

FARM 938, DIVISION CALEDON, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE, DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: MESSRS WRAP PROJECT OFFICE ON BEHALF OF GRANT JANKIELSOHN

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amended By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received applicable to the above-mentioned property for the following:

- ❖ **consent use** in terms of Section 16(2)(o) of the By-Law, to accommodate a guesthouse, a tourist facility (open-air wedding ceremony area) and tourist accommodation.
- ❖ **departure** in terms of Section 16(2)(b) of the By-Law, to relax the following:
 - southern common building line from 30m to **4.64m**, to accommodate the existing guest house;
 - southern common building line from 30m to **4.64m**, to accommodate the proposed addition to the existing guest house;
 - southern common building line from 30m to **1.63m**, to accommodate proposed utility room of the existing guest house;
 - southern common building line from 30m to **22.74m**, to accommodate the proposed covered braai area;
 - southern common building line from 30m to **0.91m**, to accommodate the proposed carport;
 - southern common building line from 30m to 0.25m, to accommodate the proposed store and garage;
 - street building line from 30m to 17.82m, to accommodate the proposed store and garage;
 - 8m height restriction to 8.37m to accommodate the existing chimney; and
 - 8m height restriction to 8.15m to accommodate the existing roof.
- ❖ **determination of an administrative penalty** in terms of Section 16(2)(q) of the By-Law.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, 16 Paterson Street, Hermanus and at the Stanford Library, Queen Victoria Street, Stanford. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **Friday, 15 August 2025** your name, address and contact details, interest in the application and the reasons for comment. Telephonic enquiries can be made to **Mr P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

PLAAS 938, AFDELING CALEDON, OVERSTRAND MUNISIPALE AREA: AANSOEK OM VERGUNNINGSGEBRUIK, AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: MNRE WRAP PROJECT OFFICE NAMENS GRANT JANKIELSOHN

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek van toepassing op die bogenoemde eiendom ontvang is vir die volgende:

- ❖ **vergunninggebruik** ingevolge Artikel 16(2)(o) van die Verordening, om 'n gastehuis, toeristefasiliteit (opelug huwelikseremonie-area) en toeriste akkommodasie te akkommodeer;
- ❖ **afwyking** ingevolge Artikel 16(2)(b) van die Verordening, vir die volgende verslappings:
 - suidelike gemeenskaplike boulyn vanaf 30m na 4.64m, om die bestaande gastehuis te akkommodeer;
 - suidelike gemeenskaplike boulyn vanaf 30m na 4.64m, om die voorgestelde aanbouings tot die bestaande gastehuis te akkommodeer;
 - suidelike gemeenskaplike boulyn vanaf 30m na 1.63m, om die voorgestelde waskamer van die bestaande gastehuis te akkommodeer;
 - suidelike gemeenskaplike boulyn vanaf 30m na 22.74m, om die voorgestelde onderdakbraai-area (lapa) te akkommodeer;
 - suidelike gemeenskaplike boulyn vanaf 30m na 0.91m, om die voorgestelde motorafdak te akkommodeer;
 - suidelike gemeenskaplike boulyn vanaf 30m na 0.25m, om die voorgestelde stoor en motorhuis te akkommodeer
 - straatboulyn vanaf 30m na 17.82m om die voorgestelde stoor en motorhuis te akkommodeer;
 - 8m hoogtebeperking na 8.37m om die bestaande skoorsteen te akkommodeer, en
 - 8m hoogtebeperking na 8.15m om die bestaande dak te akkommodeer.
- ❖ **bepaling van 'n administratiewe boete** in terme van Artikel 16(2)(q) van die Verordening.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en by Stanford Biblioteek, Queen Victoriastraat, Stanford. Enige kommentaar op die voorstel moet skriftelik ingedien word ingevolge die bepaling van Artikels 51 en 52 van die Verordening en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) bereik voor of op **Vrydag, 15 Augustus 2025**, met u naam, adres en kontakbesonderhede, belang in die aansoek sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

IFAMA 938, ICANDELO LASECALEDON, UMMANDLA KAMASIPALA WASEOVERSTRAND: ISICELO SOKUSETYENZISWA KWEMVUME, UKUTENXA KUNYE NOKUMISELWA KWESOHLWAYO SOLAWULO: I-OFISI YEPROJEKTHI YE-MESSRS WRAP EGAMENI LIKAGRANT JANKIELSOHN

Isaziso sinikwe apha ngokweCandelo lama-48 loMthetho kaMasipala wase-Overstrand oLungisiweyo woCwangciso lokuSetyenziswa koMhlaba kaMasipala, wowama-2020 (uMthetho kaMasipala), sokuba isicelo sifunyenwe sisebenza kule propati ikhankanywe ngasentla kwezi zilandelayo:

- ❖ **ukusetyenziswa kwemvume** ngokweCandelo le-16(2)(o) loMthetho kaMasipala, ukulungiselela indlu yeendwendwe, indawo yabakhenkethi (indawo yomsitho womtshato ovulekileyo) kunye nendawo yokuhlala yabakhenkethi;
- ❖ **ukuphambuka** ngokweCandelo 16(2)(b) loMthetho oMiselweyo, ukuze kuthobekiswe imigca yokwakha elandelayo:
 - umgca wesakhiwo osemazantsi oqhelekileyo ukusuka kwi-30m ukuya kwi-4.64m, ukulungiselela indlu yeendwendwe ekhoyo;
 - umgca wesakhiwo osemazantsi oqhelekileyo ukusuka kwi-30m ukuya kwi-4.64m, ukulungiselela ukongezwa okucetywayo kwindlu yeendwendwe ekhoyo;
 - umgca wesakhiwo osemazantsi oqhelekileyo ukusuka kwi-30m ukuya kwi-1.63m, ukuze kuhlaliswe igumbi lenkonzo elicetywayo kwindlu yeendwendwe ekhoyo;
 - umgca wesakhiwo osemazantsi oqhelekileyo ukusuka kwi-30m ukuya kwi-22.74m, ukulungiselela indawo ecetywayo yebraai;
 - umgca wesakhiwo osemazantsi oqhelekileyo ukusuka kwi-30m ukuya kwi-0.91m, ukulungiselela i-carport ecetywayo;
 - umgca wesakhiwo osemazantsi oqhelekileyo ukusuka kwi-30m ukuya kwi-0.25m, ukulungiselela indawo yokugcina ecetywayo kunye negaraji;
 - umgca wokwakha isitalato ukusuka kwi-30m ukuya kwi-17.82m, ukulungiselela indawo yokugcina ecetywayo kunye negaraji; kwaye;
 - 8m isithintelo sobude ukuya kwi-8.37m ukulungiselela itshimini ekhoyo; kwaye;
 - 8m ubude bothintelo ukuya kwi-8.15m ukulungiselela upahlala olukhoyo.
- ❖ **ukumiselwa kwesohlwayo solawulo** ngokweCandelo le-16 (2)(q) loMthetho kaMasipala, ukuze kusemthethweni izakhiwo ezikhoyo kwipropati.

linkcukacha ezipheleleyo malunga nesindululo ziyafumaneka ukuze zihlolwe phakathi evekini phakathi kwentsimbi ye-08:00 kunye ne-16:30 kwiSebe: UCwangciso lweDolophu, i-16 Paterson Street, iHermanus nakwiThala leeNcwadi laseStanford, eQueen Victoria Street, eStanford. Nawaphi na amagqabantshintshi abhaliweyo kufuneka angeniswe ngokungqinelana nezibonelelo zeCandelo 51 nelama-52 loMthetho kaMasipala oxeliweyo kwaye afikelele kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngoLwesihlanu okanye ngaphambi **koko, 15 EyeThupa 2024** igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zokuphawula. Imibuzo yeTelephonic inokwenziwa ku**Mnu P Roux** ngo-028-313 8900. UMasipala usenokwala ukwamkela izimvo azifumeneyo emva komhla wokuvula. Nawuphi na umntu ongakwaziyo ukufunda nokubhala angatyelela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kubancedisa ukuze benze izimvo zabo zibe sesikweni.

1. Locality Plan
Farm No. 938, Caledon

Plan prepared by: Veronica Jansen

Tel: 028 313 1411

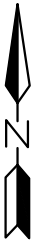
Email: admin@wrapgroup.co.za

Unit B, Standard House,
Corner of Royal and Dirkie Uys
Street Hermanus, 7200



Project Office

Town Planning & Project Management



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Scale 1 : 20 000



1. ABBREVIATIONS

OM	Overstrand Municipality
OMLUS	Overstrand Municipality Land Use Scheme, 2020
BY-LAW	Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020
PSDF	Western Cape Provincial Spatial Development Framework, 2014
LUPA	Western Cape Land Use Planning Act, 2014.
MSDF	Overstrand Spatial Development Framework, 2020

2. PROPERTY DETAILS

Consultant	WRAP Project Office
Farm Property	Farm 938, Caledon
Extent	11,0000 Ha
Zoning	Agricultural Zone 1: Agriculture

3. BACKGROUND AND INTENT

Farm 938, Caledon, referred to as the subject property, is located next to the R43 between Gansbaai and Stanford, as depicted in Plan 1 - Locality. The property was recently transferred to the current owner who has tasked WRAP Project Office with preparing this land use application, as outlined in **Annexure A – Power of Attorney**, on his behalf.

The owner of the subject property has a vision to improve the existing guest house, while accommodating a tourist facility (open-air wedding ceremony area), tourist accommodation and an approved restaurant and additional dwelling. The property will boast two parking areas in close walking distance from the guest house and restaurant, respectively.

The approved additional dwelling has not been built. Instead, the proposal is to divide the footprint into four accommodation pods, each approximately 60m², to be placed on disturbed areas of the site. The additional dwelling will be "swapped" for tourist accommodation with the vision to add an additional accommodation offering to the farm which may be used for either accommodation of the guests of a wedding and/or alternatively be open to the public. This accommodation offering will be in the form of small accommodation 'pods'.

The expansion of accommodation options and the proposed open-air wedding ceremony area on the property would bring numerous economic benefits to the area. This increase in tourist accommodation will not only attract more tourists but also create employment opportunities and provide revenue streams for small businesses in the surrounding area. With more visitors to the area, local restaurants, shops, and other tourism-related establishments would thrive, boosting the local economy and creating more job opportunities in the surrounding area.



MOTIVATION

Additionally, a padel court is proposed on the property for the guests of the farm and will not be open for public use.

The proposal for the subject property has the potential to deliver various economic and social benefits to the area. By expanding the tourist- facility and accommodation options in the area, the property owner aims to promote growth and prosperity in the region.

To ensure compliance with the OMLUS, approval of the following applications is required:

- Consent use for a guest house;
- Consent use for a tourist facility (open-air wedding ceremony area);
- Consent use for tourist accommodation (accommodation pods);
- Permanent departure from the building lines; and
- Determination of an administrative penalty.

4. PROCEDURE TO ACHIEVE THE PROPERTY OWNER'S INTENT

4.1 Consent use for a guest house;

4.2 Permanent Departure from the 30m southern common boundary building line to 4,19m to allow the existing guest house;

4.3 Permanent Departure from the 30m southern common boundary building line to 4,63m to allow the proposed addition to the existing guest house;

4.4 Permanent Departure from the 30m southern common boundary building line to 4,19m to allow the proposed utility room of the existing guest house; and

4.5 Permanent Departure from the 30m southern common boundary building line to 22,74m to allow the proposed covered braai area

The owner acquired the property with the intention to continue its use as a guest house. After acquiring the property, a zoning certificate was obtained which indicated that the departure to permit and operate a guest house on the property was approved in **2007** and had lapsed 5 years thereafter (2012). The new property owner was unaware of the contravention and only recently became aware when a zoning certificate was issued and realised that the land use approval for the guest house has lapsed. The guest house was operational until the current owner took transfer, but they have ceased the operation in order to renovate and improve the building.

To ensure that the property is legally authorized for hosting transient guests and aligns with its intended purpose, the owner is applying for a consent to use the property as a guest house. The previous owner was operating a guest house for over a decade and the intention is to continue using the property as such with some additional uses to accompany the guest house. The existing building's construction and layout is ideal to be used as a guest house. Moreover, the guest house has 7 bedrooms of which bedrooms- 3, 4, 5, 6 and 7 will be used for guests and the master bedroom (bedroom 1) and bedroom 2 will be used by the owner/manager of the guest house. Refer to **Annexure C – Architect Building Plans**.



MOTIVATION

The objective of this proposal would bring numerous benefits to both the local community and the broader tourism industry. Firstly, this guest house has contributed to the economic growth and development of the rural Stanford area for over a decade and may continue to do so if approved. As a popular tourist destination renowned for its rich cultural heritage, breathtaking landscapes and wineries, Stanford attracts visitors from around the entire area. By providing additional accommodation options, a guest house would cater to the increasing demand for quality lodging, thus encouraging more tourists to choose Stanford as their preferred destination. This, in turn, would lead to increased spending at local businesses, such as restaurants, shops, and tour operators, fostering economic prosperity within the community.

Furthermore, the guest house created employment opportunities for the local workforce and may continue to do so. Staff members include housekeepers and maintenance personnel and does not only provide stable jobs but also contribute to skills development and capacity building within the hospitality industry. By supporting job creation, the guest house enhances the livelihoods of local residents and promote social well-being.

In addition to the economic advantages, the guest house significantly contributes to the cultural enrichment of the area. As visitors stay at the guest house, they have the opportunity to immerse themselves in the local culture, interact with the community, and experience the unique offerings of the area first hand. This cultural exchange fosters mutual understanding and appreciation, promoting a positive image of Stanford and the surrounds as a welcoming and diverse destination.

The guest house boasts an expansive view of the fynbos-covered farmlands, complemented by a breathtaking seascape. This distinctive combination renders the guest house a unique and highly desirable destination.

Moreover, the establishment of a guest house aligns with the municipality's efforts to promote sustainable tourism. By providing an alternative to large-scale hotels, a guest house offers a more intimate and personalized experience for guests, allowing them to connect with the local environment and heritage. This approach fosters a more sustainable form of tourism, minimizing the impact on natural resources and reducing carbon emissions associated with mass tourism. It supports the municipality's vision of responsible tourism, ensuring the long-term preservation of Stanford's natural and cultural assets for future generations.

As previously mentioned, the guest house is existing and has been for over a decade and the new owner has a vision to improve the existing guest house with additions and alterations. Due to the approval for the guest house that has lapsed, the departure for the existing guest house is required. The owner also proposes a new covered braai area for the guest house situated where a swimming pool used to be, located to ensure no disturbance of the natural environment.

The permanent departure from the southern common boundary building line to 4,19m to accommodate the existing guest house and the proposed additions is motivated based on the principles of sustainable land use, environmental preservations, and responsible development, Refer to *Figure 1*.

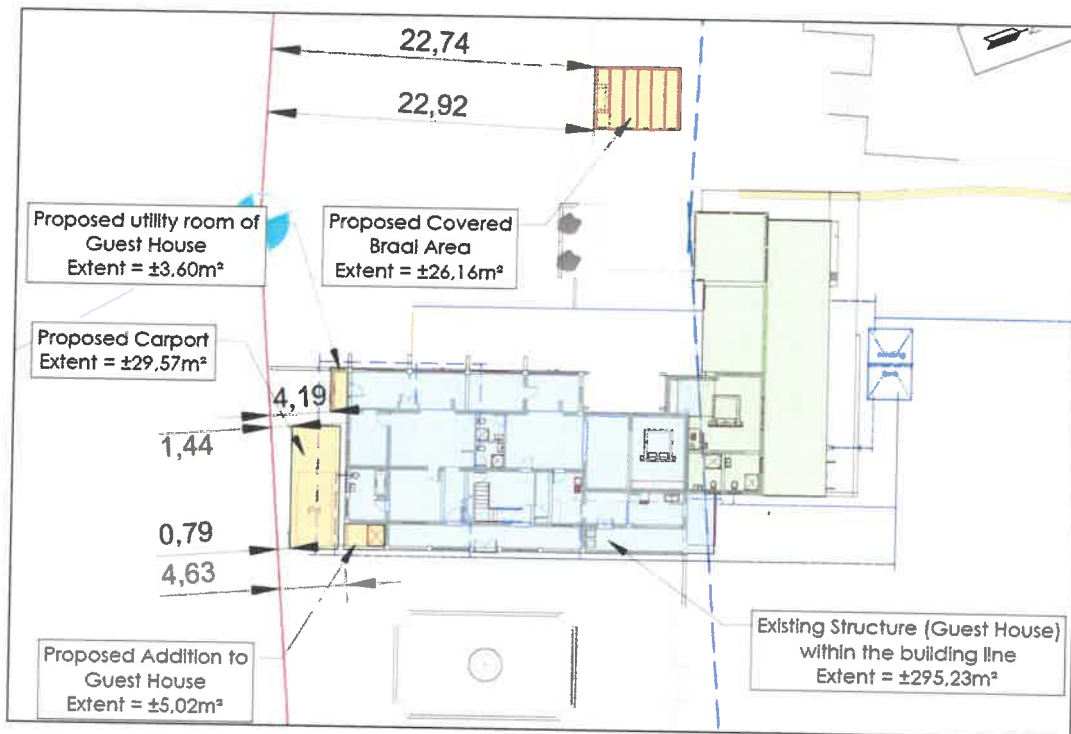


Figure 1: Existing guest house and proposed additions

The existing guest house and the proposed additions (which includes the proposed carport (refer 4.6), proposed- utility room and bathroom as well and the proposed covered braai area) is situated on a part of the farm where the ground has already been disturbed. Utilizing this area for the proposed additions leverages previously impacted land, avoiding the need to disturb new areas. This practice conserves the surrounding natural environment and minimizes ecological disruption. The departure also ensures that the majority of the farm may continue in its dedication to sustainable agricultural practices. This proposal concentrates on development in an already utilized area, and as mentioned previously, on the rest of the property the fynbos will remain which will be used by students for research and conservation, contributing to sustainability of agricultural land. By making efficient use of the existing structure with some additions, the farm can minimize its environmental footprint across the property.

