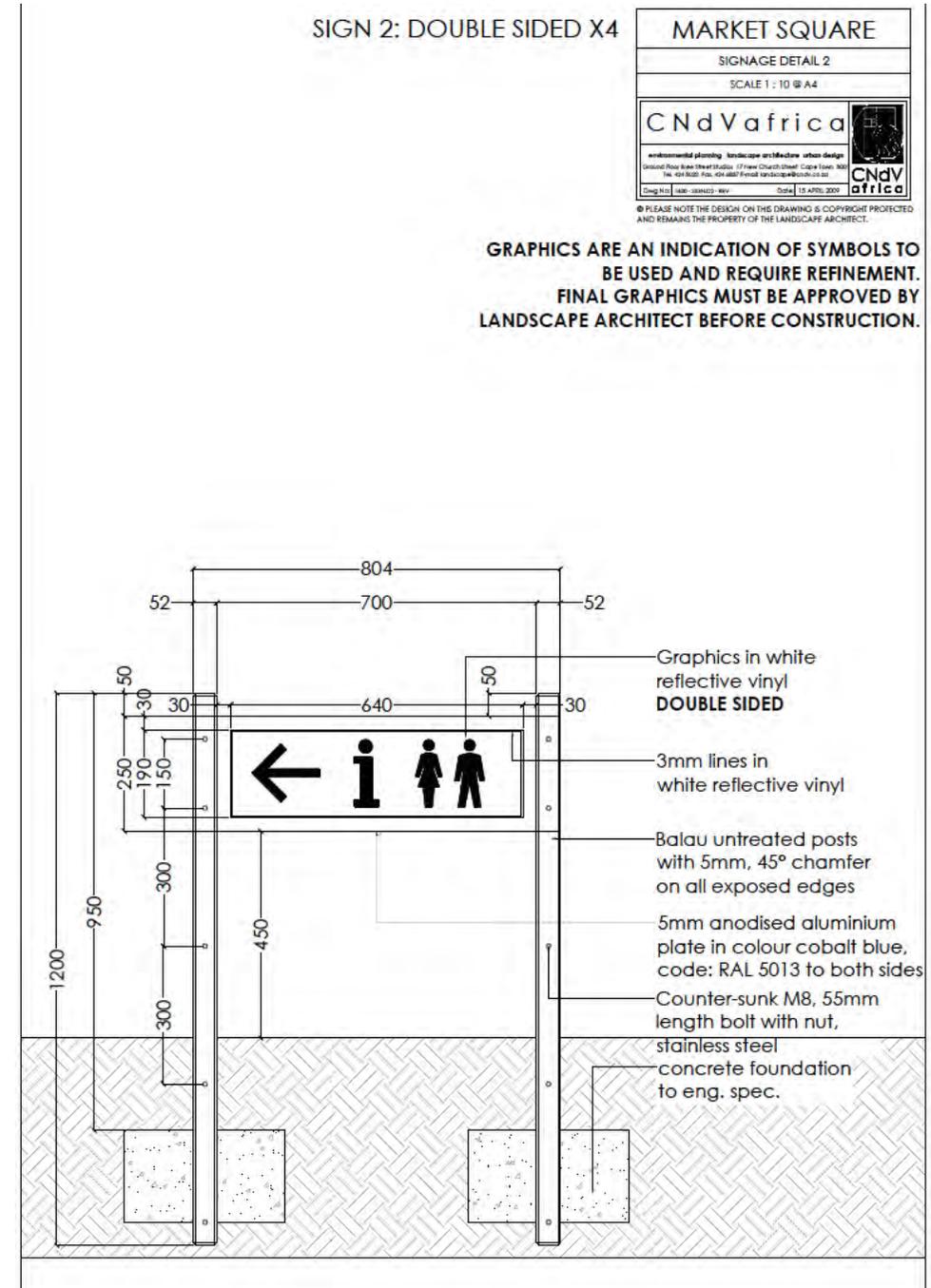
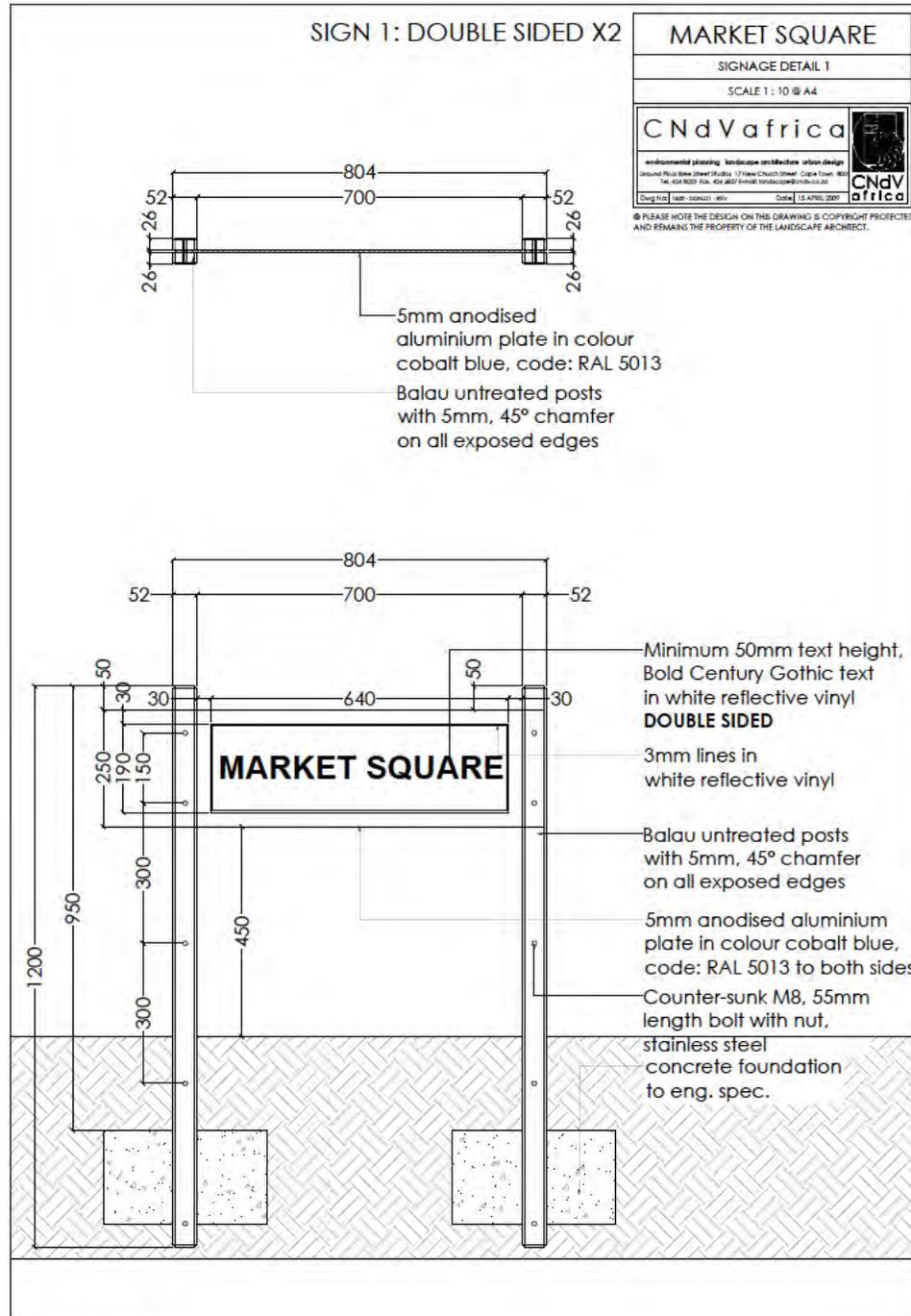
**SPECIFICATION : Precast concrete kerb stone painted traffic line yellow with recessed lettering painted black**

**OVERSTRAND MUNICIPALITY**  
MAGNOLIA STREET  
HERMANUS  
OVERSTRAND  
7260



**ANDREW GREEFF ARCHITECTS**  
20 PATERSON STREET  
HERMANUS  
7260  
TEL : 028 - 313 1808  
FAX : 028 - 313 1877  
e-mail: agreeff@overstrand.co.za

## B. EXTRACT FROM THE MARKET SQUARE UPGRADE, SIGNAGE DESIGN - 2009

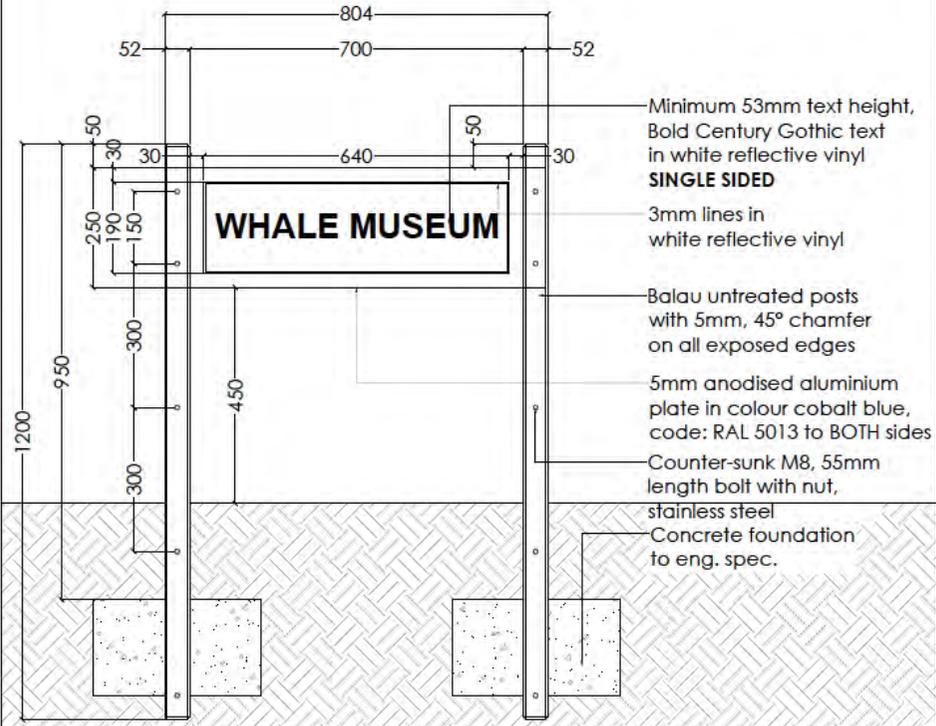


SIGN 3: SINGLE SIDED X2

**MARKET SQUARE**  
SIGNAGE DETAIL 3  
SCALE 1 : 10 @ A4

**CNdV africa**  
environmental planning landscape architecture urban design  
Ground Floor 3rd Street Studio, 17 New Church Street, Cape Town, 8001  
Tel: +27 21 462 7000 Fax: +27 21 462 7001 Email: info@cnadvafrica.co.za  
Drawn by: info@cnadvafrica.co.za Date: 15 APRIL 2009

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- Minimum 53mm text height, Bold Century Gothic text in white reflective vinyl **SINGLE SIDED**
- 3mm lines in white reflective vinyl
- Balau untreated posts with 5mm, 45° chamfer on all exposed edges
- 5mm anodised aluminium plate in colour cobalt blue, code: RAL 5013 to BOTH sides
- Counter-sunk M8, 55mm length bolt with nut, stainless steel
- Concrete foundation to eng. spec.

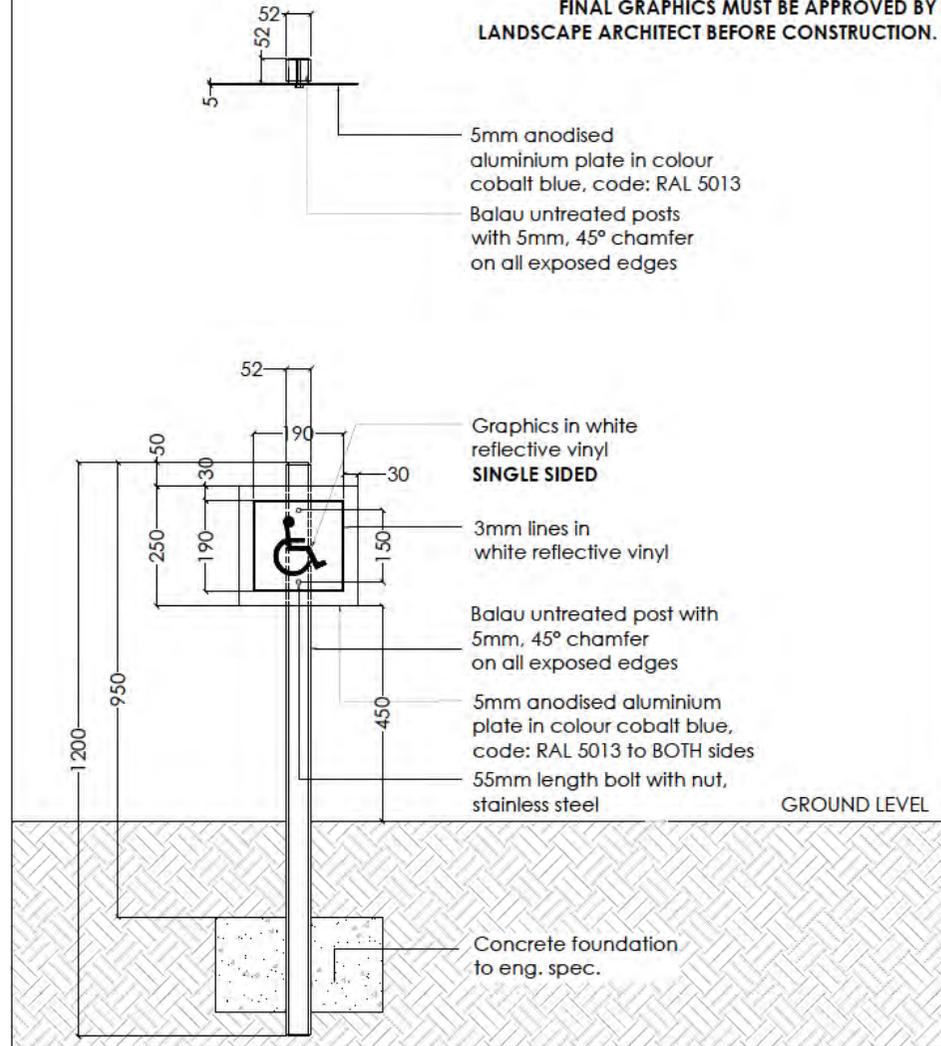
SIGN 4: SINGLE SIDED X4

**MARKET SQUARE**  
SIGNAGE DETAIL 4  
SCALE 1 : 10 @ A4

**CNdV africa**  
environmental planning landscape architecture urban design  
Ground Floor 3rd Street Studio, 17 New Church Street, Cape Town, 8001  
Tel: +27 21 462 7000 Fax: +27 21 462 7001 Email: info@cnadvafrica.co.za  
Drawn by: info@cnadvafrica.co.za Date: 15 APRIL 2009

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**GRAPHICS ARE AN INDICATION OF SYMBOLS TO BE USED AND REQUIRE REFINEMENT. FINAL GRAPHICS MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE CONSTRUCTION.**



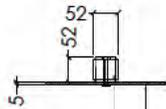
- 5mm anodised aluminium plate in colour cobalt blue, code: RAL 5013
- Balau untreated posts with 5mm, 45° chamfer on all exposed edges

- Graphics in white reflective vinyl **SINGLE SIDED**
- 3mm lines in white reflective vinyl
- Balau untreated post with 5mm, 45° chamfer on all exposed edges
- 5mm anodised aluminium plate in colour cobalt blue, code: RAL 5013 to BOTH sides
- 55mm length bolt with nut, stainless steel
- GROUND LEVEL
- Concrete foundation to eng. spec.