It would be financially unviable to demolish the existing structure. It needs to be noted that the current owner is proposing additions on the existing disturbed footprint. The proposed additions to the guest house at 4.19m from the southern common boundary will enhance the functionality and capacity of the guest house without necessitating the development of new land. This approach respects sustainable practices and minimizes additional environmental impact. The departure will ensure that the existing structure together with the proposed additions may remain operational without the need for costly and environmentally disruptive relocations. The additions within the building line includes a utility room necessary for the Distribution Board (DB board) for the electrical supply system of the guest house which is situated behind the proposed carport with interleading access to the guest house. The other proposed addition is located where



MOTIVATION

exterior walls already existed, which previously served as a small enclosed stoep. It is being transformed into a shower by enclosing the existing walls with a roof.

4.6 Permanent Departure from the 30m southern common boundary building line to 0,79m to allow the proposed carport.

The carport is already in place, currently covered by shade cloth. The proposal is to enhance this structure into a more robust and structurally sound carport. This upgrade is not an introduction of a new structure but an improvement of an existing one, ensuring it meets safety and durability standards.

The carport is strategically positioned next to the guest house to serve multiple practical functions, refer to *Figure 2*. Primarily, it provides a parking space for the property owner when he is on-site to supervise and manage the property. Additionally, it functions as a convenient loading and unloading bay for the delivery of essential supplies such as food and beverages for the guest house and restaurant. This logistical convenience supports the smooth operation of the hospitality services provided on the property.

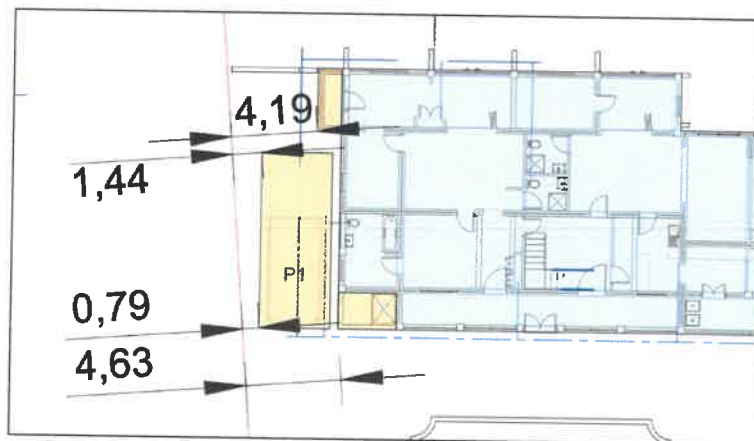


Figure 2: Proposed carport location indicated as parking bay 1

By positioning the carport closer to the southern boundary, the visual impact on the rest of the property is minimized. This placement ensures that the primary aesthetic and functional areas of the guest house and surrounding landscape remain unobstructed, preserving the scenic views that are integral to the property's appeal.

The proposal aligns with the municipality's goals of promoting responsible land use and sustainable development. Enhancing an existing structure rather than building new reduces resource consumption and environmental impact, supporting broader sustainability objectives.

A structurally sound carport offers better protection for vehicles, shielding them from weather elements and potential damage. This not only preserves the owner's and service vehicles but also maintains a neat and orderly appearance of the property.

4.7 Consent use to allow a tourist facility (open-air wedding ceremony area).



MOTIVATION

As part of the owner's ongoing improvements to the property and in response to identified opportunities, the introduction of an open-air wedding ceremony area is proposed. This wedding area will be an open area where wedding ceremonies may be held on a beautifully maintained piece of lawn, offering breathtaking views of the fynbos-covered farmland and the seascapes beyond. The wedding ceremony area will be complemented by an approved restaurant, which will include a bar area and a kitchen together with proposed ablutions situated in close proximity of the parking area. The maximum number of guests to be accommodated for, will be 100 guests.

The property has sufficient parking spaces for the number of guests for the proposed open-air wedding ceremony area and accommodation options, refer to **Plan 4 – Site Plan**.

The proposed open-air wedding ceremony area aims to capitalize on the property's natural beauty, creating a picturesque setting for wedding ceremonies. This addition will not only enhance the property's appeal but also offer a unique experience for couples seeking a memorable location for their special day.

The establishment of an open-air wedding ceremony area on the property will significantly boost local tourism. Wedding venues are known to attract guests from various regions, increasing the influx of visitors to the area. These visitors will likely spend money on local accommodation, dining, and other services, thereby contributing to the local economy. The wedding area will generate additional revenue streams for local businesses such as florists, photographers, and transportation services, fostering economic growth within the community.

The operation of the open-air wedding ceremony area, along with the accompanying restaurant and bar area, will create employment opportunities for the local workforce. Roles may include event coordinators, catering staff, bartenders, and maintenance personnel. This not only provides stable jobs but also contributes to skills development and capacity building within the hospitality and event management sectors.

The open-air wedding ceremony area aligns with the principles of sustainable tourism by utilizing the natural landscape without extensive construction. By offering an outdoor ceremony space, the area minimizes environmental impact and promotes an appreciation for the natural surroundings. This approach supports the municipality's vision of responsible tourism, ensuring the long-term preservation of Stanford's surrounding natural and cultural assets for future generations.

The proposed wedding ceremony area's design as an open-air space - with views of the fynbos and seascapes - will make it a highly desirable location for ceremonies. The natural setting will appeal to couples looking for a unique and scenic backdrop for their wedding, setting this wedding area apart from traditional indoor spaces. The accompanying restaurant and liquor serving area together with the proposed accommodation options (guest house and pods) will provide convenience for guests, offering a complete package for wedding celebrations.

The proposed open-air wedding ceremony area represents a strategic enhancement to the subject property, leveraging its natural beauty and existing amenities to create a



MOTIVATION

unique and attractive destination. The owner's vision to improve the property aligns with the municipality's goals of responsible tourism and economic development, making this proposal a valuable addition to the area.

4.8 Consent use for tourist accommodation.

Application is being made to add four small accommodations 'pods' of approximately 60m² each to the property. A pod is a small freestanding structure that will be able to accommodate a double bed and a bathroom to ensure the guests' needs are being met.

The approved additional dwelling will be swapped for tourist accommodation, which was never built, but are allowed to have an extent of up to 250m². Four pods of approximately 60m² each will equate to 240m², and it is therefore motivated that four small pods located on disturbed land across the farm is desirable rather than disturbing a portion on the farm to build a large dwelling of up to 250m².

The transient guests making use of the tourist accommodation will either be individuals or be guests of weddings which will be held on the property (subject to approval of the land use application). These guests will be able to experience the picturesque natural environment available on the property. With the seascape and other natural features from the property, it has the potential to provide a unique experience.

The current zoning (AGR1) of the property allows the letting of rooms or individual unit(s) if consent is obtained from the Overstrand Municipality. Tourist accommodation is defined by OMLUS as:

'The letting of rooms or individual unit(s) (including a dwelling house/unit) on a temporary basis to transient guests where a daily or weekly tariff is applicable and includes a guest house, backpackers' establishment, camp sites, and associated amenities, provided that the use complies with the requirements of any other relevant legislation'.

The proposed development footprint will accommodate the entire tourist accommodation area and add a new facility that may be used by the guests of the pods which includes a heated pool. The existing pool that was situated near the existing guest house will be re-used and relocated nearer the proposed accommodation pods. The layout was designed by Gericke Architecture in such a way that the pods will be located in a line within an adequate distance of each other in order to ensure privacy and a minimal footprint. Refer to *Figure 3* for an illustration of the layout.

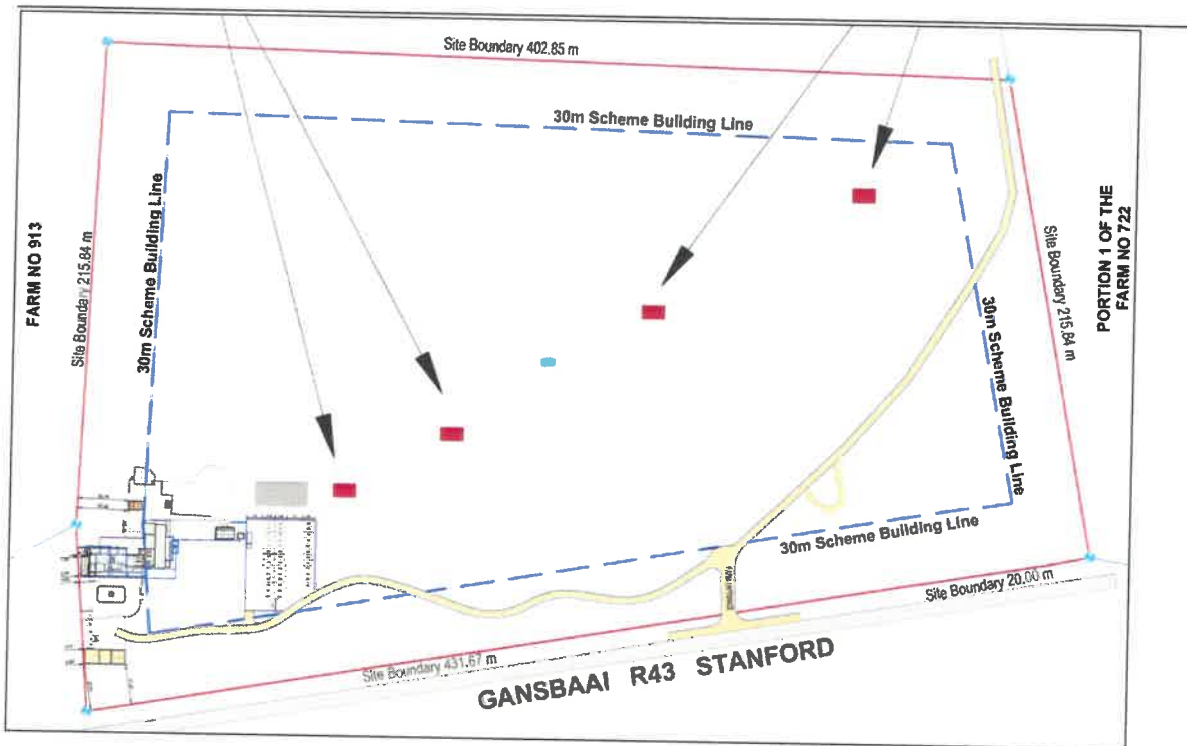


Figure 3: Proposed tourist accommodation indicated in red.

Additional accommodation for tourists on a farm is positive for several reasons. Firstly, it provides a unique and authentic experience for visitors, allowing them to experience the natural fynbos firsthand. This can be a refreshing break from city life, offering a chance to unwind and reconnect with nature.

These units can also offer an opportunity for visitors to learn about the natural fynbos and the importance of environmentally responsible behaviour, as these pods will be powered by solar energy. Another advantage of the pods is that they often provide a more personalized and intimate experience compared to larger, more commercialized hotels. This ensures that the guests may choose between the guest house experience versus the intimate more private experience of the accommodation pods.

The property owner envisions the installation of four small pods that will be able to accommodate 2 guests per pod. The pods will be arranged on site in such a way to ensure maximum privacy of guests and of the surrounding property owners. These pods will add value to the property by being able to attract more guests to the area and in essence attract more spending to the area, contributing to economic growth.

There will be a parking area available on the subject property that will assist in accommodating the additional parking required by the addition of the pods.

Overall, additional accommodation for tourists on a farm can provide a unique and authentic vacation experience, offering a chance to reconnect with nature, learn about sustainable farming practices, and enjoy personalized, intimate hospitality.



MOTIVATION

Furthermore, the property owners aim to generate income from the farm, while also accommodating students to do research and conservation of the fynbos, which may lead to additional efforts on their part to ensure the area remains free of invasive flora, that incurs considerable expenses.

4.9 Permanent Departure from the 30m southern common boundary building line to 0,25m to allow the proposed store and garage; and

4.10 Permanent Departure from the 30m street building line to 17,82m to allow the proposed store and garage

The proposed structure, consisting of a storeroom and double garage, will be strategically located between the guest house and the busy R43 road. This positioning is not only practical but also beneficial in several ways. By placing the structure in this location, it will serve a dual purpose: providing necessary storage and vehicle space while simultaneously acting as a noise barrier.

The R43 road experiences significant traffic, which can generate substantial noise pollution. This can disrupt the tranquillity and comfort of guests staying at the guest house. By situating the store room and garages between the guest house and the road, the structure will help to buffer and reduce the noise levels, creating a quieter and more serene environment for guests. This enhancement to the guest experience is crucial for maintaining the property's appeal as a desirable tourist accommodation.

The property owner has already taken steps to further mitigate road noise by planting trees along the R43 street boundary. These trees will, over time, grow into mature trees that will provide an additional natural barrier against noise. While the trees mature, the proposed structure will offer immediate noise reduction benefits, demonstrating a comprehensive approach to managing the acoustic environment of the property.

Moreover, the structure's placement will contribute to the overall aesthetic and functional design of the property. The area is already disturbed which is another reason why the structure is placed in this location. It will create a seamless transition between the busy road and the more tranquil guest house area, enhancing the property's layout.

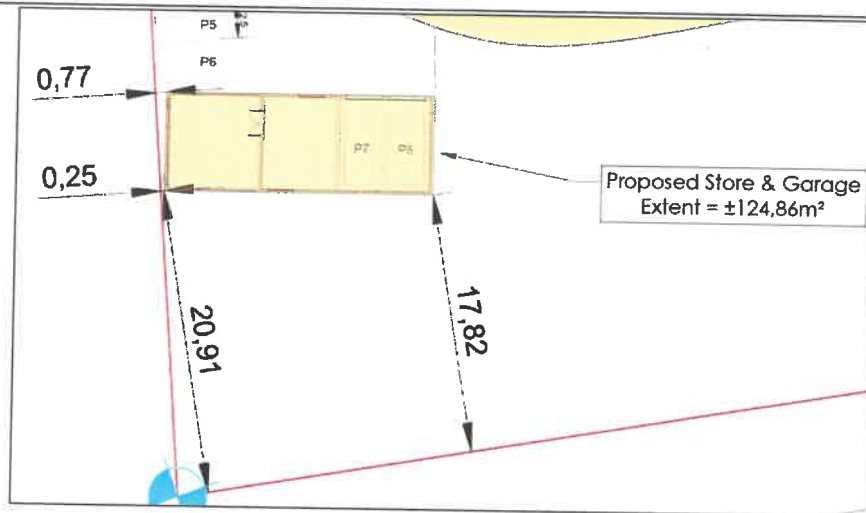


Figure 4: Proposed location of the proposed store and garage

The owner of the property has a keen interest in motorbikes and actively engages in this hobby. To safely store and maintain his few motorbikes, along with his personal vehicles while he is abroad, the construction of the double garage is essential. The garage will provide a secure and weather-protected space for his vehicles, ensuring their longevity and proper upkeep. Additionally, a dedicated garage space enhances the property's functionality, allowing the owner to efficiently manage his transportation needs while pursuing his passion for motorbikes.

In addition to the vehicle storage, the farm requires a well-equipped store room to support the overall maintenance and operations of the farm. Despite the absence of crop production, the farm still necessitates various tools, machinery, and equipment to manage the landscape, maintain firebreaks and infrastructure, and support daily activities. The store room will house essential items such as gardening tools, maintenance supplies, and machinery used for property upkeep. The organized storage solution ensures that all necessary equipment is readily accessible and properly secured, promoting efficient management of the farm.

Farms traditionally have storerooms and barns to accommodate a wide range of needs, including equipment storage, workshop space, and supplies for ongoing maintenance tasks. Even without active agricultural production, the upkeep of a farm involves significant effort and resources. The storeroom will serve as a centralised location for all maintenance-related items, facilitating the smooth operation of the property. This provision aligns with standard farming practices, where organized storage is crucial for the effective management and preservation of the farm's assets.

Furthermore, the inclusion of a store room and double garage supports the sustainable and responsible development of the property. By ensuring that all equipment and vehicles are stored securely, the owner can minimize environmental impact and reduce wear and tear on valuable assets. This approach not only enhances the property's operational efficiency but also aligns with broader goals of sustainability and responsible land use. Overall, the store room and double garages are vital components that will significantly contribute to the effective management and enjoyment of the property.



MOTIVATION

This placement is also carefully chosen to avoid obstructing the serene views to the northern and western sides of the property, which are valuable both aesthetically and for the enjoyment of guests while also chosen due to its close proximity to the guest house. By concentrating development in this area, the rest of the property remains visually and ecologically intact.

Constructing the proposed structure close to the existing structures leverages already disturbed land, reducing the need to clear new areas. This approach aligns with sustainable development principles by minimizing environmental impact and preserving the natural landscape. The concentrated development footprint helps maintain the ecological integrity of the broader property.

The proposed location of the structure maximizes the use of available space without intruding into new areas. This proximity to the boundary is essential for the functional layout of the property, ensuring that the primary views are preserved and the operational areas are efficiently organized. It is also necessary to place the proposed structure in a position that both mitigates road noise and integrates seamlessly with the existing structures and landscape. This location provides immediate noise reduction benefits while also allowing for efficient use of space and maintaining the aesthetic and functional integrity of the property.

4.11 Determination of an administrative penalty

The property owner, as mentioned in Section 3 of this report, are currently in the process of rectifying the contraventions of the previous owner by submitting this application. It is important to reiterate that the current owner acquired the property as is with the existing operational guest house as previously mentioned. As motivated throughout this report, the owner did not know that the rights were not in place. The owner seized the operation of the guest house after acquiring the property in order to improve the guest house as previously stated.

In addition to the above, there have been no complaints from neighbouring property owners regarding the existing structures. This indicates that the violation is not causing any significant harm or disruption to the surrounding community.

To ensure compliance with the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020, it is of importance to include an application for the determination of an administrative penalty. However, it is requested that the administrative penalty be reduced or waived in total.

The current property owner is actively engaged in rectifying the contraventions that occurred under the previous ownership. His proactive approach demonstrates a commitment to compliance with regulations and rectifying any issues promptly. Reducing the penalty would acknowledge and encourage such responsible behaviour. Furthermore, as previously mentioned, it is not predicted to have a negative impact on the surrounding properties as their owners have become accustomed to the placement and position of the structure.