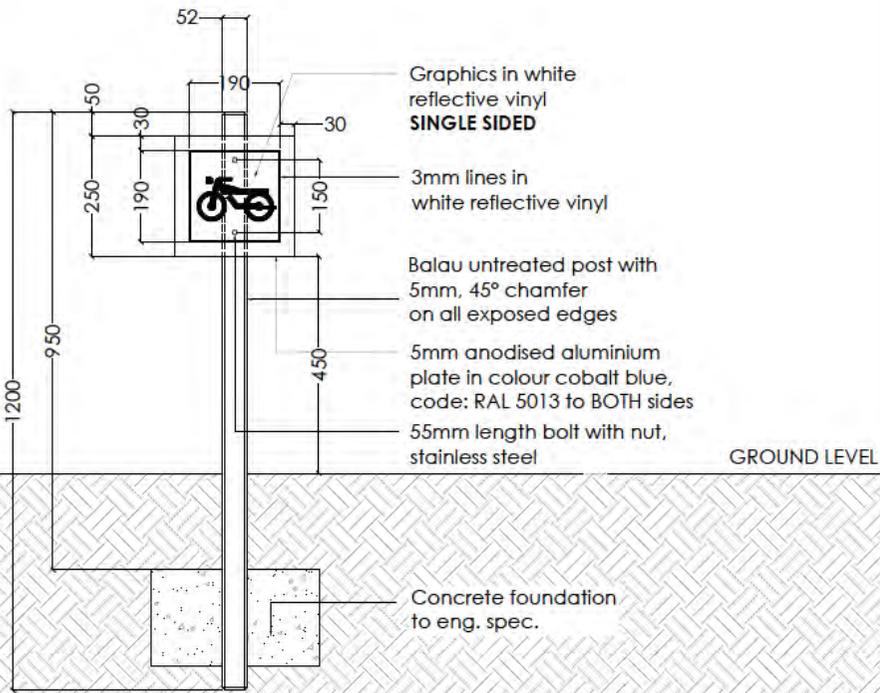
SIGN 5: SINGLE SIDED X1

| MARKET SQUARE                                                                                                                                                                                                                                                                             |  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| SIGNAGE DETAIL 5                                                                                                                                                                                                                                                                          |  |
| SCALE 1 : 10 @ A4                                                                                                                                                                                                                                                                         |  |
|                                                                                                                                                                                                         |  |
| <small>environmental planning landscape architecture urban design<br/>                 17 New Church Street Cape Town 8001<br/>                 Tel: 481 9022 Fax: 481 4882 Email: landscape@cndv.co.za<br/>                 CndV africa<br/>                 Date: 15 APRIL 2019</small> |  |
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GRAPHICS ARE AN INDICATION OF SYMBOLS TO BE USED AND REQUIRE REFINEMENT. FINAL GRAPHICS MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE CONSTRUCTION.

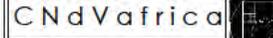


- 5mm anodised aluminium plate in colour cobalt blue, code: RAL 5013
- Balau untreated posts with 5mm, 45° chamfer on all exposed edges

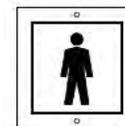
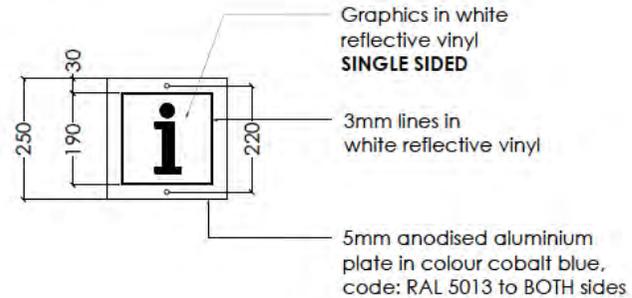


- Graphics in white reflective vinyl **SINGLE SIDED**
- 3mm lines in white reflective vinyl
- Balau untreated post with 5mm, 45° chamfer on all exposed edges
- 5mm anodised aluminium plate in colour cobalt blue, code: RAL 5013 to BOTH sides
- 55mm length bolt with nut, stainless steel
- Concrete foundation to eng. spec.

SET 6: SINGLE SIDED X 1 EACH AND MOUNTED ONTO WALL OF BUILDING

| MARKET SQUARE                                                                                                                                                                                                                                                                             |  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| SIGNAGE DETAIL 6                                                                                                                                                                                                                                                                          |  |
| SCALE 1 : 10 @ A4                                                                                                                                                                                                                                                                         |  |
|                                                                                                                                                                                                        |  |
| <small>environmental planning landscape architecture urban design<br/>                 17 New Church Street Cape Town 8001<br/>                 Tel: 481 9022 Fax: 481 4882 Email: landscape@cndv.co.za<br/>                 CndV africa<br/>                 Date: 15 APRIL 2019</small> |  |
| <small>© PLEASE NOTE THE DESIGN ON THIS DRAWING IS COPYRIGHT PROTECTED AND REMAINS THE PROPERTY OF THE LANDSCAPE ARCHITECT.</small>                                                                                                                                                       |  |

GRAPHICS ARE AN INDICATION OF SYMBOLS TO BE USED AND REQUIRE REFINEMENT. FINAL GRAPHICS MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE CONSTRUCTION.