Section 90(3) of the By-law requires that the following information be provided:



MOTIVATION

The nature, duration, gravity and extent of the contravention

Section 4.1 indicates the nature and gravity of the additions that were constructed without prior approval. The total extent of the building line encroachments is:

Existing guest house	±292,52m ²
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The conduct of the person (allegedly) involved in the contravention

The previous owner was responsible for ensuring that there were no contraventions in terms of the By-Law; however, it is important to note that no malicious intent was found in their actions and the current owner aims to rectify the contravention to be able to utilise his property for the intended use when acquiring the property.

A report by a quantity surveyor in matters of unauthorised building/construction

Due to the small-scale nature of the encroachment no quantity surveyor was involved.

Whether the unlawful conduct was stopped

The structure has already been constructed.

Whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law.

To the knowledge of this office, the property owner has not previously contravened the By-Law.

5. LAND USE ENVIRONMENT

The subject property is situated between Gansbaai and Stanford, in an agricultural area where neighboring properties are used for agricultural and tourism-related purposes. This makes the proposed development on the subject property well-aligned with the existing land uses in the area. It needs to be reiterated that the property has been used for tourism-related purposes for over a decade.

The surrounding properties have different land uses, and their zonings are depicted in **Plan 2**. Furthermore, the subject property's location within the agricultural zone presents an opportunity to showcase the natural beauty of the area and promote agricultural tourism. By developing the property as a tourist destination, visitors can learn about the environment while also being exposed to the local culture, which can enhance their overall experience.

6. TITLE DEED

Title deed T1561/2024 (refer **Annexure B – Title Deed**) was perused and there are no restrictive conditions that prohibit the proposed development of the property.

7. ZONING

The following zoning parameters were assessed in conjunction with the OMLUS zoning as this is a relevant consideration in terms of Section 66 (1) (a) of the OM By-Law:



MOTIVATION

AGRICULTURE ZONE 1: AGRICULTURE (AGRI)			
Land Use Restrictions			
Parameters	Proposal	Comply/ deviate	
Primary use	Agriculture, Crèche, Dwelling House , Guest Rooms and Home Occupation.	Comply	
Consent uses that may be applied for	<p>Additional Dwelling Units, Agricultural Industry, Animal Care Centre, Aquaculture, Day Care Centre, Farm Shop/Stall, Fertiliser Plant, Guest House, Hotel, Institution, Intensive Animal Farming, Intensive Horticulture, Lodge, Mining, Place of Assembly, Place of Entertainment, Place of Instruction, Plant Nursery, Riding Stables, Service Trade, Tourist Accommodation, Tourist Facilities, Transmission Apparatus, Utility Services, Wellness Centre And 4x4 Trail.</p>	<p>Consent Uses <u>Approved</u>:</p> <ul style="list-style-type: none"> Restaurant, farm stall and additional dwelling unit. <p><u>Applied for</u>:</p> <ul style="list-style-type: none"> Guest house (5 lettable rooms); Tourist accommodation (4 Accommodation Pods) Tourist facilities (open-air wedding ceremony area) 	Applied for and motivated.
Floor Space	The total floor space of all buildings on the land unit may not exceed 5000m ² , provided that the Municipality may relax this requirement if it is satisfied that such buildings are required for bona fide farming activities on the land unit.	Total proposed footprint: ±1 624,79m ²	Comply
Building Lines	The street and common boundary building lines are determined in accordance with the area of the land unit as specified in the table below. Greater than 10 ha: Street boundary building lines = 30,0 m Common boundary building lines = 30,0 m	<p>Departures from the building lines are as follows:</p> <ul style="list-style-type: none"> 30m southern common boundary building line to 4,19m to allow the existing guest house; 30m southern common boundary building line to 4,63m to allow the proposed additions to the existing guest house; 30m southern common boundary building line to 4,19m to allow the proposed utility room of the existing guest house; 	Applied for and motivated.



MOTIVATION

		<ul style="list-style-type: none"> • 30m southern common boundary building line to 22,74m to allow the proposed covered braai area; • 30m southern common boundary building line to 0,79m to allow the proposed carport; • 30m southern common boundary building line to 0,25m to allow the approved additional dwelling; and • 30m street boundary building line to 17,82m to allow the approved additional dwelling. 	
<p>Height</p>	<p>The maximum height of a building, measured from the base level to the top of the structure, is 8,0 m, provided that agricultural buildings other than dwelling units shall not exceed a height of 12,0 m, measured from the base level to the top of the structure, and where the Municipality is satisfied that a greater height is necessary for the agricultural function of the building, it may permit such greater height.</p>	<p>No structures are higher than the allowable 8,0m.</p>	<p>Comply</p>
<p>Parking</p>	<p>Parking and access shall be provided on the land unit in accordance with Chapter 17.1.</p> <ul style="list-style-type: none"> • Guest House = 2 bays per establishment (owner/manager) and 1 bay per bedroom • Second dwelling = 1 bay per unit • Place of assembly = 1 bay per 4 seats (open-air wedding area) • Restaurant = 4 bays per 100m² GLA 	<ul style="list-style-type: none"> • Guest house with 5 lettable rooms require 7 parking bays; • Four accommodation pods require 4 parking bays; • Open-air wedding area (100 max. guests) requires 25 parking bays; and • Restaurant (±94,6m²) requires 4 parking bays. <p>Total required: 40 parking bays Total provided: 48 parking bays</p>	<p>Comply</p>



8. SERVICES

The availability of services is a relevant consideration in terms of Section 42(1)(c)(v) of SPLUMA and is herewith illustrated.

Electricity, Water, Sewage and Solid Waste

The subject property is equipped with electricity and is proposed to be equipped with solar power in the near future.

Water is obtained using a borehole. The water is filtered and fit for human consumption.

Solid waste will be collected and kept on-site and taken to the waste transfer station in the surrounding area.

Access and Egress

Access and egress to the subject property is gained from the R43, no changes are proposed.

9. NEED AND DESIRABILITY

The need and desirability of the approval and implementation of this proposal in accordance with Section 66 (1) (c) of the OM By-Law can be illustrated as follow:

Need and desirability.

Socio-economic impact	<p>The proposed development on the subject property is expected to have a significant socio-economic impact on the local community. By providing different accommodation options for tourists, offering an open-air wedding ceremony area together with an existing restaurant, the proposal can increase tourism activity, which may have a positive impact on the local economy. Increasing tourism activity may create new job opportunities, stimulate local businesses, and provide revenue streams for small businesses.</p> <p>Furthermore, by showcasing the natural beauty of the surrounding area, the proposal can help preserve the local environment and promote a more sustainable future for the community. This can have a positive impact on the community's well-being and future prospects, both economically and socially.</p>
Compatibility with surrounding uses	<p>The proposed development on the subject property is compatible with the surrounding area as it aligns with the area's existing land uses and promotes sustainable development. The surrounding properties are used for agricultural and</p>



MOTIVATION

	<p>tourism-related uses, and the proposed development is consistent with this. By improving the subject property as a guest house, tourist facility and tourist accommodation in an agricultural area, it can help promote the area's existing land uses.</p> <p>Additionally, the proposal aims to showcase the natural beauty of the surrounding area. This is compatible with the area's land uses and can help preserve the local environment. Moreover, the proposal aims to promote socio-economic growth in the area, which can have a positive impact on the local community's well-being and future prospects.</p>
Impact on the external engineering services	Refer to <i>Section 8</i> of this report.
Impact on safety, health and wellbeing of the surrounding community	It is not predicted that the proposal will have an impact on safety, health and wellbeing of the surrounding community. In fact, the proposed project has the potential to provide a number of benefits to the surrounding area as motivated throughout this report.
Impact on heritage	The subject property is not listed in the OM Heritage Register.
Impact on the biophysical environment	Based on the information available, it is not expected that the proposal will have any adverse effects on the biophysical environment. This is because the area where the proposed developments are planned have a history of being disturbed. The property will also be used for research and conservation of students.
Traffic impacts, parking, access and other transport related considerations	Refer to <i>Section 9</i> .

The property owner has tasked WRAP Project Office with submitting this application to ensure the proposal aligns with policies, legislation, and title deed conditions, in pursuit of his vision.

Impact on views, sunlight and character of the area

The proposed accommodation pods and guest house additions together with the open-air wedding area on the subject property, are all situated in unique locations on the subject property. Based on current assessments, it is not expected that the proposal will cause any negative impact on neighbouring property owners. However, it is important to ensure that the development is designed and constructed in a way that minimizes any potential negative impacts on the environment and neighbouring properties.



To achieve this, the development plans should consider factors such as the placement, size, and design of the proposed structures to minimize any negative effects on the surrounding landscape and to ensure that neighbouring properties are not negatively impacted. Overall, if the development is carefully planned and constructed with consideration for the surrounding environment and neighbouring properties, it has the potential to positively contribute to the local tourism industry while preserving the natural beauty of the area.

Economic impact

The proposed development has the potential to generate a positive economic impact for the local community. The accommodation options and open-air wedding area, could increase tourism activity in the area, providing more opportunities for visitors to stay in the region and contribute to the local economy. This could lead to an increase in demand for local goods and services, such as restaurants, shops, and activities.

Overall, the proposed development has the potential to generate a positive economic impact for the local community by increasing tourism activity, creating job opportunities, and providing revenue streams for small businesses.

Environmental impact

The Site Plan attached as **Plan 4** reflects a strategic approach to land use, with careful consideration given to maximizing the functionality of existing structures and minimizing the footprint of new developments. By concentrating construction within already disturbed areas and existing building footprints, the proposal minimizes habitat disruption and preserves natural ecosystems.

The proposed consent uses and departures aim to mitigate noise pollution from nearby roads through strategic building placement and the integration of noise-reducing features. Additionally, the inclusion of green spaces and vegetation helps to improve air quality by capturing pollutants and reducing atmospheric carbon dioxide levels. This contributes to a healthier and more pleasant environment for both residents and wildlife.

The owner plans to incorporate energy-efficient design principles and promotes the use of renewable energy sources wherever feasible. Features such as passive solar design, efficient insulation, and energy-saving appliances reduce the site's overall energy consumption and carbon footprint. Integration of solar panels, wind turbines, or other renewable energy technologies further enhances sustainability and reduces reliance on fossil fuels.

The proposed consent uses and departures outlined in this report offer numerous environmental benefits, ranging from habitat preservation and biodiversity enhancement to renewable energy integration. By embracing sustainable design principles and fostering a culture of environmental responsibility, the site can serve as a beacon of sustainability.



10. POLICIES AND REGULATIONS

10.1 Overstrand Municipality Environmental Protection Overlay Zone (EMOZ)

The subject property is also located in the "Coastal Protection Overlay Zone EMOZ" and the purpose is to manage the integrity of coastal ecosystems, ecosystem services, coastal dynamic processes and biodiversity within Coastal Reserves.

These new additional structures are not proposed to affect the EMOZ as the scale of the proposed development is not predicted to have an effect. However, in order to ensure compliance with the guidelines set out in the EMOZ, the application was evaluated in terms of the provisions of Schedule A & B of the Environmental Management Overlay Zone 2020:

SCHEDULE A PROHIBITED ACTIVITIES IN OVERSTRAND ENVIRONMENTAL MANAGEMENT OVERLAY ZONES		
Prohibited Activity	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Agricultural practices within this EMOZ which may cause water logging and siltation.	X	N/A
Planting or harbouring of declared emerging weeds on properties within and adjacent to this EMOZ.	X	N/A
Development or agriculture on slopes steeper than 1:4.	X	N/A
Establishment of Informal settlements or Temporary Relocation Areas.	X	N/A
No land user within this EMOZ may utilise the vegetation in a vlei, marsh or within the flood area of watercourse in a manner that may cause the deterioration or damage to the natural agricultural resources.	X	N/A
Placement of religious symbols or memorabilia.	X	N/A
Harvesting /collection of kelp / seaweed in municipal designated "no-take" zones.	X	N/A
Harvesting, collection, moving, loading drying of kelp /seaweed, with a valid Seaweed Harvesting Permit or an exemption in terms of Section 81 or the MLRRA issued by the DAFF.	X	N/A
Stockpiling, drying, processing or loading of marine resources beyond areas designated, demarcated and signposted by the Municipal Council for such purposes.	X	N/A
Modification of the littoral active zone / functional dune systems in absence of approved management plans.	X	N/A
Feeding, disturbing / pursuit of fauna.	X	N/A
Disturbance, modification or destruction of the environment or species within special management areas designated, demarcated and signposted by the Municipal Council from time to time.	X	N/A



MOTIVATION

Defacing/damaging / removing of any notice, sign, barrier building or other infrastructure.	X	N/A
Playing or tampering with any rope, float, buoy, vessel, shelter or similar life - saving device.		N/A
Staying overnight.	X	The purpose of this application is for overnight accommodation.
The discharging of domestic effluent / grey water into all natural systems.	X	N/A
Tampering with security / surveillance infrastructure.	X	N/A
Defacing of rocky outcrops and placement of memorial plaques, religious symbols or structures on natural features.	X	N/A
Graffiti, vandalism or damaging of municipal infrastructure.	X	N/A
Littering	X	N/A
Disposal of cigarette butts, ash or other hazardous materials in any place or manner other than a receptacle designated for such items	X	N/A
Dog walking / exercising of dogs in non- designated zones.	X	N/A

SCHEDULE B ACTIVITIES ONLY PERMITTED WITH COUNCIL CONSENT IN OVERSTRAND ENVIRONMENTAL OVERLAY ZONES		
A) Activities Only Permitted With Council Consent	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Permission for the utilization of access routes to permitted kelp / seaweed harvesting sites.	X	N/A
Removal or destruction of vegetation which is protected and/or of conservation concern.	X	N/A
Dune maintenance on private land as per approved dune maintenance management plans.	X	N/A
Excavation and destruction or removal of substrate (soil, substrate, rock, shellgrit, dune sediment, mineral deposits).	X	N/A
Discharging of pool backwashing or untreated grey water or the channelling of storm water into open spaces without the necessary approval from the Municipality.	X	Will be disposed off in an acceptable manner.
B) Permit Upon Approval By Delegated Authority and / Receipt of Tariff	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	



MOTIVATION

Installation of conservancy tanks or biological treatment plants within 50 metres from the edge of a watercourse / wetland.	X	N/A
Access from private properties to open spaces, including the removal of vegetation and the establishment of paths, structures and infrastructure.	X	N/A
Commercial filming.	X	N/A
Construction or placement of any temporary object, building, shelter, path or structure.	X	N/A
Use of engine or motor driven vehicles, remotely piloted aircraft or any other means of transport or other conveyances beyond designated, demarcated and signposted areas.	X	N/A
C) Council Authorisation Pending Consent Use Application / Lease Agreement / Applicable Tariffs as applicable	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Buildings / Structures associated with: Taking of water, storing of water, impeding or diverting flow, stream flow reduction, altering the bed, banks, course characteristics, outflow structures or discharge pipes.	X	N/A
Application for the designation of industrial sites and activities associated with the seaweed harvesting, collection, drying, transport and processing fishery.	X	N/A
Encroachment of private buildings, structures, infrastructure, access routes.	X	The entire property is located within this zone, therefore so are the encroachments.
Commercial Harvesting/collection and removal of any natural resource.	X	N/A
Construction or placement of any permanent object, building, shelter, pathway or structure.	X	The entire property is located within the zone, therefore so are the permanent structures.

10.2 Overstrand Municipality Heritage Protection Overlay Zone (HPOZ)

Scenic Route

The subject property is located adjacent the R43 which is identified as a 'Route of Regional Scenic Significance'. The property owner acknowledges the significance of the route and would not want to impact on the scenic nature thereof.



MOTIVATION

To ensure compliance, the HPOZ has guidelines in place to ensure new developments do not impact the scenic route as indicated in Section 8.2.6:

Protection of scenic corridors	Compliance
8.2.6.1 - New buildings must not block views from scenic routes, particularly views towards the mountains and the coastline and towards places/sites identified as having visual or heritage significance, where possible.	This is noted and all future plans submitted to the OM will consider this.
8.2.6.2 - Comment must be obtained from the Overstrand Heritage and Aesthetics Committee, Stanford Heritage Committee and/or a registered conservation body on potential visual impacts before the Municipality approves any applications within this HPOZ.	The Overstrand and the public will be afforded the opportunity to comment on the application during the public- and authority commenting period.
8.2.6.3 - Development on ridge lines and on steep slopes greater than 1:4 must be avoided in this zone.	This is noted and avoided with the proposal.
8.2.6.4 - New interventions must be modest and restrained in scale, limited in height, recessive in character and appropriate to the natural and cultural landscape.	This is noted.
8.2.6.5 - New developments must be associated and linked with existing settlements, rather than being built on isolated sites on undeveloped land.	This is noted.
8.2.6.6 - Buildings must be aligned parallel to the contours. Hard and soft landscaping must be used to tie the buildings into the landscape.	This is noted.
8.2.6.7 - Building platforms on sloping sites must be kept to a minimum. Buildings on high stilts in excess of 2,4 m, as measured from the base level and as defined in the land use scheme, must be avoided. New levels must be designed to fit into the surrounding landform. Mitigation measures must be identified to limit visual impacts.	This is noted.
8.2.6.8 - Outdoor spaces must be designed so that the landscape appears to flow throughout the site. Extensions on coverage will be discouraged.	This is noted.
8.2.6.9 - The layout and design of new buildings must respect local traditions and settlement patterns in terms of the	This is noted.



MOTIVATION

placement and alignment of buildings on sites.	
8.2.6.10 - Access roads and pathways must be designed to avoid excessive cutting and filling and to ensure harmonious adaptation to the existing topography.	This is noted and all access roads will be constructed to engineering standards and will meet the requirements of the OM.

To ensure the application may be considered, and it complies with the HPOZ, it is of importance that certain aspects need to be provided and addressed in terms of Overstrand Municipality Heritage Protection Overlay Zone Regulations, 2020:

Section 20 – 22 states the following -

“20

The Overstrand Municipality By-Law on Municipal Planning, 2020, will apply in respect of all applications, processes and decisions contemplated in these regulations.