# C. EXTRACTS FROM THE HERMANUS HIGH STREET UPGRADE - 2019

**Tree Planting - Section A-A**  
Scale 1:20 (Printed at A1)

**Tree Guard Section**  
Scale 1:15 (Printed at A1)

**Tree Planting Hibiscus rosa-sinensis - Plan Detail**  
Scale 1:20 (Printed at A1)

**Tree Stake Section**  
Scale 1:15 (Printed at A1)

**Tree Planting - Plan**  
Scale 1:20 (Printed at A1)

**Tree Stake Plan**  
Scale 1:15 (Printed at A1)

**SPECIFICATION**

- Supply and deliver trees:
  - All plant material must be nursery grown and be in a healthy vigorous growing condition free of disease and / or pests.
  - Purchase of plants at registered SAHA nurseries, transport to site and hold in site nursery until instructed to plant by the architect. Plants should preferably be sourced locally.
  - All plants must be transported to the site in trade with closed canopy. Plants in transit may not be exposed to wind or any other harmful elements. Plants must be acclimatized to conditions on the prior to arrival on site.
  - The contractor must submit including evidence that plant material are available as specified and submit proof to the effect. All trees to be White Siderodendron (Celtis africana).
  - All plants are to be sized and approved by the Architect prior to purchasing and delivery to site.
- Tree Planting
  - Provide sites for root ball size to accommodate for 40% Trees. Holes must be square and all sides vertical. Holes to be inspected by architect prior to planting.
  - Place trees plants in the centre of the planting pit with a minimum of 100mm of compacted planting soil mixture raised in under the root ball. Place the plant to give the best appearance in relationship to street and to stand vertical. Cut away any roots or legs which might girdle the trees and remove contractor prior to backfill procedure.
  - Backfill with soil, compact and follow to specification and bring down level.
  - Complete
    - Supply and deliver compact for plant holes to trees. Contractor to spread and compact for tree holes. Compact to an optimum compact of the highest quality, open and consistent throughout. Compact must be the of sand, gravel, horticultural soil, soil, bark, animal excrement and peatmoss. The compact must be made up of pure plant organic and horticultural to within 40% of 10:10. The maximum particle size of the compact must be 10mm. Compact must be placed in 100mm ball on site and must be stored safe covered storage away from wind, rain and sun. Sample of compact must comply with specifications and be approved by the Architect prior to delivery to site.
    - Application Note: Trees not of 40% the contractor and larger 1:2000
  5. Application Note:
    - Special points to the planting and work to a depth of 100mm around the plant hole. Blasting is provided for alternative.
    - Purchase and apply only upon instruction from Architect (depending on soil analysis).
    - Application note for plant holes: 40% the tree and larger: 100mm.
    - Soil removal
      - Special 1:2000000. Working to provide alternative. Purchase and apply only upon instruction from Architect (depending on soil analysis).
      - Application Note: 40% tree and larger: 100mm.
      - If the removed soil is not suitable, imported topsoil or suitable soil from elsewhere to be used.
    - Remove all surface material and apply approved soil heavily.
    - Water thoroughly when hole is half full with soil mixture, and again when the operation is complete.
    - Form and guard stake.
    - Clean the site up as required, treat all grounds to Architects instruction.
    - Provide all necessary signs as described for trees and secure tree fully.
- Tree Guard
  - Supply and erect "Hermandus" tree guard by Steelworks or similar
    - The Guard Dimensions: Inner maximum of 750x750x200mm Galvanneal tubular members
    - Hold together with 20mm dia galvanized steel brace
    - Channel dimensions 90x200mm
    - Internal dimensions 750x750mm
    - Trade: Steel, Unfinished, esp. 900x200x10mm
    - Steel finish: Painted, Colour:RAL 5003 "Sapine Blue"
  - Drive stakes 500mm/1000mm (each into natural soil without damaging the root ball). Secure tree at 2 places to both sides using suitable plastic tree straps. Allow for outside stabilizing when if required by architect.

**DRAWING NOTES:**

- All features to be indicated have to be shown. Dimensions and materials to be indicated and must not be omitted or left to the contractor's discretion.
- If the architect becomes unclear between the contractor and the engineer, the contractor shall refer to the architect for clarification.

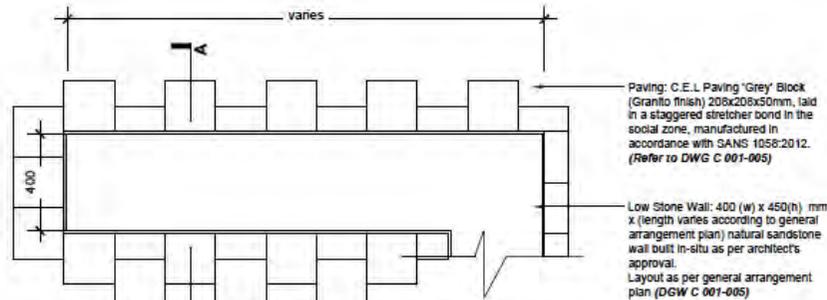
58

HERMANUS CBD | PUBLIC SPACE MANUAL | June 2019

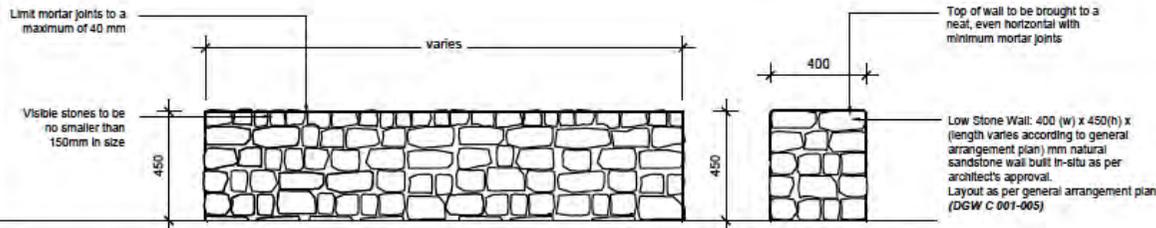


## SPECIFICATION

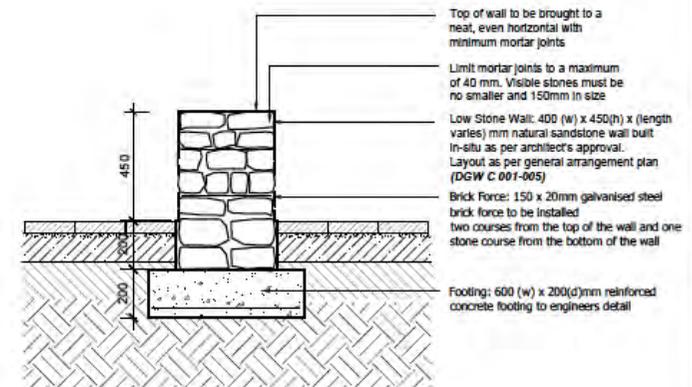
- Wall of Natural Sandstone brought to courses
- Dimension and layout as per General Arrangement plan (DGW C001-005)
- stone work to be conducted by stone mason and approved by architect.
- Sandstone colour to match walls in market square.
- 150x20mm galvanized steel brick force to be installed one course from the bottom and two stone courses from the top of the wall
- top of wall to be brought to a neat, even horizontal with minimum mortar joints
- limit mortar joints to a maximum of 40 mm
- Visible stones to be no smaller than 150mm
- all foundations to be reinforced to meet engineers approval.



**Typical Plan**  
scale 1:20 (Printed at A3)



**Typical Elevation**  
scale 1:20 (Printed at A3)



**Typical Section A-A**  
scale 1:20 (Printed at A3)

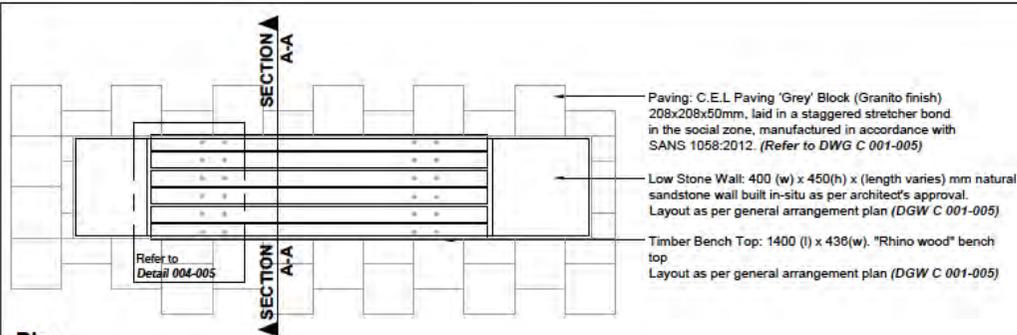
**NOTE:**  
This drawing is copyright, reserved and remains the property of GAPP Architects and Urban Design. Contractors and subcontractors are to check all site dimensions and levels before commencing work. Figured dimensions are to be taken in preference to scale dimensions. The architect is to be notified of any variations.  
Each contractor shall be responsible for ensuring the structural stability of all components of the work and warrants that the main structure is capable of supporting all loads applied thereto.  
All work to be executed in strict accordance with the rules and regulations of the local authorities.  
All work to be done in accordance with the National Building Regulations and Building Act, Act SANS 400-1000.  
All trade names quoted may be substituted by others, subject to architect's approval.  
All structural work to be undertaken by registered artisans.  
All concrete to be SABS approved quality PPC and to be cast, cured or built into buildings.  
All light fittings to be fixed to comply with the relevant code of practice as specified in SANS 014 Part 1.  
Concrete load-bearing walls less than 200mm thick to be reinforced with hoop iron at every alternative course.  
Depth of foundations to be determined on site.  
All reinforced concrete works to structural engineer's detail.  
All steel work to be made good with existing.

**GENERAL NOTES:**  
1. All fixtures to be demolished, those to be retained, those to be retained to be retained by contractor or confirmed by architect on site prior to work commencing.  
2. If the contractor discovers conflicts between the architectural drawings and the engineer's drawings, he is to contact the architect.  
3. Small furniture design and placement on the architectural drawings have preference over those on the engineer's drawings.

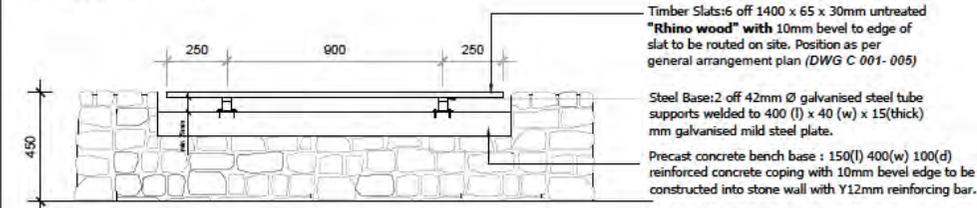
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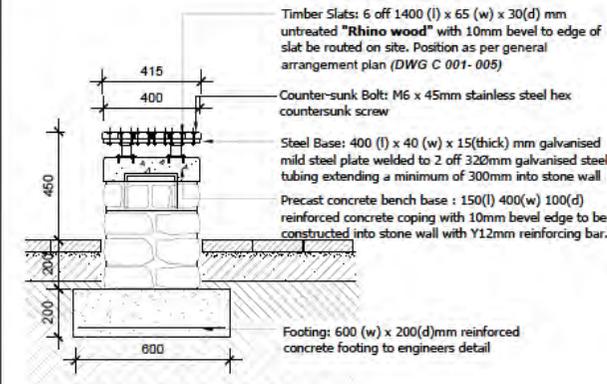
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| <b>CLIENT</b><br>Overstrand Municipality - Mr Riaan Kuchar        | <b>DATE</b><br>2019.05.14 | <b>DRAWN BY</b><br>AT           |
| <b>PROJECT</b><br>Hermanus High Street Upgrade                    | <b>SCALE</b><br>As Shown  | <b>CHECKED BY</b><br>HCL        |
| <b>DRAWING TITLE</b><br>Stone Wall - Plan, Section and Elevations | <b>JOB No.</b><br>1849    | <b>DRAWING No.</b><br>DWG C 209 |
|                                                                   |                           | <b>REV.</b><br>A                |



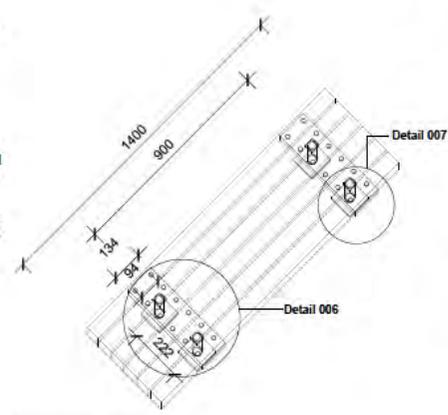
**Plan**  
scale 1:20 (Printed at A3)



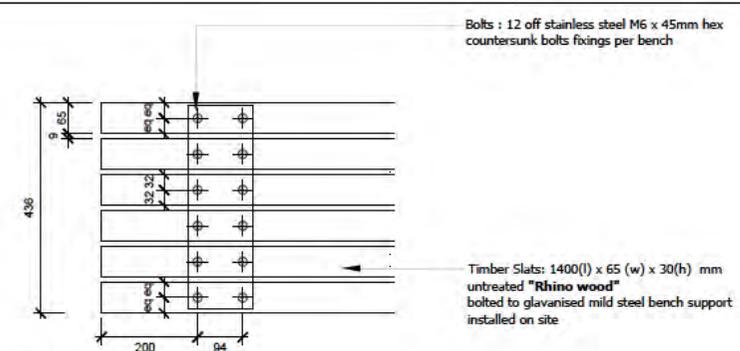
**Elevation**  
scale 1:20 (Printed at A3)



**Section A-A**  
scale 1:20 (Printed at A3)



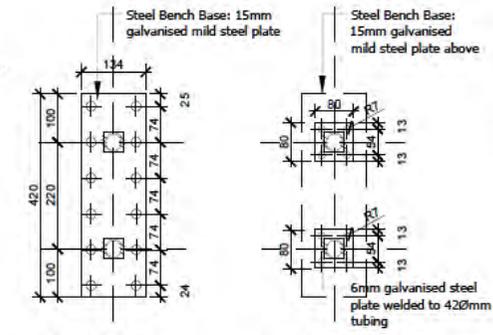
**Axonometric**  
scale 1:20 (Printed at A3)



**Bench Detail 004**  
scale 1:10 (Printed at A3)



**Bench Detail 005**  
scale 1:10 (Printed at A3)



**Steel Plate Detail 006**  
scale 1:10 (Printed at A3)

**Steel Legs Detail 007**  
scale 1:10 (Printed at A3)

**SPECIFICATION**

- 1400 mm Timber slatted bench, as per general arrangement plan (DWG C 001-005)
- Each bench to be constructed from 6 off 1400 x 65 x 30 mm untreated Rhino wood modified timber slats fastened to MS bench supports with 24 off stainless steel hex countersunk screws.
- All timber to be untreated Rhino wood modified timber.
- All Rhino wood to be installed according to Rhino wood specification.

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Each contractor shall be responsible for ensuring the structural integrity of all components of the work and records that the main structure is capable of supporting all loads applied thereto.  
All work to be executed in strict accordance with by-laws and regulations of the local authorities.  
All work to be done in accordance with the National Building Regulations and Building Act, Act 93 of 1977 and 93 of 1994.  
All trade names quoted may be substituted by written, subject to architect's approval.  
All electrical work to be undertaken by registered electricians.  
All conduits to be SABS approved quality PVC and to be cast, chased or bulk into brickwork.  
All light fittings to be fitted in conformity with the relevant code of practice as specified in SANS 0114 Part 1.  
Concrete blockwork walls less than 200mm thick to be reinforced with hoop iron at every alternative course.  
Depth of foundation to be determined on site.  
All reinforced concrete works to be constructed in accordance with structural engineer's detail.  
All new work to be made good with existing.