21

In considering an application for written consent in order to undertake an activity in terms of the Heritage Protection Overlay Zone, the Municipality may require from an applicant whatever information it deems necessary in order for an informed decision to be made regarding the application.

22 *This could include, inter alia:*

- 22.1 *statements of significance;*
- 22.2 *heritage research;*
- 22.3 *photographs, including contextual photographs;*
- 22.4 *results of public consultation;*
- 22.5 *impact assessments; and*
- 22.6 *comment from affected and interested bodies.”*

Statements of Significance

The heritage significance of the subject property is not large. The reason for inclusion is as a result of the scenic route running along the property.

Heritage Research

Due to the small-scale nature of the application and no previous building plans recorded, no specific heritage research was done.

Photographs, Including Contextual Photograph

Aerial maps are included in the application, refer to **Plan 3 – Aerial Plan**.

Results of Public Consultation

An extensive public participation process will be held for this application. If any comments are received with regard to the heritage aspect it will be addressed accordingly.



Impact Assessments

No assessments were conducted.

Comment From Affected and Interested Bodies

The application will be circulated to interested and affected parties and bodies for comment.

10.3 Spatial Planning Policies

WCLUPGRA

Policy preface

The policy document aims to create alignment between the changed legislative planning landscape since the promulgation of SPLUMA and LUPA and intends to implement the provincial agenda in rural areas. The policy acknowledges that the Western Cape rural areas are faced with escalating development pressures and provides clarity to local municipalities to manage development in rural areas more effectively. The Western Cape rural areas are cited as a unique rural asset base which requires concrete efforts to ensure a sustainable spatial trajectory.

Broad policy objectives

The objectives of the policy include the promotion of sustainable development in rural locations while safeguarding the ecological infrastructure. The policy also highlights that rural communities should have greater economic and social opportunities which enable successful job creation and contribute towards an inclusive rural economy. The compliance of this proposal with the policy proposals in the WCLUPGRA which are pertinent to this proposal are recorded below:

The policy provides the importance of non-agricultural land uses and state the economic viability thereof. These land uses include a guest house, tourist accommodation and tourist facilities, all of which are included in the application. The policy cites that rural tourism and recreational facilities and activities should not compromise farm production which is not the case with this application.

The policy document is considered a guideline document, and the proposed guest house, tourist- accommodation and facilities are aligned with several of the aspects contained within the document. The policy document continues to indicate that a clustered approach needs to be followed. The proposal follows this approach as all the structures for the guest house and tourist facilities will be located within close proximity of each other. However, the tourist accommodation will be small in size and situated along a line on the farm. The remainder of the property will remain untouched and undeveloped.

PSDF

The PSDF is a product of a provincial inter-departmental and inter-governmental collaboration under the guidance of the inter-departmental steering committee in collaboration with the private sector, academia, and non-governmental organisations. This broad participatory process has created a shared spatial vision that is intended to inform spatial development patterns in urban and rural areas in the province.



Consistency with the PSDF

Throughout the PSDF, economic development is a widespread term used and focussed on. Economic development is an aspect that is important to ensure that the Provincial economy contributes to the National economy. The continual growth of the Provincial economy means that economic activity should be stimulated in lower spheres of the government. This application, to add additional economic activities into an area where there are not many options available, will have a positive impact on the Overstrand Municipality as more employment options are created. The application then relates to the development of economic activity which is in line with the PSDF.

MSDF

The SDF's purpose is to ensure compliance with national, provincial and district legislation policies and principles. The SDF aims to provide sufficient guidance regarding what constitutes appropriate spatial development land uses and direction within the urban edge. The SDF was drafted after considering input from other state departments and the public and provides a shared spatial vision which the development proposal should ideally attempt to synchronise with.

Consistency with the MSDF

To ensure compliance with the principles and objectives set out by the PSDF and the National Development Plan, the MSDF was synthesised through the influence of these policies and frameworks.

Ensuring that economic development take place in the OM, would ensure sustainable growth of the municipal area. As previously mentioned, the subject property is located in an area where economic activity is low. The property owner is proposing utilising the subject property's unique location to develop another source of income that in turn allows them to ensure employment opportunities are available on the farm. These uses, although a small economic link in the Overstrand Municipality, still has a role to play, which allows the proposed- and existing uses to stay aligned with the MSDF.

11. PLANNING PRINCIPLES

Chapter 2 of SPLUMA contains 5 uncompromisable planning principles by which each development application must be guided. Policy proposals in SPLUMA which are pertinent to this proposal are recorded below:

Spatial justice

Spatial justice refers to planning proposals that do not contribute towards the perpetuation of apartheid spatial development imbalances. This proposal to add additional uses to the subject property is not considered to have a negative impact on past spatial injustices.

Spatial sustainability and Efficiency

Spatial sustainability refers to planning proposals that result in communities that are viable. This proposal is to continue utilising the property for more than what is currently approved and continue the efforts to create new space and allow the property owner to stay on top of the requirements and movements of the demand.



MOTIVATION

Spatial resilience

This proposal is not in conflict with any spatial planning policies or other OM regulations which is a hallmark of resilience.

Good administration

The Overstrand Municipality has demonstrated a solid history of effectively incorporating public participation into its administrative processes. Public participation is a crucial aspect of the land use planning process. This process allows individuals who may be impacted on by the proposal to provide feedback and raise any concerns or make suggestions that may lead to a more favourable outcome for all parties involved. All comments received will be carefully reviewed and taken into consideration before being addressed appropriately.



12. EVALUATION

The proposed expansion of the subject property's development rights would add significant value to the property. The property's existing potential for tourism-related activities would also be enhanced by the proposed developments. The property has been operating as a guest house for over a decade by the previous owner and the current owner envisions the same use with some additional uses to compliment the guest house.

Furthermore, the proposals are consistent with the surrounding area and are not expected to create nuisance land uses that could negatively impact neighbouring properties. In fact, the proposals are in harmony with all relevant spatial planning policies, indicating that the property owner has considered the necessary considerations and regulations required for such developments.

The proposed structures are not arbitrary and have been designed with due consideration for relevant spatial planning policies and the environment to ensure that they follow zoning regulations and environmental guidelines. As such, the proposals are expected to complement and enhance the existing character of the area while providing additional economic benefits to the local community.

13. RECOMMENDATION

Based on the abovementioned motivation, it is recommended that the following be approved:

- 13.1 **Consent use** to allow a guest house in terms of section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.2 **Permanent departure** from the 30m southern common boundary building line to **4,19m** to allow the existing guest house in terms of section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.3 **Permanent departure** from the 30m southern common boundary building line to **4,63m** to allow the proposed additions to the existing guest house in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.4 **Permanent departure** from the 30m southern common boundary building line to **4,19m** to allow the proposed utility room of the existing guest house in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;



RECOMMENDATION

- 13.5 Permanent departure** from the 30m southern common boundary building line to **22,74m** to allow the proposed covered braai area in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.6 Permanent departure** from the 30m southern common boundary building line to **0,79m** to allow the proposed carport in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.7 Consent Use** to allow a tourist facility (open-air wedding ceremony area) in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.8 Consent Use** to allow tourist accommodation in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.9 Permanent Departure** from the 30m southern common boundary building line to **0,25m** to allow the proposed store and garage in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020;
- 13.10 Permanent Departure** from the 30m street building line to **17,82m** to allow the proposed store and garage in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020; and
- 13.11 Determination of an administrative penalty** in terms of Section 90(5) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.

4.6 Inset Site Plan
Farm 938 - Caledon

Proposed Departure

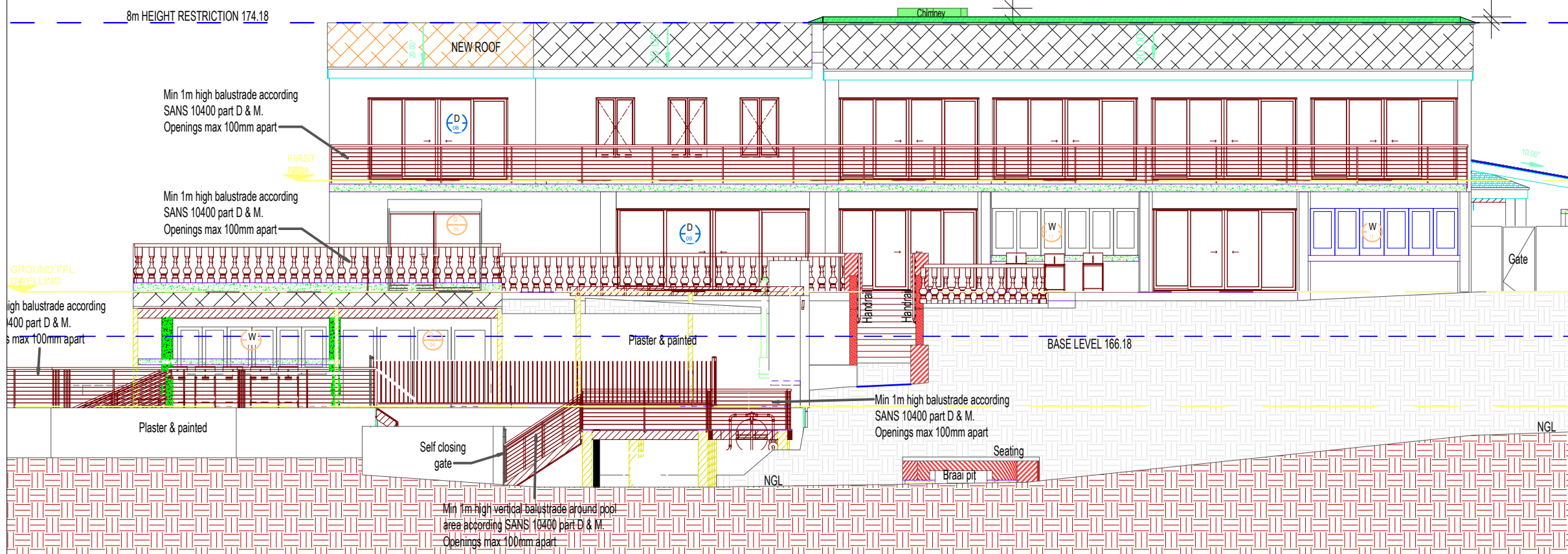
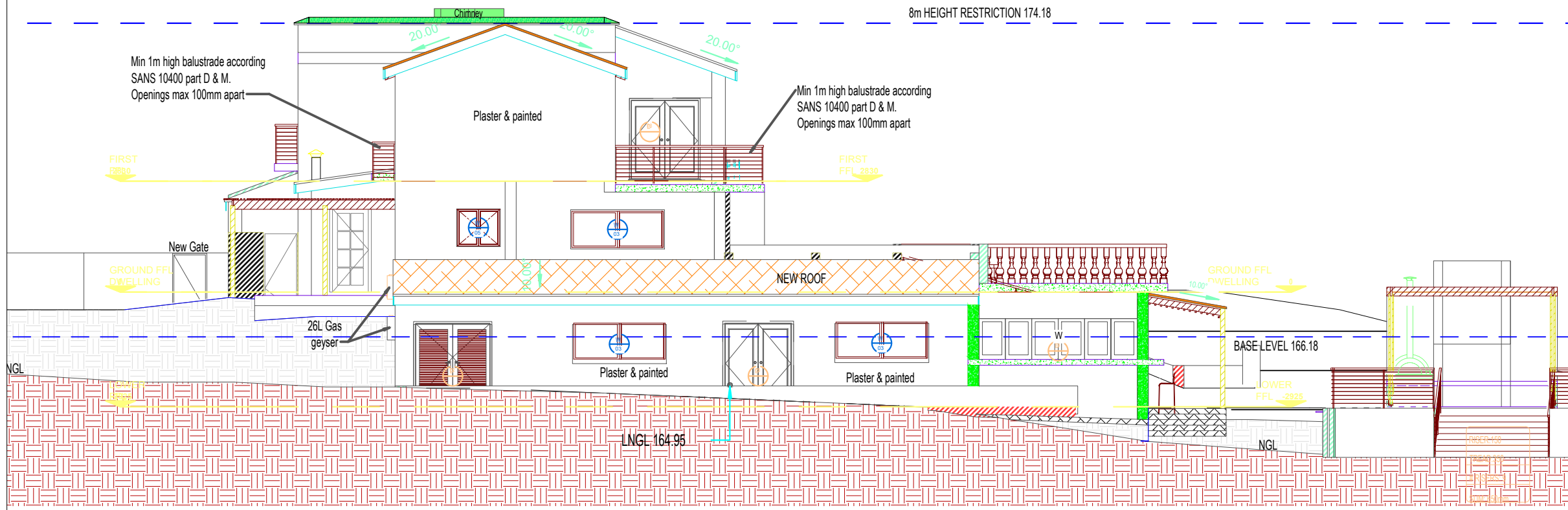
- Permanent departure from the 8m maximum height to 8,37m to allow the existing chimney
- Permanent departure from the 8m maximum height to 8,15m to allow the existing roof

 HEIGHT DEPARTURES

Proposed increase in height allowance from 8m to **8,15m & 8,37m**
 Total existing roof encroachment = **±18,39m³**
 Total existing chimney encroachment = **±0,15m³**

0,37

0,15



Scale 1 : 250

Plan Number: 24.55 (006)
 Plan prepared by: Veronica Jansen on 04/06/2025
 Based on plans by Gericke Architecture
 All distances are approximate
 and subject to a survey
 Tel: 028 313 1411
 Email: admin@wrapgroup.co.za
 Unit B, Standard House, Corner of Royal and Dirkie Uys
 Street Hermanus, 7200



FARM NO 913

Site Boundary 215.84 m

30m Scheme Building Line

Site Boundary 402.85 m

FARM NO 913

30m Scheme Building Line

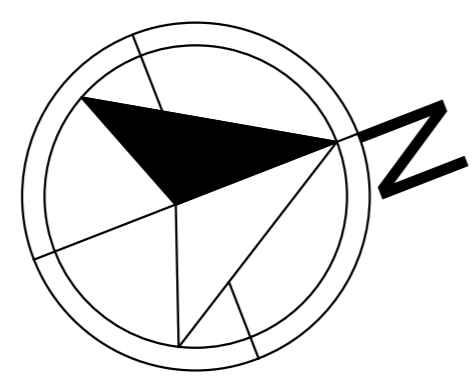
PROPOSED FUTURE
POD 4 ACCOMODATION

Site Boundary 215.84 m

PORTION 1 OF THE
FARM NO 722

30m Scheme Building Line

Site Boundary 20.00 m



Demolished Swimming
Pool installed here and
made into Eco-pool as
per specialists.

PROPOSED FUTURE
POD 3 ACCOMODATION

PROPOSED FUTURE
POD 2 ACCOMODATION

PROPOSED FUTURE
POD 1 ACCOMODATION

ERF 938
110037 m²

30m Scheme Building Line

Site Boundary 431.67 m

GANSBAAI R43 STANFORD

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IMPORTANT NOTE:
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!
1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

SCHEDULE OF RIGHTS	
PROPERTY DESCRIPTION	
Erf Number: 938	Site Area: GANSBAAI FARMS
Erf size: 11 hectares	
ZONING INFORMATION	
Town planning Scheme: OVERSTRAND	
Use Zone: AGRICULTURAL ZONE 1: AGRICULTURE	
DEVELOPMENT CONTROL MEASURES	
New Garages	: 43.80m ²
New Store	: 37.25m ²
New Covered Court Yard	: 43.80m ²
Existing Ground Floor	: 277.60m ²
Existing Sloep	: 89.85m ²
Existing Open Balcony	: 28.29m ²
Existing Garden Sheds	: 98.54m ²
New Carport	: 32.15m ²
New GF Additions	: 65.09m ²
New Pergola	: 21.13m ²
New Balcony Extension	: 45.45m ²
New Bathroom Extension	: 5.02m ²
Existing First Floor	: 217.36m ²
New FF Additions	: 29.62m ²
New FF Balcony	: 64.70m ²
New FF Balcony	: 5.46m ²
Existing Lower Ground	: 35.70m ²
New Lower Ground Additions	: 109.13m ²
New Bar Afdak	: 19.30m ²
New Bathrooms	: 33.47m ²
New Pergola	: 11.27m ²
New Refuse Area	: 7.62m ²
New Pool Area	: 77.52m ²
New Braai Pergola	: 26.16m ²
New Pods x 4 @ 60m ²	: 240.00m ²
TOTAL	: 1 665.28m ²
Coverage	1155.37m ² 1.05%

The information provided above is hereby certified to be correct & precise
Name: JLS GERICKE Signature:
Date: 08 April 2024 Plan No: 938/TH/24

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
SITE PLAN

SHEET FORMAT:
A2

OCCUPATION:
A1 & H5

SCALE:
As indicated

DRAWING #:
938/TH/24

PAGE #:
1

DRAWING DATE:
19 FEB 2024

PLOT DATE:
2025-06-03 11:41:58 AM

DRAWN:
Johan Gericke

SIGNATURE:

GERICKE ARCHITECTURE

www.gericke-architecture.co.za
info@gericke-architecture.co.za
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

JOHAN LOEWYCK SERPONTEN GERICKE

18:51 PM (Africa/Johannesburg) on 21 Sep 2025

SITE PLAN
1 : 1000

LEGEND:

	New Brickwork
	New Timberwork
	New Steel Elements
	New Foundation/ Concrete work
	Existing buildings/structures
	Demolished work
	New Fire Protection Elements

GENERAL:

ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.

- All dimensions and levels to be checked on site before any work commences.
- This drawing is not to be scaled and only figured dimensions are to be used.
- All work is to be carried out in accordance with local authority requirements.
- All levels unless otherwise indicated are finished floor levels.
- Finished floor levels are to be min. 150mm above N.G.L.
- Any discrepancies are to be reported to the offices of the Architects.
- All glazing is to comply with part N of the NBR.
- Building to comply with National Building Regulations.
- Structural work to comply strictly with accordance to Eng's spec's & details.