**GENERAL NOTES:**

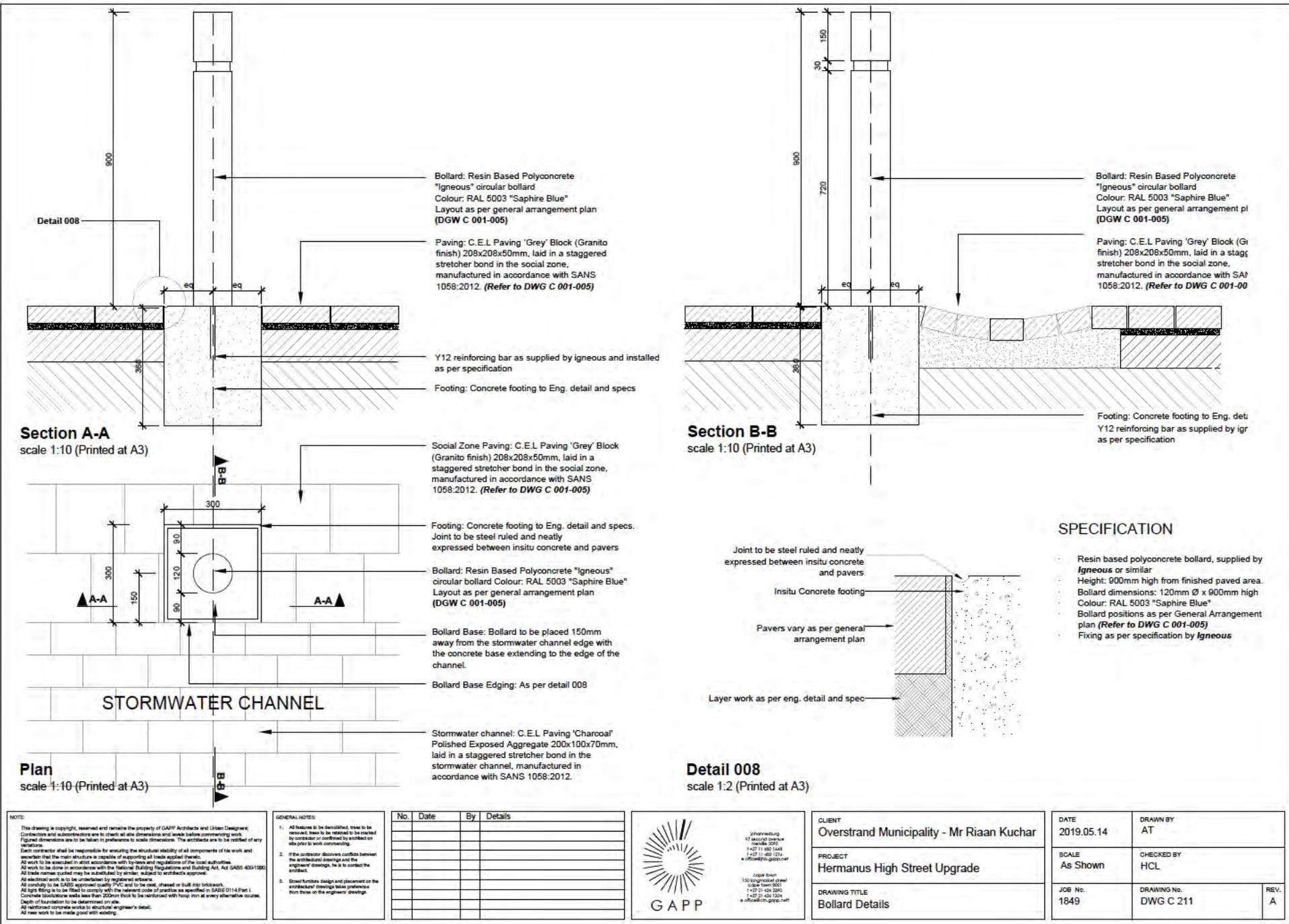
- All fixtures to be demolished, removed to be replaced, fixed to be retained to be replaced by contractor or confirmed by architect on site prior to work commencing.
- If the contractor discovers conflicts between the architectural drawings and the engineer's drawings, he is to contact the architect.
- Steel furniture design and placement on the architectural drawings shall be confirmed by the engineer's drawings.

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**GAPP**

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|------------------------------------------------------------|---------------------------|---------------------------------|
| <b>CLIENT</b><br>Overstrand Municipality - Mr Riaan Kuchar | <b>DATE</b><br>2019.05.14 | <b>DRAWN BY</b><br>AT           |
| <b>PROJECT</b><br>Hermanus High Street Upgrade             | <b>SCALE</b><br>As Shown  | <b>CHECKED BY</b><br>HCL        |
| <b>DRAWING TITLE</b><br>Bench - Plan, Section and Details  | <b>JOB No.</b><br>1849    | <b>DRAWING No.</b><br>DWG C 210 |
|                                                            |                           | <b>REV.</b><br>A                |

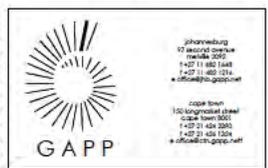


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Each contractor shall be responsible for ensuring the structural stability of all components of the work and ascertain that the main structure is capable of supporting all loads applied thereon.  
All work to be executed in strict accordance with by-laws and regulations of the local authorities.  
All work to be done in accordance with the National Building Regulations and Building Act, Act 653 of 1977.  
All trade names quoted may be substituted by similar, subject to architect's approval.  
All electrical work is to be undertaken by registered electrician.  
All conduits to be GRS approved quality PVC and to be used, chased or built into infrastructure.  
All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 0114 Part 1.  
Concrete blockwork walls less than 200mm thick to be reinforced with hoop iron at every alternative course.  
Depth of foundation to be determined on site.  
All reinforced concrete works to structural engineer's detail.  
All new work to be made good with existing.

**GENERAL NOTES:**

- All fixtures to be identified, these to be reserved, these to be retained to be marked by contractor or confirmed by architect on site prior to work commencing.
- If the contractor discovers conflict between the architectural drawings and the engineer's drawings, he is to contact the architect.
- Struct furniture design and placement on the architectural drawings takes preference from those on the engineer's drawings.

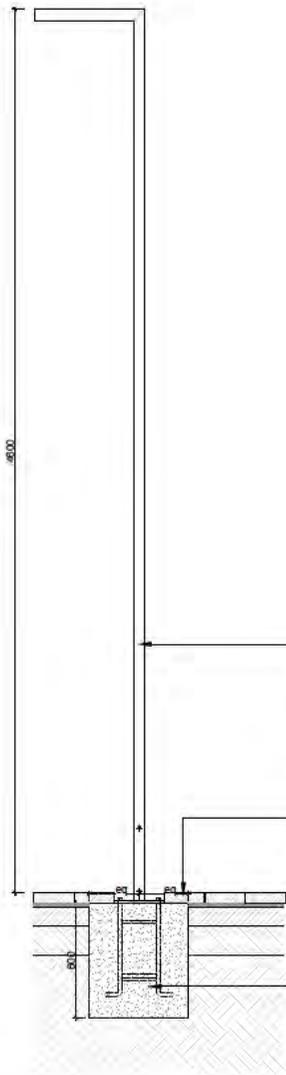
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|------------------------------------------------------------|---------------------------|---------------------------------|
| <b>CLIENT</b><br>Overstrand Municipality - Mr Riaan Kuchar | <b>DATE</b><br>2019.05.14 | <b>DRAWN BY</b><br>AT           |
| <b>PROJECT</b><br>Hermanus High Street Upgrade             | <b>SCALE</b><br>As Shown  | <b>CHECKED BY</b><br>HCL        |
| <b>DRAWING TITLE</b><br>Bollard Details                    | <b>JOB No.</b><br>1849    | <b>DRAWING No.</b><br>DWG C 211 |
|                                                            |                           | <b>REV.</b><br>A                |

## SPECIFICATION

- Beka Ellega 4 single bracket :36N
- Placement as per general arrangement plan (DWG C 001 - 005)
- Street light dimensions:
- Height: 4600mm
- Finish for street light colour : RAL 5008 "Grey Blue"
- Textured finish

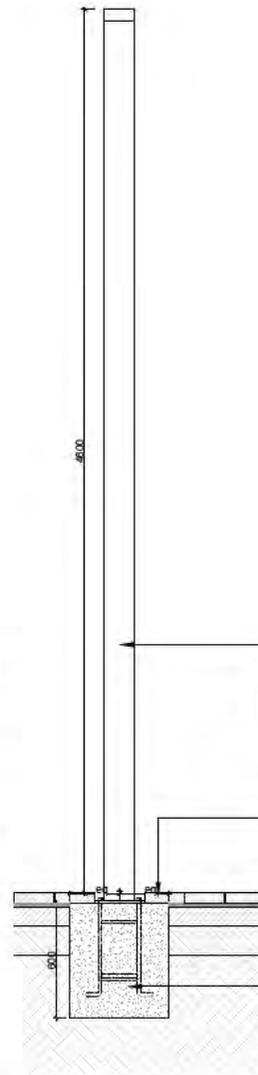


Street light: "Beka Ellega 4"  
Colour: RAL 5008 "Grey Blue",  
Textured finish. As per general  
arrangement plan (DWG C  
001-005)

Paving: Concrete pavers as  
per general arrangement plan  
(DWG C 001-005) on 30mm  
sand on sub-base layers to  
engineers specification

Concrete footing:  
600mm deep in-situ  
concrete base  
reinforced to Beka  
details to be approved  
by engineer

**Section A-A**  
scale 1:25 (Printed at A3)

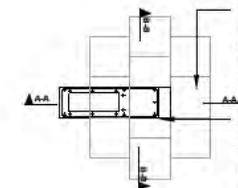


Street light: "Beka Ellega 4"  
Colour: RAL 5008 "Grey Blue",  
Textured finish. As per general  
arrangement plan (DWG C  
001-005)

Paving: Concrete pavers as per general  
arrangement plan (DWG C 001-005) on  
30mm sand on sub-base layers to  
engineers specification

Concrete footing:  
600mm deep in-situ  
concrete base  
reinforced to Beka  
details to be approved  
by engineer

**Section B-B**  
scale 1:25 (Printed at A3)



Paving: Concrete pavers as  
per general arrangement plan  
(DWG C 001-005) on 30mm  
sand on sub-base layers to  
engineers specification

Street light: "Beka Ellega 4"  
Colour: RAL 5008 "Grey Blue",  
Textured finish. As per general  
arrangement plan (DWG C  
001-005)

**Plan**  
scale 1:25 (Printed at A3)

**NOTE:**  
This drawing is copyright, reserved and remains the property of GAPP Architects and Urban Designers. Contractors and subcontractors are to check all site dimensions and levels before commencing work. Figured dimensions are to be taken in preference to scale dimensions. The contractor is to be notified of any variations.  
Each contractor shall be responsible for ensuring the structural stability of all components of his work and ascertain that the main structure is capable of supporting all loads applied thereto.  
All work to be executed in strict accordance with the laws and regulations of the local authorities.  
All work to be done in accordance with the National Building Regulations and Building Act, Act 5308 of 1978.  
All trade related quality rates be established by written, signed to architect's approval.  
All electrical work is to be undertaken by registered artisans.  
All conformity to be SABS approved quality PVC and to be cast, checked or suit this brackets.  
All light fittings to be fitted to comply with the relevant code of practice as specified in SABS 0114 (Part 1).  
Concrete blockwork walls less than 200mm thick to be reinforced with hoop iron at every alternative course.  
Depth of foundation to be determined on site.  
All reinforced concrete works to structural engineer's detail.  
All new work to be made good with existing.

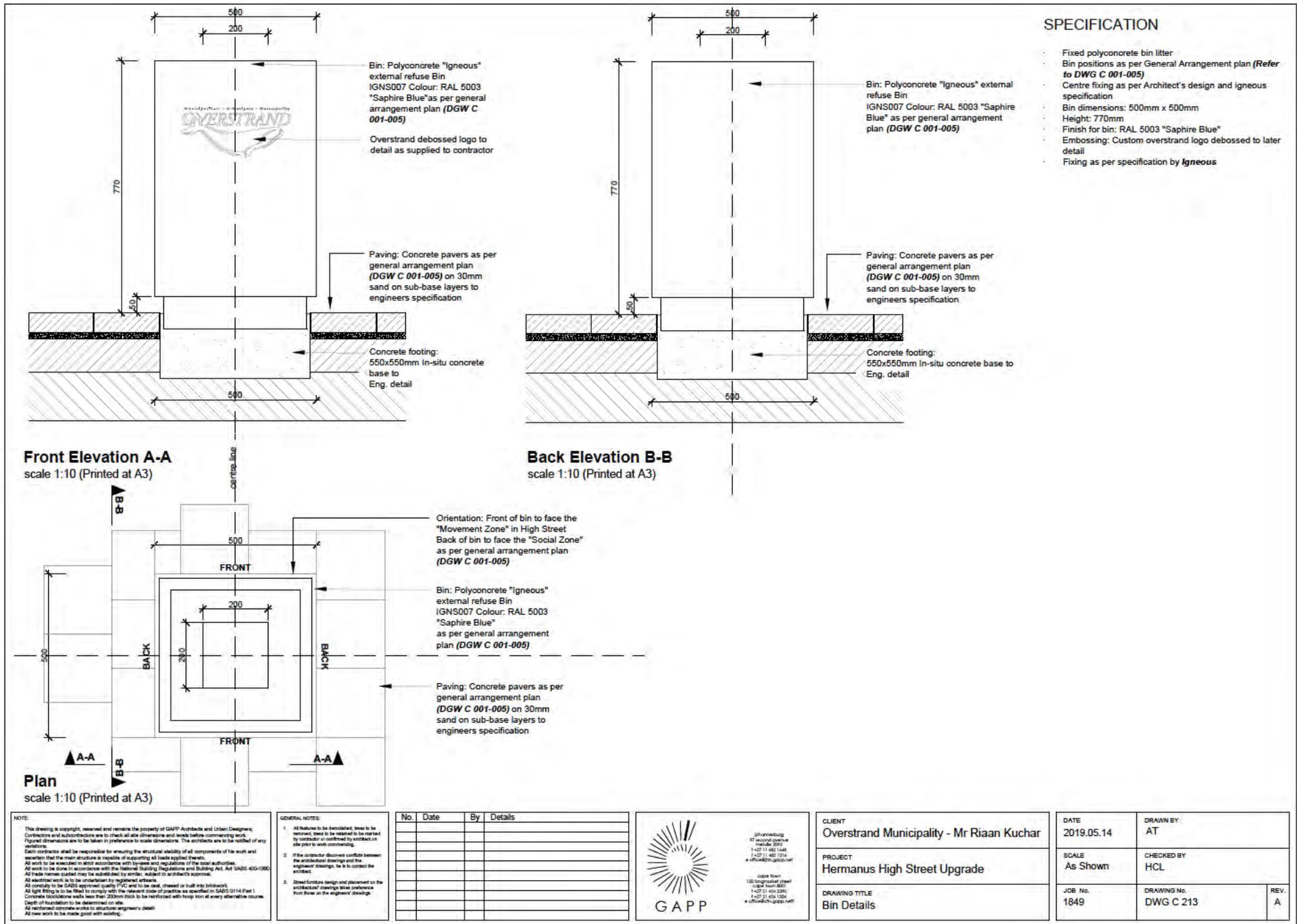
**GENERAL NOTES:**  
1. All fixtures to be demolished, those to be retained to be retained to be marked by contractor or confirmed by architect on site prior to work commencing.  
2. If the contractor discovers conflicts between the architectural drawings and the engineer's drawings, he is to contact the architect.  
3. Street furniture design and placement on the architectural drawings takes preference from those on the engineer's drawings.