REVISIONS

18 JUNE 2024

- Added 1 Parking to Carport
- Added Utility Room
- Added Refuse Room
- Added Afdak at Bar Area
- Added Braai Area & Afdak

30 JULY 2024

- Noted Guest & Owner bedrooms
- Made Bedrooms interleafing

24 SEPTEMBER 2024

- New Carport Afdak in place of Shadeport - south of main building.
- Utility room revised.
- Gas indicated.
- Eatery, Champagne/Coffee Bar & Sunroom added/revised.
- TV room & Bedroom 5 revised.

11 OCTOBER 2024

- Guest Bedroom 4 Bathroom revised/darkening
- New Balcony for Master Bedroom
- Ground Floor Balcony extended
- Bar area revised.
- Sections H-H & I-I added

06 NOVEMBER 2024

- SW Wall of Bar area inline with existing wall.
- Balcony over Bar overhang reduced.
- NW wall Bedroom 6 rebuild and inline with existing building walls.
- Section J-J added.
- En Suite of Bedroom 4 revised.
- Utility room location change.

27 NOVEMBER 2024

- All windows & doors changed to Timber.
- Balcony overhang over Bar 500mm.
- New D10 to Eatery.
- Balustrade type changed to concrete.
- Kitchen section floor dropped with 175mm.
- Bar counters heights all 1060mm from FFL.
- W4, W11, W12, W13 added/revised.
- Pool area deck revised.
- Section K-K added.
- Braai Boma added.

03 DECEMBER 2024

- Bar floor height adjusted.
- Bar counter heights adjusted.
- Gas cage moved.
- Carport ground level to be cut.
- W11 & counter for Family Sunroom.
- Braai Afdak changed to Braai Pergola.
- Bedroom 2 made En Suite.
- Gas bottles at Carport moved.

03 JUNE 2025

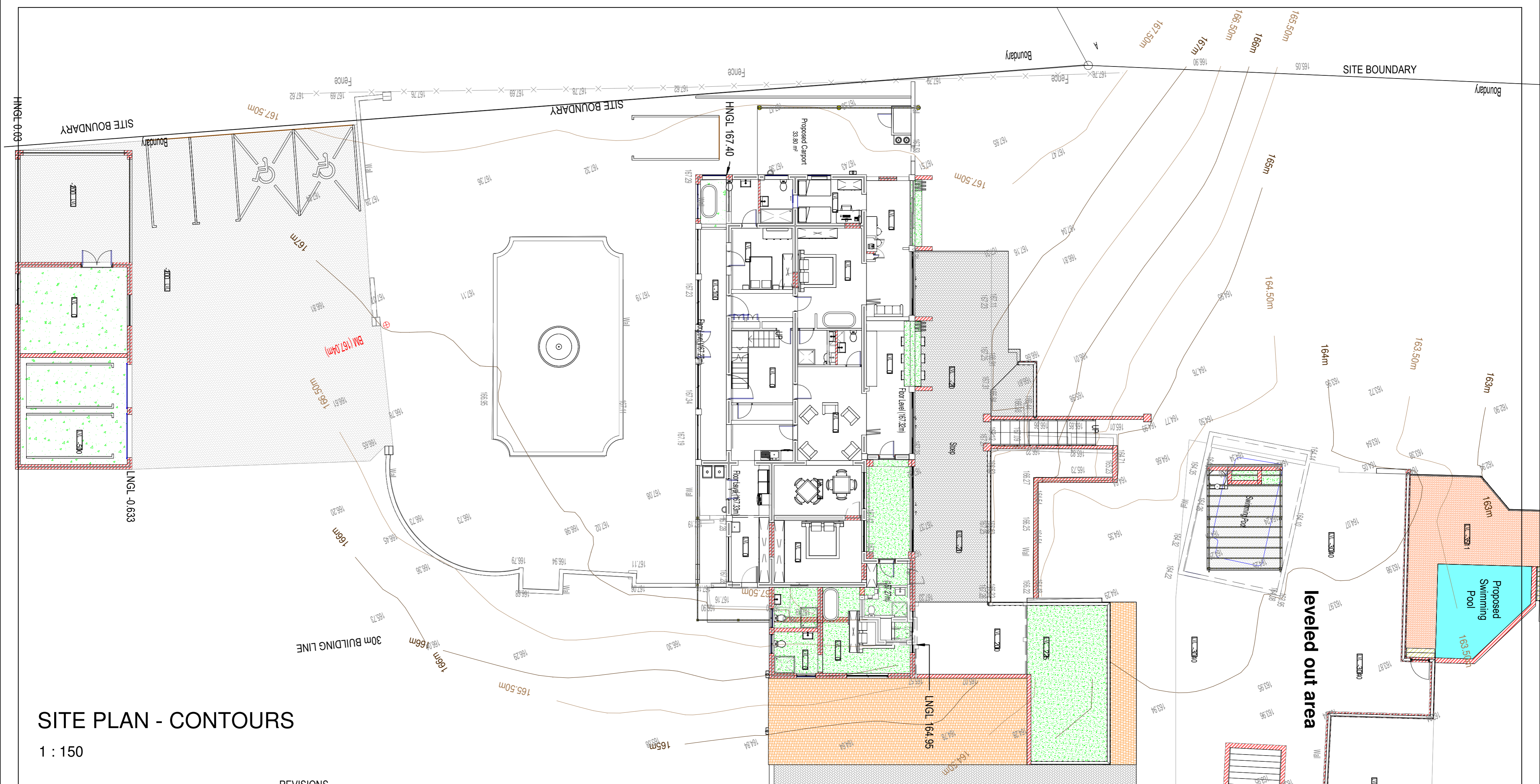
- Revised HNGI & LNGL as per height certificate.

TO BE CONFIRMED WITH CLIENT:

- Window/Door configurations
- Type of timber floor covering
- Interior door types and handles
- Any special detail/feature indicated (cladding etc)

TO BE CONFIRMED BY CLIENT:

- Light & Plug fittings
- Colour of Paint
- Floor finishes
- All tap fittings
- Bedroom & Kitchen cupboard designs
- Type of Balustrades
- Height of Braai/Fireplace
- Facebrick to be used



SITE PLAN - CONTOURS

1 : 150

REVISIONS

18 JUNE 2024

- Added 1 Parking to Carport
- Added Utility Room
- Added Refuse Room
- Added Afdak at Bar Area
- Added Braai Area & Afdak

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- Made Bedrooms interleading

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- Gas indicated.
- Eatery, Champagne/Coffee Bar & Sunroom added/revised.
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11 OCTOBER 2024

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- Pool area deck revised.
- Section K-K added.
- Braai Boma added.

03 DECEMBER 2024

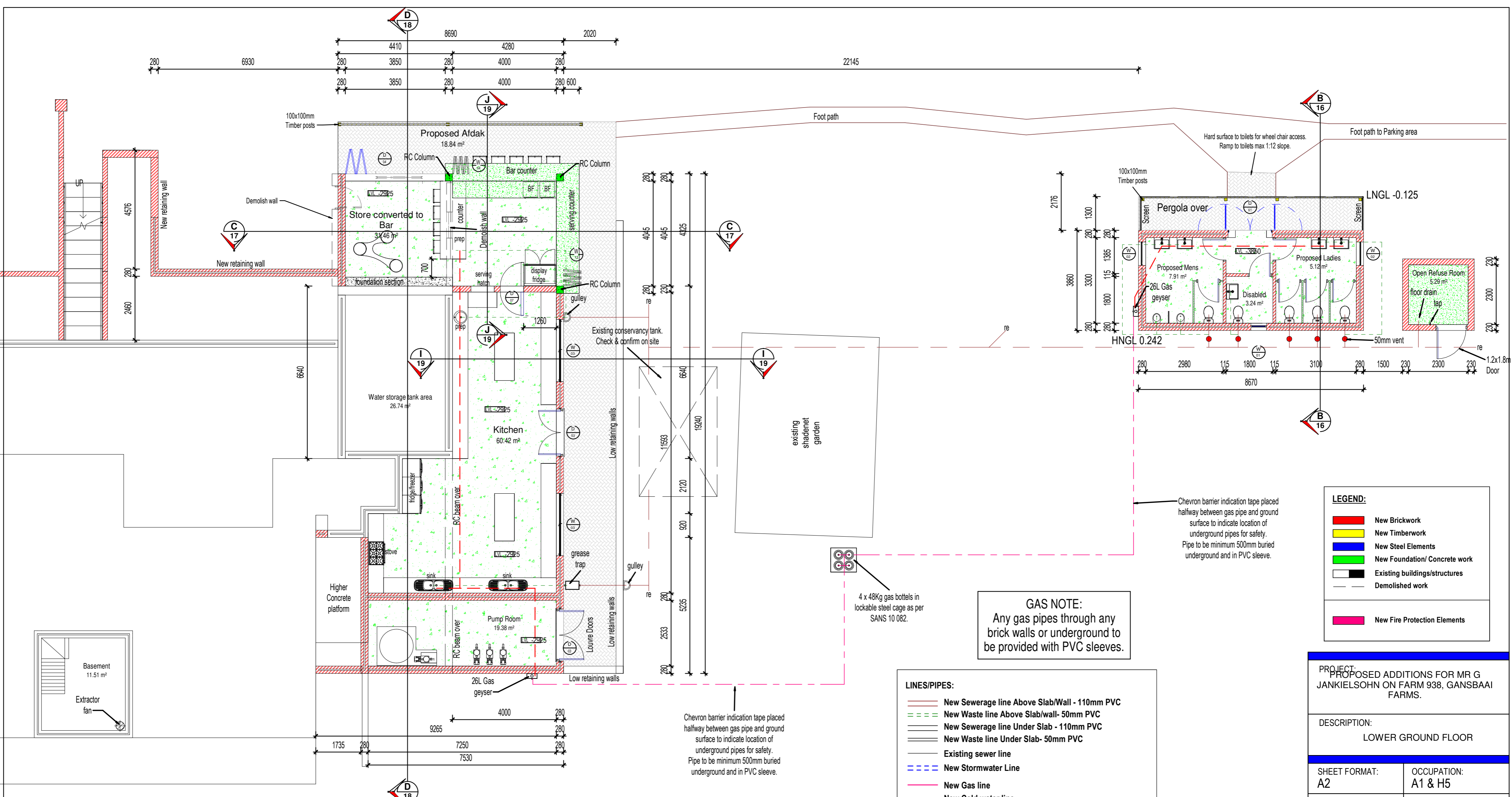
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- Gas bottles at Carport moved.

03 JUNE 2025

- Revised HNGI & LNGL as per height certificate.

LEGEND:	
	New Brickwork
	New Timberwork
	New Steel Elements
	New Foundation/ Concrete work
	Existing buildings/structures
	Demolished work
	New Fire Protection Elements

SHEET FORMAT: A2	OCCUPATION: A1 & H5	PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.	DRAWN: Johan Gericke	SIGNATURE:
SCALE: As indicated	DRAWING #: 938/TH/24	DESCRIPTION: SITE CONTOURS PLAN	 www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught	
PAGE #: 3	PLOT DATE: 2025-06-03 11:42:02 AM			
DRAWING DATE: 19 FEB 2024	 JOHAN LODEWYCK SERFONTAIN GERICKE 18:51 PM (Africa/Johannesburg) on 21 Sep 2025			



LOWER FFL
1 : 100

PLUMBING NOTE:
1. Plumber to determine existing drainage lines and ensure compliance.

- LINES/PIPES:**
- New Sewerage line Above Slab/Wall - 110mm PVC
 - - - New Waste line Above Slab/wall- 50mm PVC
 - New Sewerage line Under Slab - 110mm PVC
 - New Waste line Under Slab- 50mm PVC
 - Existing sewer line
 - - - New Stormwater Line
 - New Gas line
 - New Cold water line
 - New Hot water line

PLUMBING WORK		GENERAL	
RE	Rodding Eye	NGL	Natural Ground Level
IE	Inspection Eye	FGL	Finished Ground Level
VP	Vent pipe	FFL	Finish Floor Level
WP	Waste pipe	IL	Invert level
SP	Soil pipe	RC	Reinforced Concrete
IC	Inspection chamber	FC	Fibre cement
CE	Cleaning Eye		
Toilet	Toilet Pan	SWP	Stormwater pipe
WB	Wash Basin	RWDP	Rainwater downpipe
U	Urinal	SC	Stormwater channel
SW	Shower	FA	From above
G	Gully	FB	From below
B	Bath	TA	To above
GT	Grease trap	TB	To below
MH	Manhole		
S	Sink	IW	In wall
WT	Wash Trough	ISB	In surface bed
BT	Bidet	USB	Under surface bed

GAS NOTE:
Any gas pipes through any brick walls or underground to be provided with PVC sleeves.

Chevron barrier indication tape placed halfway between gas pipe and ground surface to indicate location of underground pipes for safety. Pipe to be minimum 500mm buried underground and in PVC sleeve.

4 x 48Kg gas bottles in lockable steel cage as per SANS 10 082.

LEGEND:

█	New Brickwork
█	New Timberwork
█	New Steel Elements
█	New Foundation/ Concrete work
█	Existing buildings/structures
- - -	Demolished work
█	New Fire Protection Elements

Chevron barrier indication tape placed halfway between gas pipe and ground surface to indicate location of underground pipes for safety. Pipe to be minimum 500mm buried underground and in PVC sleeve.

- TO BE CONFIRMED WITH CLIENT:**
- Window/Door configurations
 - Type of timber floor covering
 -

- TO BE CONFIRMED BY CLIENT:**
- Light & Plug fittings
 - Colour of Paint
 - Floor finishes
 - All tap fittings
 - Bedroom & Kitchen cupboard designs
 - Type of Balustrades
 - Height of Braai/Fireplace
 - Facebook to be used

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
LOWER GROUND FLOOR

SHEET FORMAT: A2
OCCUPATION: A1 & H5

SCALE: As indicated
DRAWING #: 938/TH/24

PAGE #: 4

DRAWING DATE: 19 FEB 2024
PLOT DATE: 2025-06-03 11:42:03 AM

DRAWN: Johan Gericke
SIGNATURE: *Johan Gericke*

GERICKE ARCHITECTURE

www.gericke-architecture.co.za
info@gericke-architecture.co.za
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

JOHAN LOEWYCK SERFONTEIN GERICKE

18:51 PM (Africa/Johannesburg) on 21 Sep 2025

NOTE:
 1. Blue windows indicate new windows in existing building.
 2. Blue sanitaryware & appliances indicate new or revised sanitaryware/water points.

PLUMBING NOTE:
 1. Plumber to determine existing drainage lines and ensure compliance.

LINES/PIPES:

	New Sewerage line Above Slab/Wall - 110mm PVC
	New Waste line Above Slab/wall- 50mm PVC
	New Sewerage line Under Slab - 110mm PVC
	New Waste line Under Slab- 50mm PVC
	Existing sewer line
	New Stormwater Line
	New Gas line
	New Cold water line
	New Hot water line

PLUMBING WORK		GENERAL	
RE	Rodding Eye	NGL	Natural Ground Level
IE	Inspection Eye	FGL	Finished Ground Level
VP	Vent pipe	FFL	Finish Floor Level
WP	Waste pipe	IL	Invert level
SP	Soil pipe	RC	Reinforced Concrete
IC	Inspection chamber	FC	Fibre cement
CE	Cleaning Eye		
Toilet	Toilet Pan	SWP	Stormwater pipe
WB	Wash Basin	RWDP	Rainwater downpipe
U	Urinal	SC	Stormwater channel
SW	Shower		
G	Gully	FA	From above
B	Bath	FB	From below
GT	Grease trap	TA	To above
MH	Manhole	TB	To below
S	Sink		
WT	Wash Trough	IW	In wall
BT	Bidet	ISB	In surface bed
		USB	Under surface bed

LEGEND:

	New Brickwork
	New Timberwork
	New Steel Elements
	New Foundation/ Concrete work
	Existing buildings/structures
	Demolished work
	New Fire Protection Elements

PROJECT:
 PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
 GROUND FLOOR LAYOUT

SHEET FORMAT: A2
OCCUPATION: A1 & H5

SCALE: As indicated
DRAWING #: 938/TH/24

PAGE #: 5

DRAWING DATE: 19 FEB 2024
PLOT DATE: 2025-06-03 11:42:04 AM

DRAWN: Johan Gericke
SIGNATURE:

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 info@gericke-architecture.co.za
 Tel : 028 384 1659 Sel : 082 453 8554
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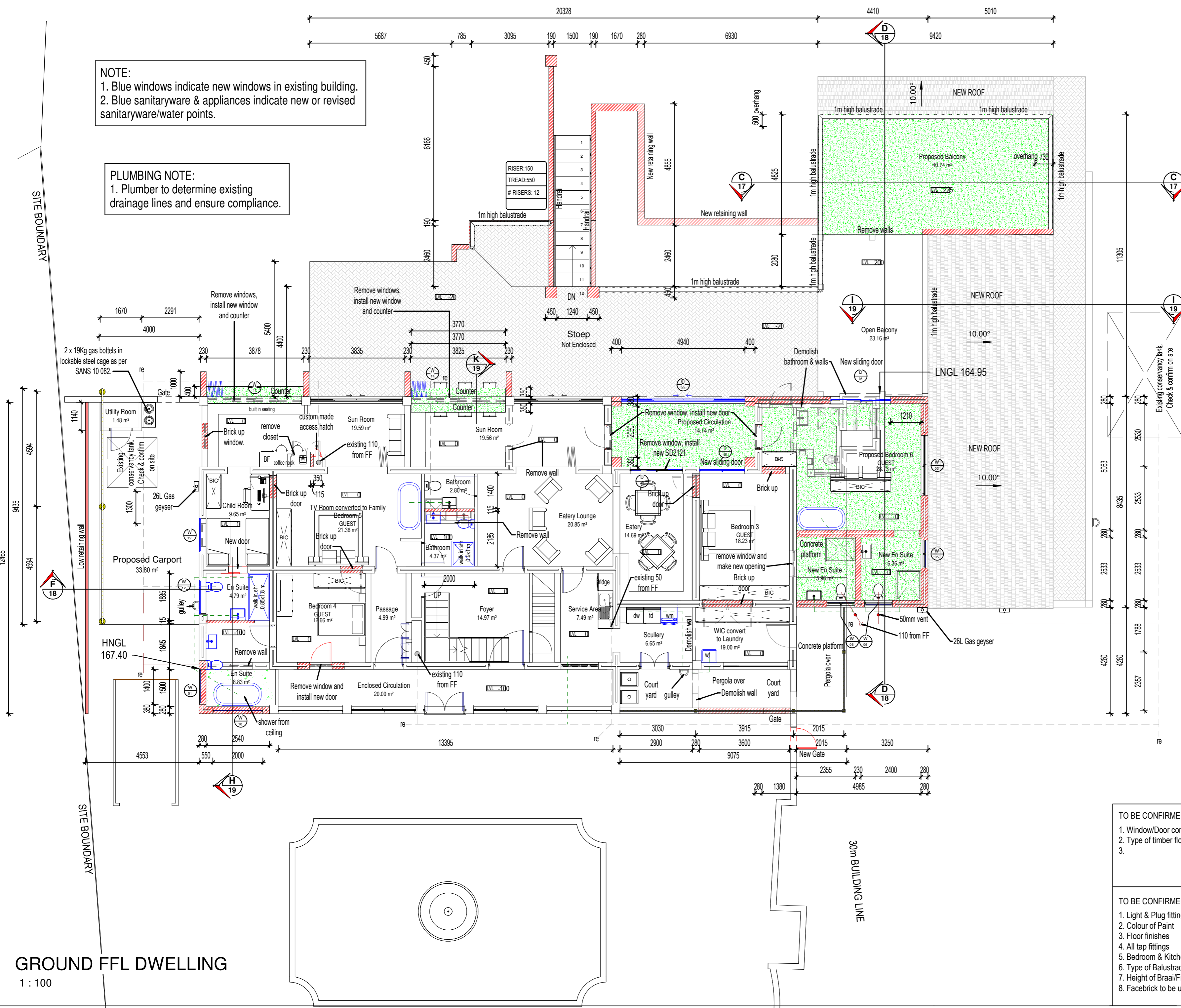
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
 JOHAN LOEWYCK SERPONTEN GERICKE
 18:51 PM (Africa/Johannesburg) on 21 Sep 2025

TO BE CONFIRMED WITH CLIENT:

- Window/Door configurations
- Type of timber floor covering
-

TO BE CONFIRMED BY CLIENT:

- Light & Plug fittings
- Colour of Paint
- Floor finishes
- All tap fittings
- Bedroom & Kitchen cupboard designs
- Type of Balustrades
- Height of Braai/Fireplace
- Facebook to be used

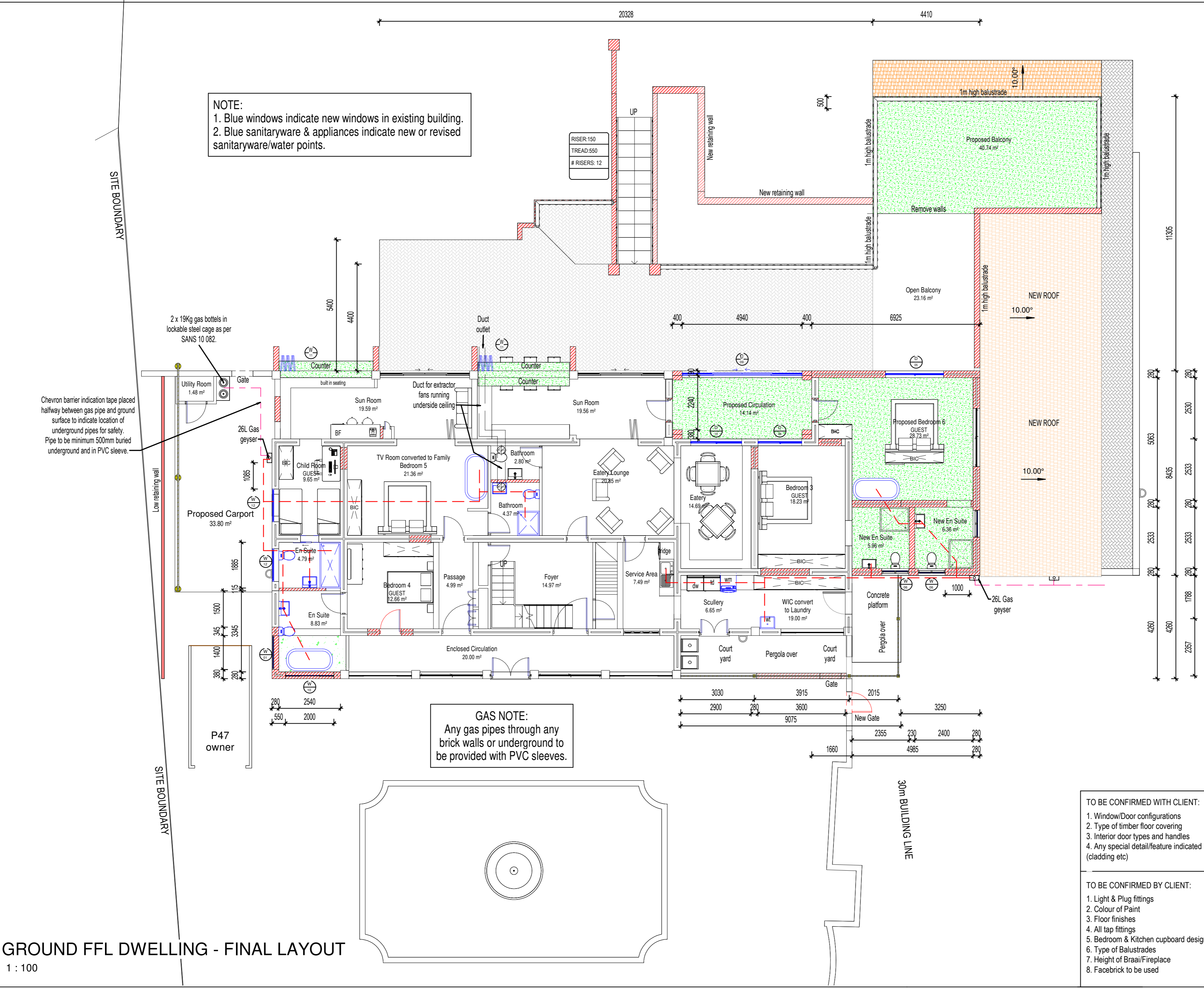


GROUND FFL DWELLING
 1 : 100

GROUND FFL DWELLING - FINAL LAYOUT
1 : 100

NOTE:
1. Blue windows indicate new windows in existing building.
2. Blue sanitaryware & appliances indicate new or revised sanitaryware/water points.

RISER:150
TREAD:550
RISERS: 12



GAS NOTE:
Any gas pipes through any brick walls or underground to be provided with PVC sleeves.

IMPORTANT NOTE:
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!
1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
GROUND FLOOR FINAL LAYOUT

SHEET FORMAT: A2
OCCUPATION: A1 & H5

SCALE: As indicated
DRAWING #: 938/TH/24

PAGE #: 6

DRAWING DATE: 19 FEB 2024
PLOT DATE: 2025-06-03 11:42:06 AM

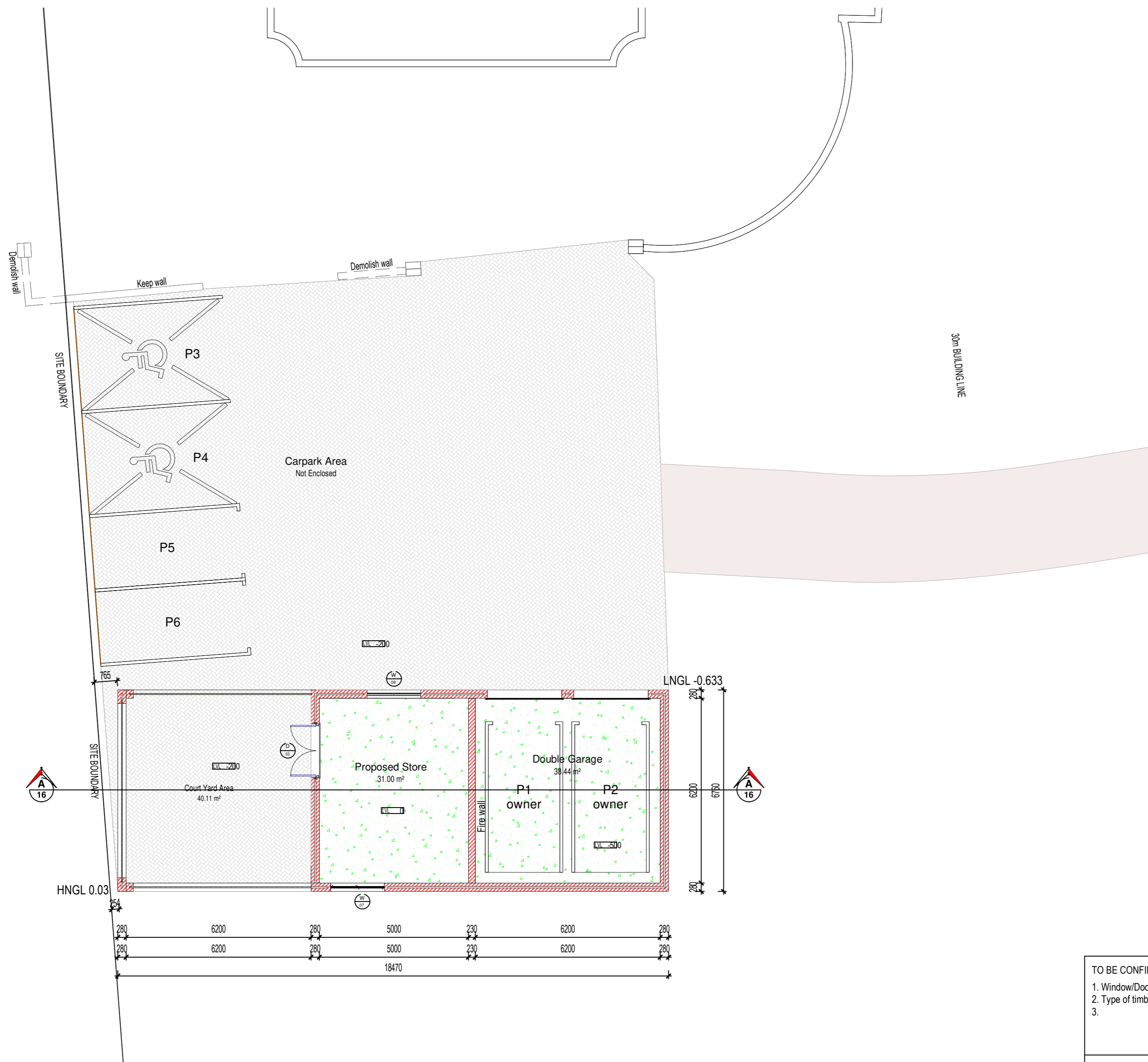
DRAWN: Johan Gericke
SIGNATURE: *Johan Gericke*

TO BE CONFIRMED WITH CLIENT:
1. Window/Door configurations
2. Type of timber floor covering
3. Interior door types and handles
4. Any special detail/feature indicated (cladding etc)

TO BE CONFIRMED BY CLIENT:
1. Light & Plug fittings
2. Colour of Paint
3. Floor finishes
4. All tap fittings
5. Bedroom & Kitchen cupboard designs
6. Type of Balustrades
7. Height of Braai/Fireplace
8. Facebrick to be used

GERICKE ARCHITECTURE
www.gericke-architecture.co.za
info@gericke-architecture.co.za
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PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
JOHAN LOEWYCK SERFONTEIN GERICKE
18:51 PM (Africa/Johannesburg) on 21 Sep 2025



LEGEND:

█	New Brickwork
█	New Timberwork
█	New Steel Elements
█	New Foundation/ Concrete work
	Existing buildings/structures
	Demolished work
█	New Fire Protection Elements

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
 GROUND FLOOR LAYOUT OUTBUILDING

SHEET FORMAT: A2	OCCUPATION: A1 & H5
SCALE: As indicated	DRAWING #: 938/TH/24
PAGE #: 7	DRAWING DATE: 19 FEB 2024
DRAWING DATE: 19 FEB 2024	PLOT DATE: 2025-06-03 11:42:06 AM

- TO BE CONFIRMED WITH CLIENT:**
1. Window/Door configurations
 2. Type of timber floor covering
 - 3.

DRAWN:
Johan Gericke

SIGNATURE:
Johan Gericke

- TO BE CONFIRMED BY CLIENT:**
1. Light & Plug fittings
 2. Colour of Paint
 3. Floor finishes
 4. All tap fittings
 5. Bedroom & Kitchen cupboard designs
 6. Type of Balustrades
 7. Height of Braai/Fireplace
 8. Facebrick to be used

GERICKE ARCHITECTURE

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JOHAN LODEWYCK SERFONTEIN GERICKE

18:51 PM (Africa/Johannesburg) on 21 Sep 2025

GROUND FFL OUTBUILDING
 1 : 100

SITE BOUNDARY

NOTE:
 1. Blue windows indicate new windows in existing building.
 2. Blue sanitaryware & appliances indicate new or revised sanitaryware/water points.

LINES/PIPES:

- New Sewerage line Above Slab/Wall - 110mm PVC
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- - - New Stormwater Line
- New Gas line
- New Cold water line
- New Hot water line

PLUMBING WORK		GENERAL	
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GT	Grease trap	TA	To above
MH	Manhole	TB	To below
S	Sink		
WT	Wash Trough	IW	In wall
BT	Bidet	ISB	In surface bed
		USB	Under surface bed

LEGEND:

- █ New Brickwork
- █ New Timberwork
- █ New Steel Elements
- █ New Foundation/ Concrete work
- █ Existing buildings/structures
- █ Demolished work
- █ New Fire Protection Elements

PROJECT:
 PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
 FIRST FLOOR LAYOUT

SHEET FORMAT: A2
OCCUPATION: A1 & H5

SCALE: As indicated
DRAWING #: 938/TH/24

PAGE #: 8

DRAWING DATE: 19 FEB 2024
PLOT DATE: 2025-06-03 11:42:07 AM

DRAWN: Johan Gericke
SIGNATURE: *Johan Gericke*

ARCHITECTURE | GERICKE

www.gericke-architecture.co.za
 info@gericke-architecture.co.za
 Tel : 028 384 1659 Sel : 082 453 8554
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PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
 JOHAN LODEWYCK SERFONTEIN GERICKE

18:51 PM (Africa/Johannesburg) on 21 Sep 2025

PLUMBING NOTE:
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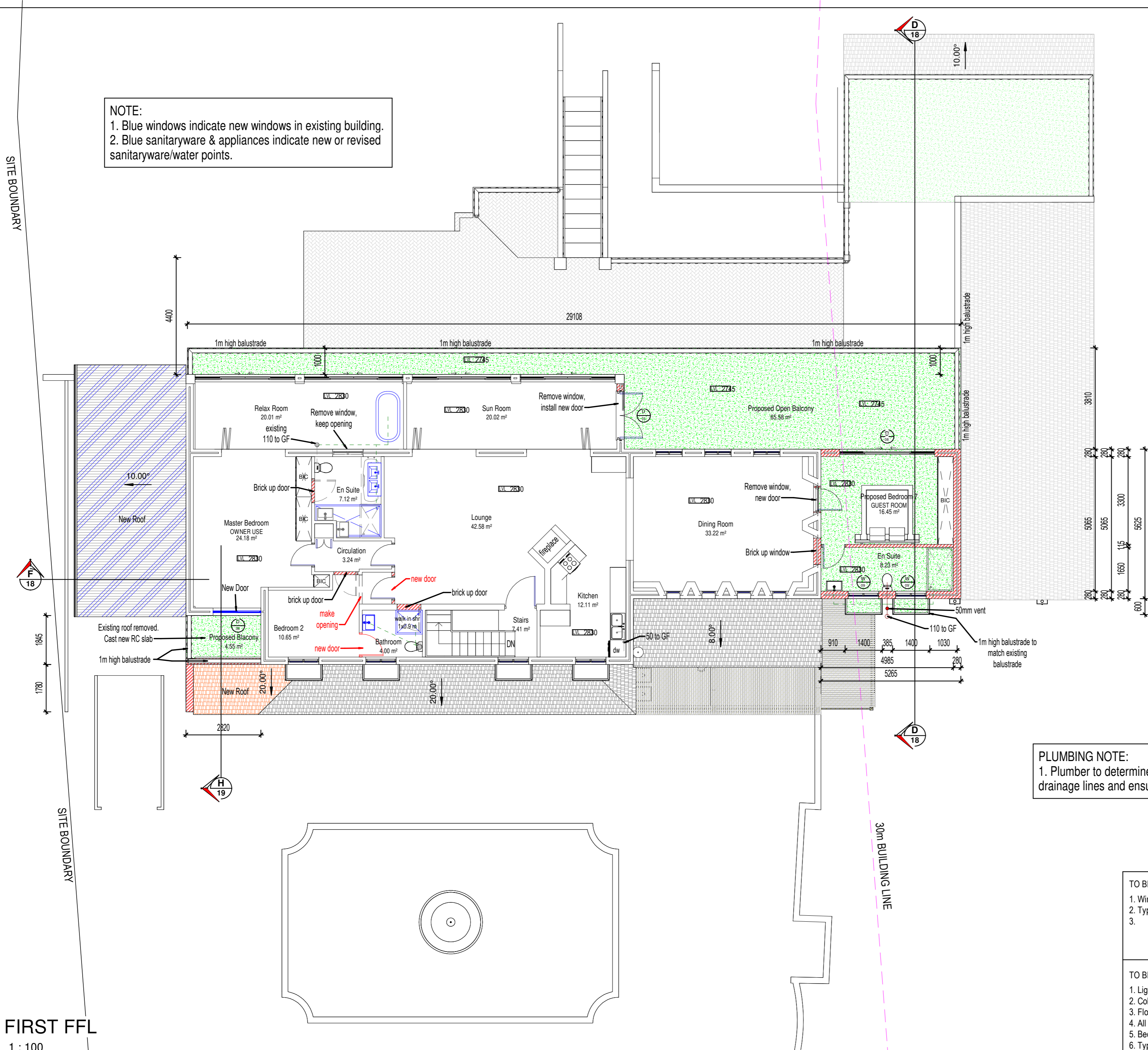
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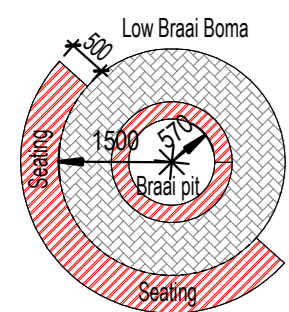
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-

TO BE CONFIRMED BY CLIENT:

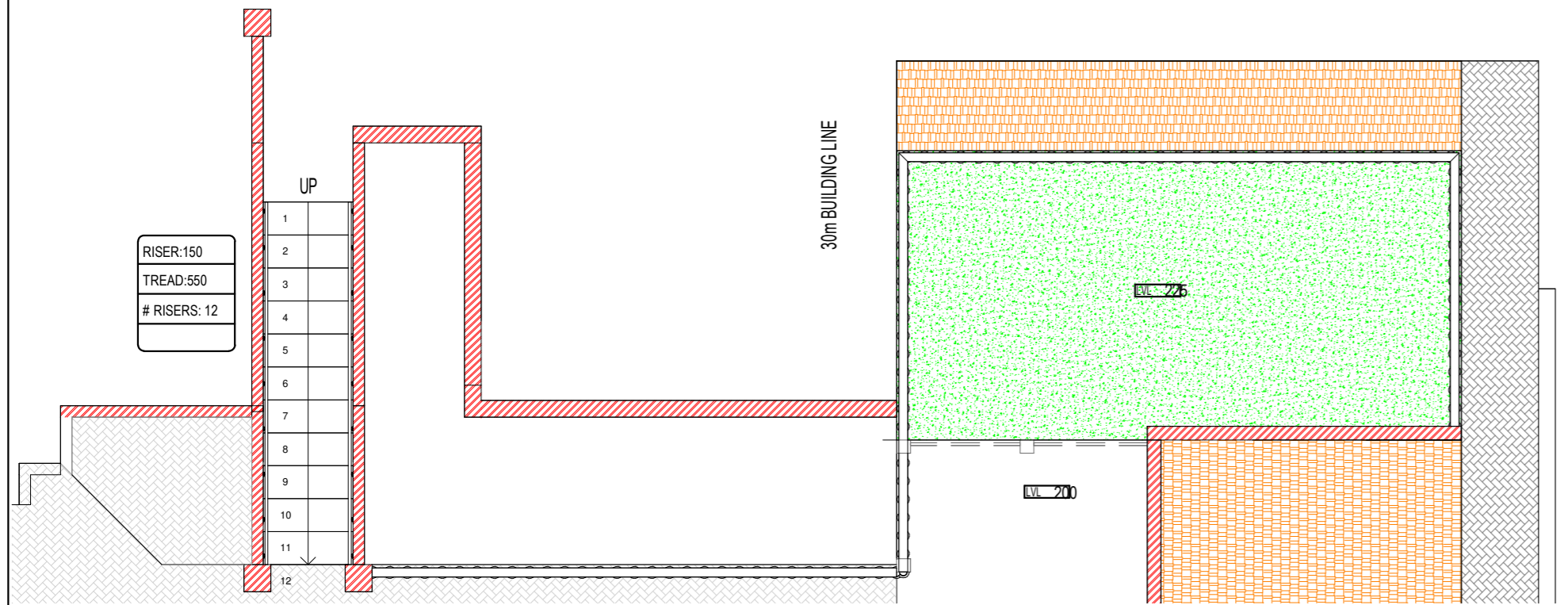
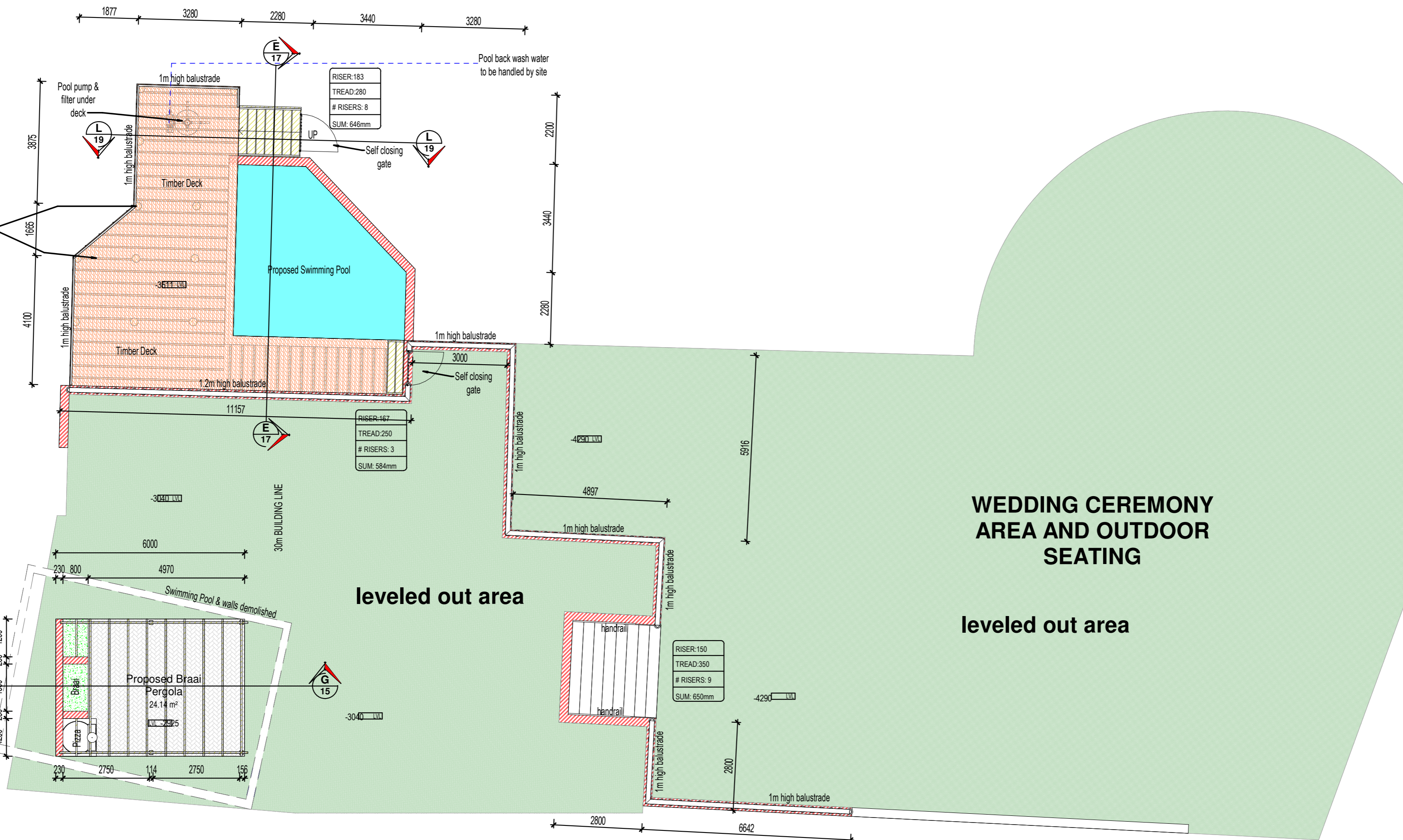
- Light & Plug fittings
- Colour of Paint
- Floor finishes
- All tap fittings
- Bedroom & Kitchen cupboard designs
- Type of Balustrades
- Height of Braai/Fireplace
- Facebook to be used

FIRST FFL
 1 : 100





Composite Decking boards fixed to timber beams spaced 450mm centres max fixed to timber posts as per SANS 10 082.



GROUND FFL - POOL & TERRACE
1 : 100

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

WEDDING CEREMONY AREA AND OUTDOOR SEATING

leveled out area

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
POOL AND TERRACE LAYOUT

SHEET FORMAT: **A2** OCCUPATION: **A1 & H5**

SCALE: **1 : 100** DRAWING #: **938/TH/24**

PAGE #: **10**

DRAWING DATE: **19 FEB 2024** PLOT DATE: **2025-06-03 11:42:15 AM**

DRAWN: **Johan Gericke** SIGNATURE: *Johan Gericke*

- TO BE CONFIRMED WITH CLIENT:
1. Window/Door configurations
 2. Type of timber floor covering
 3. Interior door types and handles
 4. Any special detail/feature indicated (cladding etc)

- TO BE CONFIRMED BY CLIENT:
1. Light & Plug fittings
 2. Colour of Paint
 3. Floor finishes
 4. All tap fittings
 5. Bedroom & Kitchen cupboard designs
 6. Type of Balustrades
 7. Height of Braai/Fireplace
 8. Facebook to be used

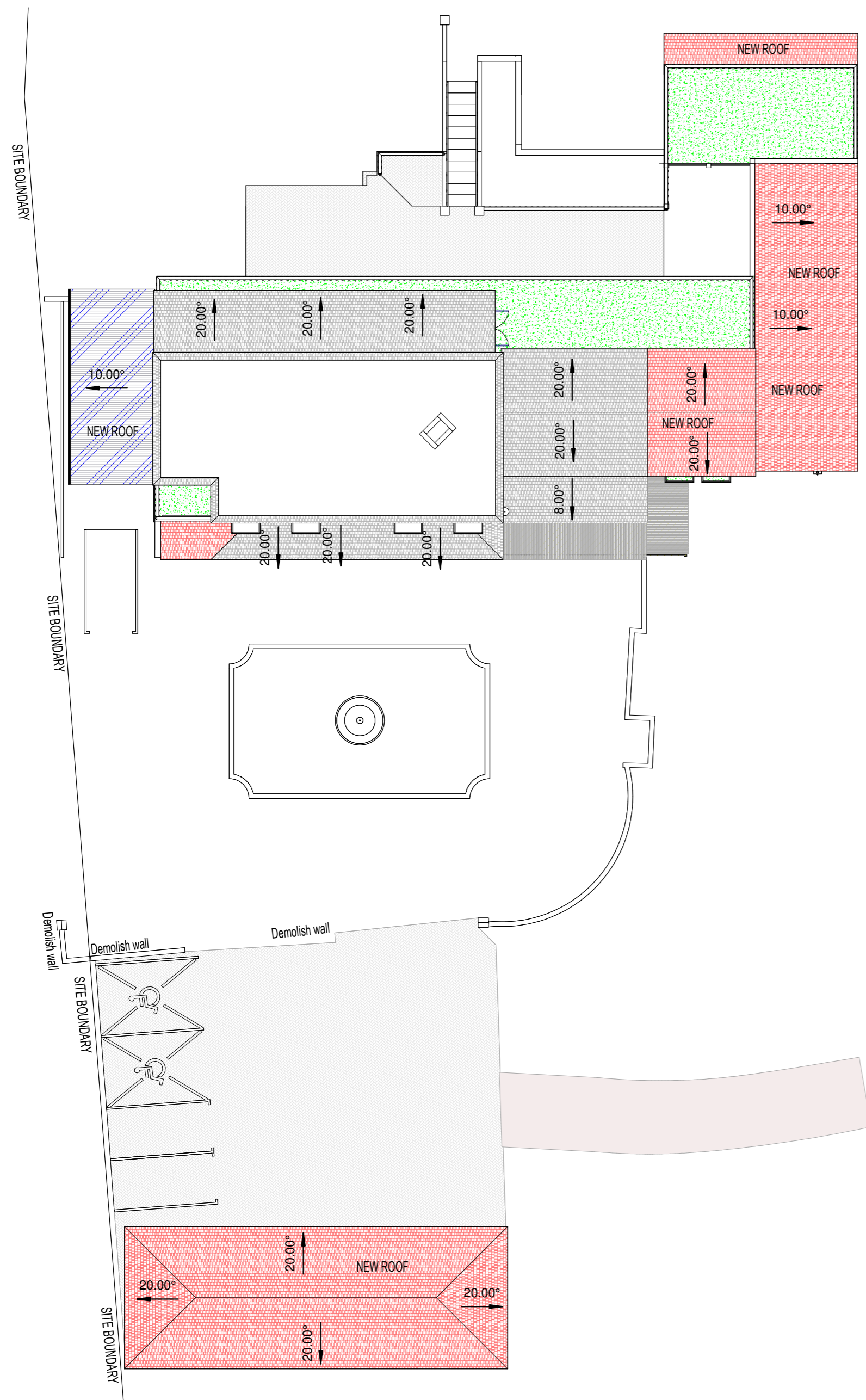
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Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

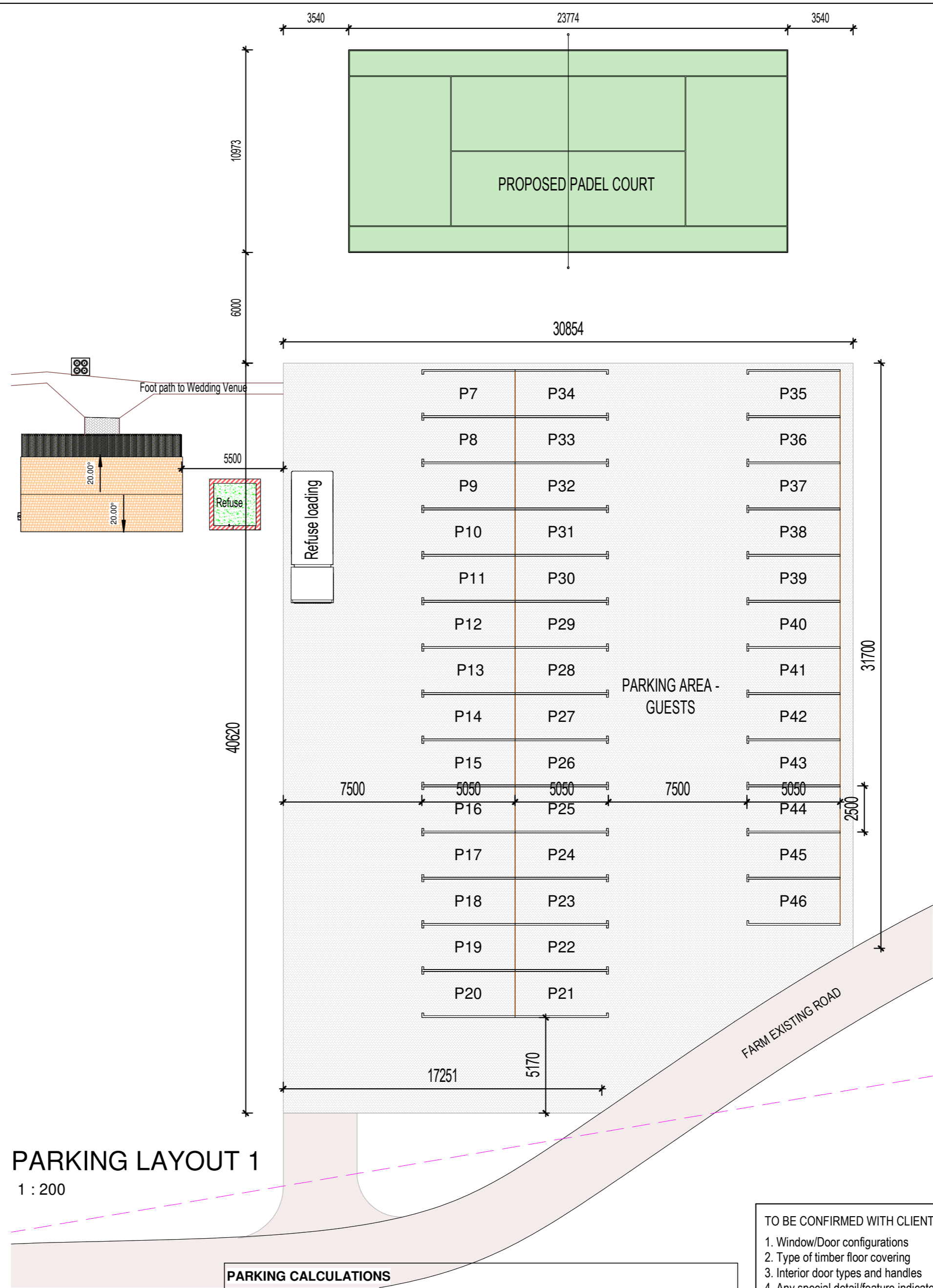
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

JOHAN LOEWYCK SERFONTEIN GERICKE

18:51 PM (Africa/Johannesburg) on 21 Sep 2025



SITE PLAN - ROOF PLAN
1 : 200



PARKING LAYOUT 1
1 : 200

PARKING CALCULATIONS			
BUILDING USAGE:	GENERAL BUSINESS		
Requirement acc Zoning Scheme:			
Guest House	- 2 bays per establishment (owner/manager) - 1 bay per bedroom (2 persons per bedroom)	Owner Dwelling First Floor 4 bedrooms Ground Floor	= 2 = 4
	- 1 bay per bedroom (2 persons per bedroom)	4 Single Room Pods	= 4
Place of Assembly	- 1 bay per 4 seats	Approx 120 people	= 30
REQUIRED PARKINGS:			= 40
PARKING PROVIDED:	45 x Parking bays 2 x Disabled bays included		

- TO BE CONFIRMED WITH CLIENT:**
- Window/Door configurations
 - Type of timber floor covering
 - Interior door types and handles
 - Any special detail/feature indicated (cladding etc)

- TO BE CONFIRMED BY CLIENT:**
- Light & Plug fittings
 - Colour of Paint
 - Floor finishes
 - All tap fittings
 - Bedroom & Kitchen cupboard designs
 - Type of Balustrades
 - Height of Braai/Fireplace
 - Facebrick to be used