| No. | Date | By | Details |
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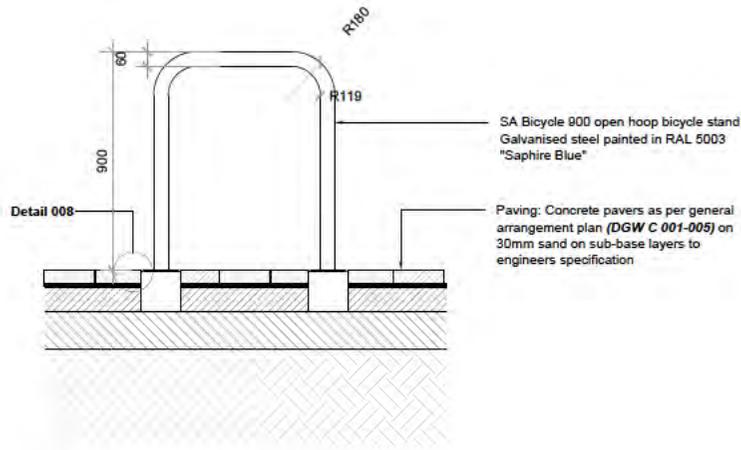
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F +27 21 424 1265  
E office@hcl.co.za

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| <b>CLIENT</b><br>Overstrand Municipality - Mr Riaan Kuchar | <b>DATE</b><br>2019.05.14 | <b>DRAWN BY</b><br>AT           |
| <b>PROJECT</b><br>Hermanus High Street Upgrade             | <b>SCALE</b><br>As Shown  | <b>CHECKED BY</b><br>HCL        |
| <b>DRAWING TITLE</b><br>Lighting Details                   | <b>JOB No.</b><br>1849    | <b>DRAWING No.</b><br>DWG C 212 |
|                                                            |                           | <b>REV.</b><br>A                |

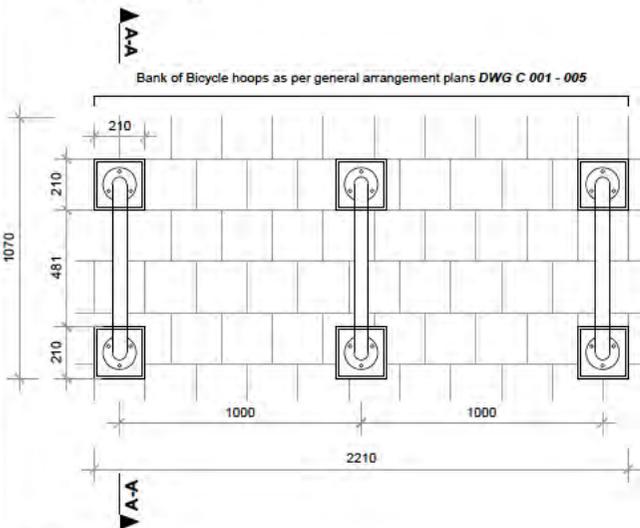


## SPECIFICATION

- SA Bicycle 900 open hoop bicycle stand
- Stand dimensions: 900 mm
- Finish for bike stand: colour : RAL 5003 "Sapphire Blue"
- Placement as per general arrangement plan (DWG C 001 - 005)

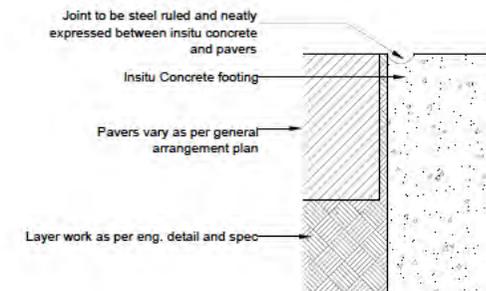


**Section A-A**  
scale 1:20 (Printed at A3)



**Plan**  
scale 1:20 (Printed at A3)

- ← Footing: Concrete footing to Eng. detail and specs. Joint to be steel ruled and neatly expressed between insitu concrete and pavers
- ← Paving: Concrete pavers as per general arrangement plan (DWG C 001-005) on 30mm sand on sub-base layers to engineers specification
- ← SA Bicycle 900 open hoop bicycle stand Galvanised steel painted in RAL 5003 "Sapphire Blue"

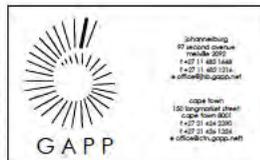


**Detail 008**  
scale 1:2 (Printed at A3)

**NOTE:**  
This drawing is copyright, reserved and remains the property of GAPP Architects and Urban Designers. Contractors and subcontractors are to check all dimensions and levels before commencing work. Figured dimensions are to be taken in preference to scale dimensions. The architect's are to be marked on any variations.  
Each contractor shall be responsible for ensuring the structural stability of all components of the work and ascertain that the main structure is capable of supporting all loads applied thereto.  
All work to be executed in strict accordance with by-laws and regulations of the local authorities.  
All work to be done in accordance with the National Building Regulations and Building Act, Act 65/1977 (as amended).  
All trade names quoted may be substituted by similar, subject to architect's approval.  
All electrical work is to be undertaken by registered electrician.  
All conduits to be GABS approved quality PVC and to be read, chased or built into brickwork.  
All light fittings to be fitted in compliance with the relevant code of practice as specified in SANS 014 Part 1.  
Concrete blockwork walls less than 200mm thick to be reinforced with hoop iron at every alternative course.  
Depth of foundation to be determined on site.  
All reinforced concrete works to structural engineer's detail.  
All new work to be made good with existing.

**GENERAL NOTES:**  
1. All fixtures to be demolished, steel to be removed, base to be re-laid to be re-laid by contractor or confirmed by architect on site prior to work commencing.  
2. If the contractor discovers conflict between the architectural drawings and the engineering drawings, he is to contact the architect.  
3. Street furniture design and placement on the architectural drawings takes preference from those on the engineering drawings.

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| <b>CLIENT</b><br>Overstrand Municipality - Mr Riaan Kuchar | <b>DATE</b><br>2019.05.14 | <b>DRAWN BY</b><br>AT           |
| <b>PROJECT</b><br>Hermanus High Street Upgrade             | <b>SCALE</b><br>As Shown  | <b>CHECKED BY</b><br>HCL        |
| <b>DRAWING TITLE</b><br>Bicycle Rack Detail                | <b>JOB No.</b><br>1849    | <b>DRAWING No.</b><br>DWG C 215 |
|                                                            |                           | <b>REV.</b><br>A                |



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