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

- ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
- ISOTHERM INSULATION IN ROOF VOID
- SOLAR GEYSER/GAS GEYSER

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
ROOF PLAN & PARKING LAYOUT

SHEET FORMAT: **A2** OCCUPATION: **A1 & H5**

SCALE: **As indicated** DRAWING #: **938/TH/24**

PAGE #: **11**

DRAWING DATE: **19 FEB 2024** PLOT DATE: **2025-06-03 11:42:16 AM**

DRAWN: **Johan Gericke** SIGNATURE: *Johan Gericke*

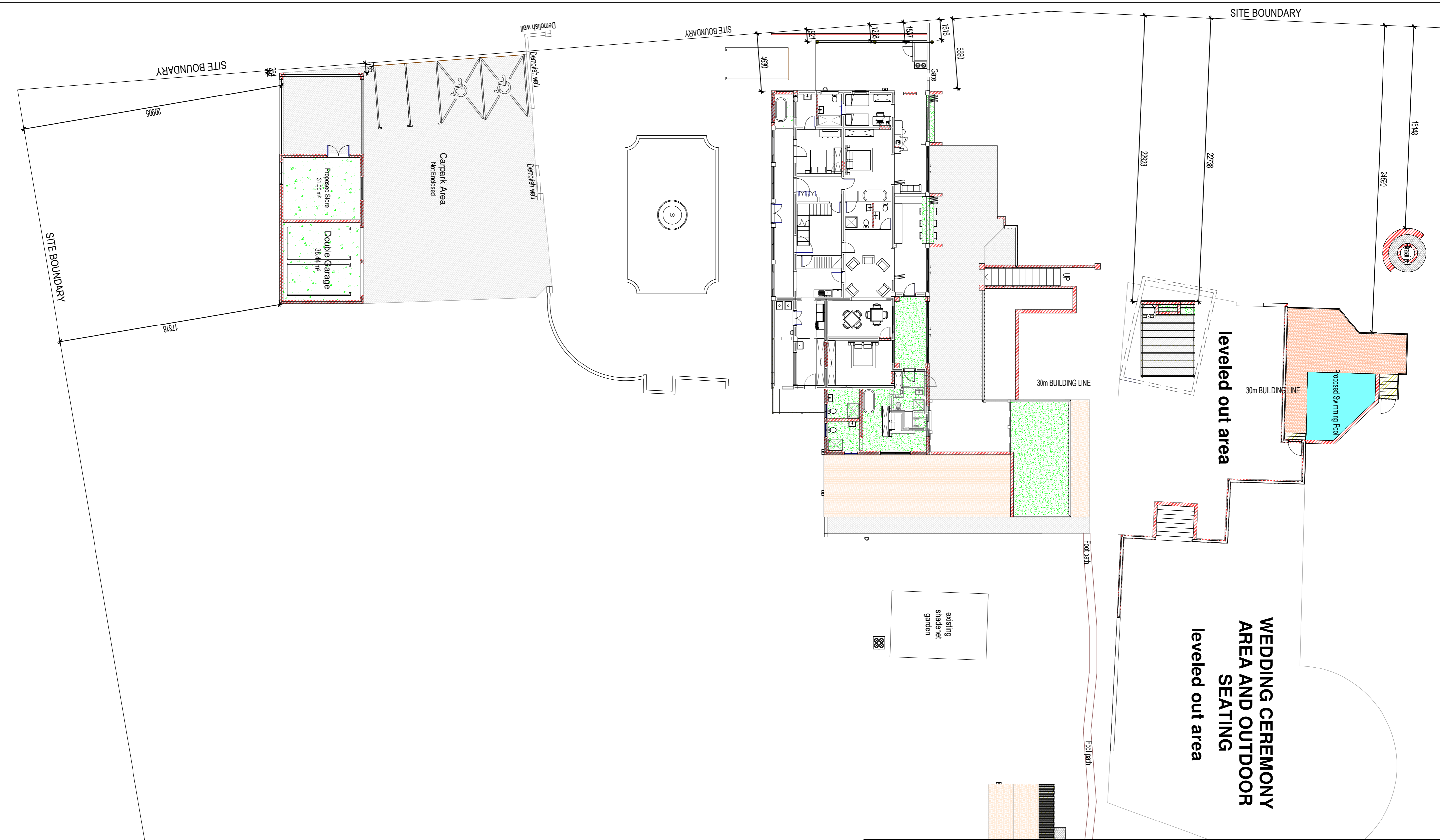
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Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

JOHAN LODEWYCK SERFONTAIN GERICKE

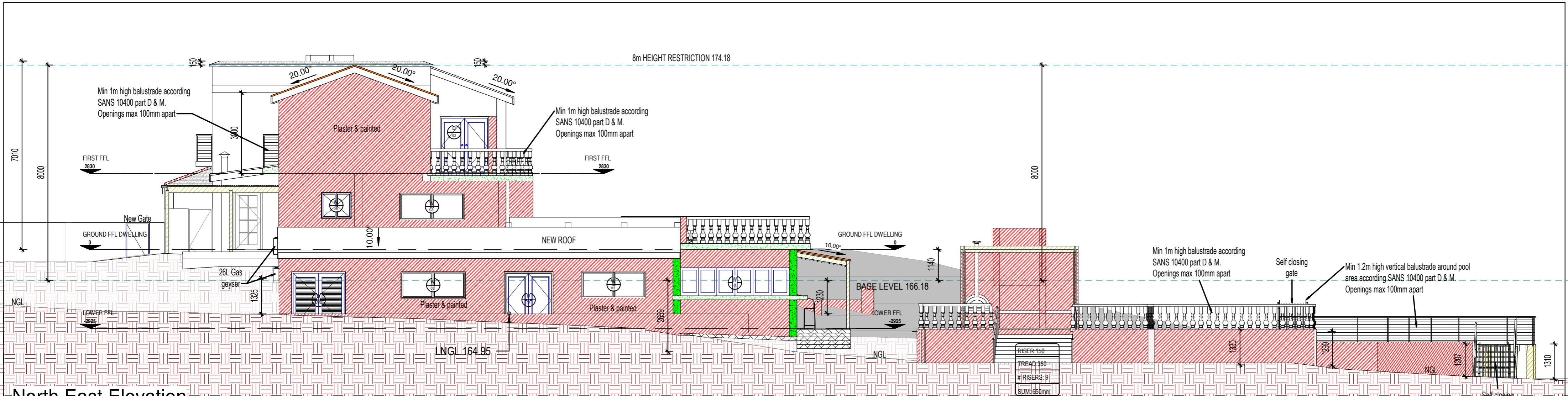
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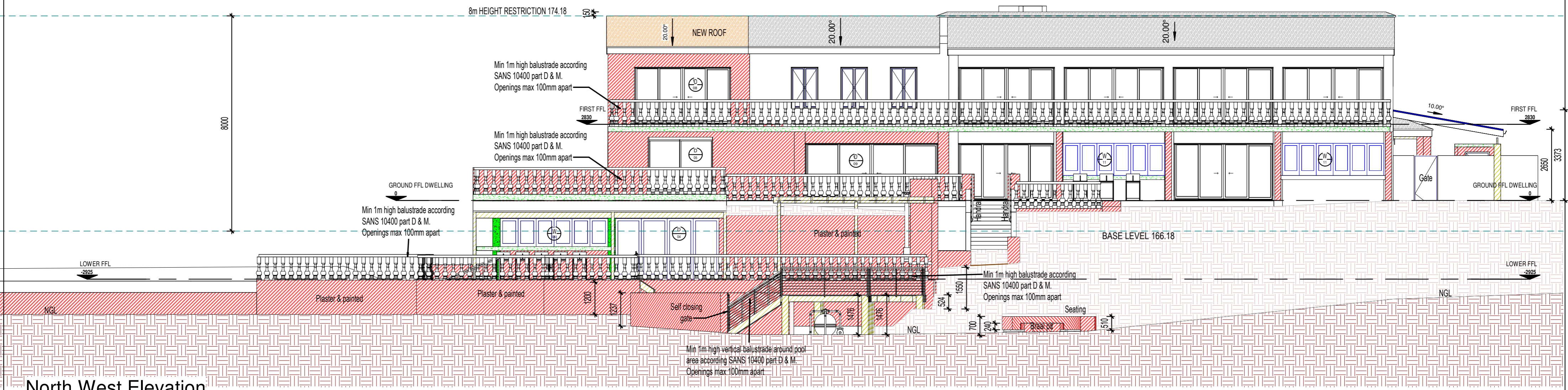
GROUND FFL - DEPARTURES

1 : 200



SHEET FORMAT: A2	OCCUPATION: A1 & H5	PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.	DRAWN: Johan Gericke	SIGNATURE:
SCALE: 1 : 200	DRAWING #: 938/TH/24	DESCRIPTION: DEPARTURES LAYOUT	 www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught	
PAGE #: 12	PLOT DATE: 2025-06-03 11:42:19 AM			
DRAWING DATE: 19 FEB 2024			 JOHAN LODEWYCK SERFONTAIN GERICKE <small>18:51 PM (Africa/Johannesburg) on 21 Sep 2023</small>	

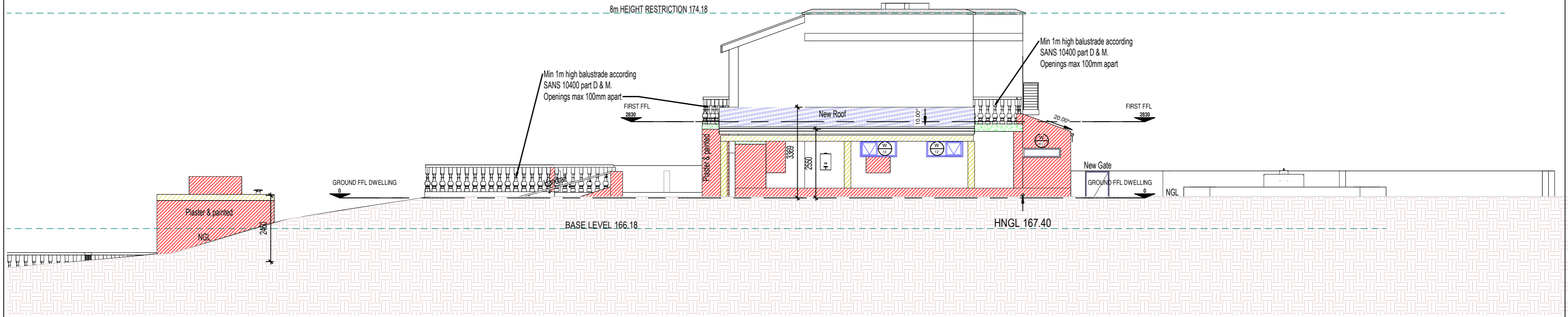


North East Elevation
1 : 100

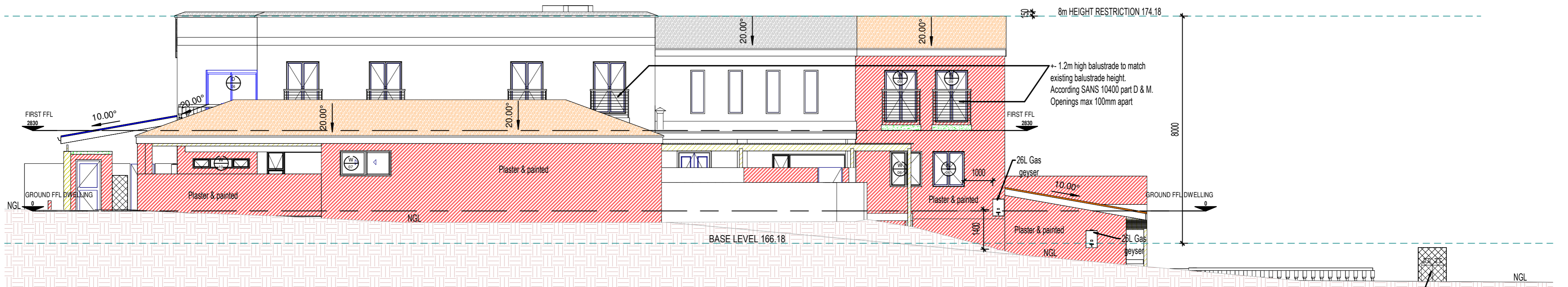


North West Elevation
1 : 100

SHEET FORMAT: A2	OCCUPATION: A1 & H5	PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.	DRAWN: Johan Gericke	SIGNATURE: <i>Johan Gericke</i>
SCALE: 1 : 100	DRAWING #: 938/TH/24	DESCRIPTION: ELEVATIONS	 www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught	
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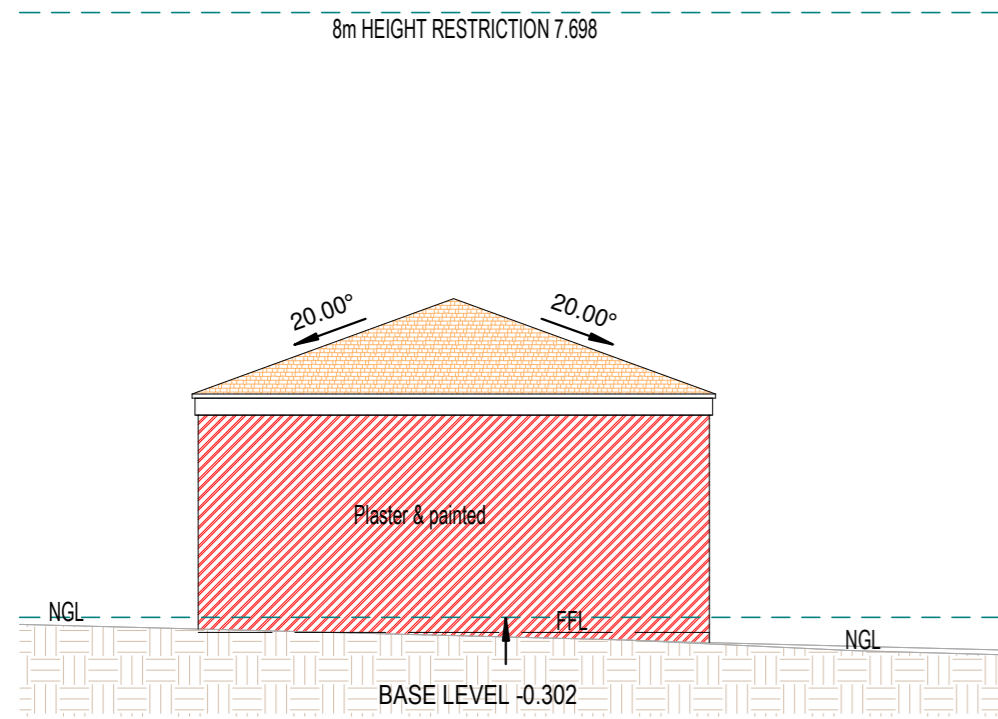


South West Elevation
1 : 100

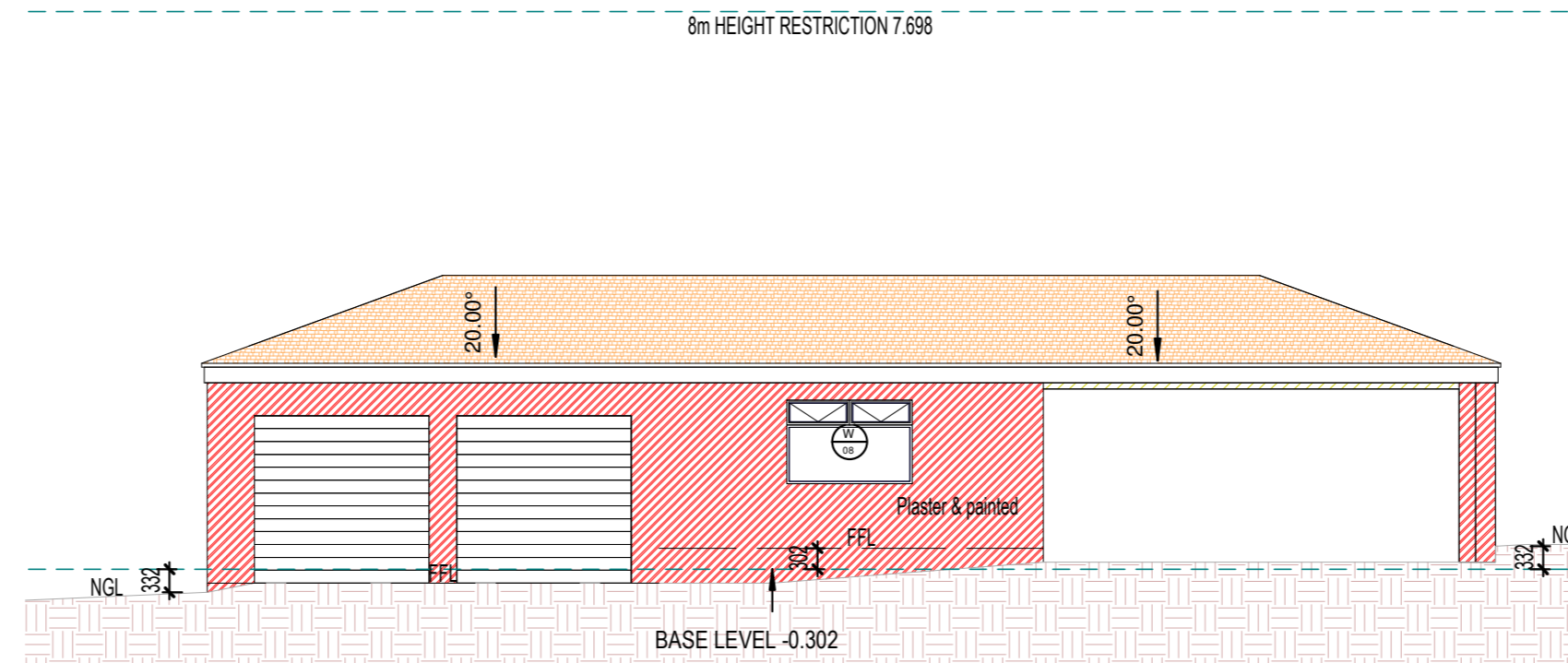


South East Elevation
1 : 100

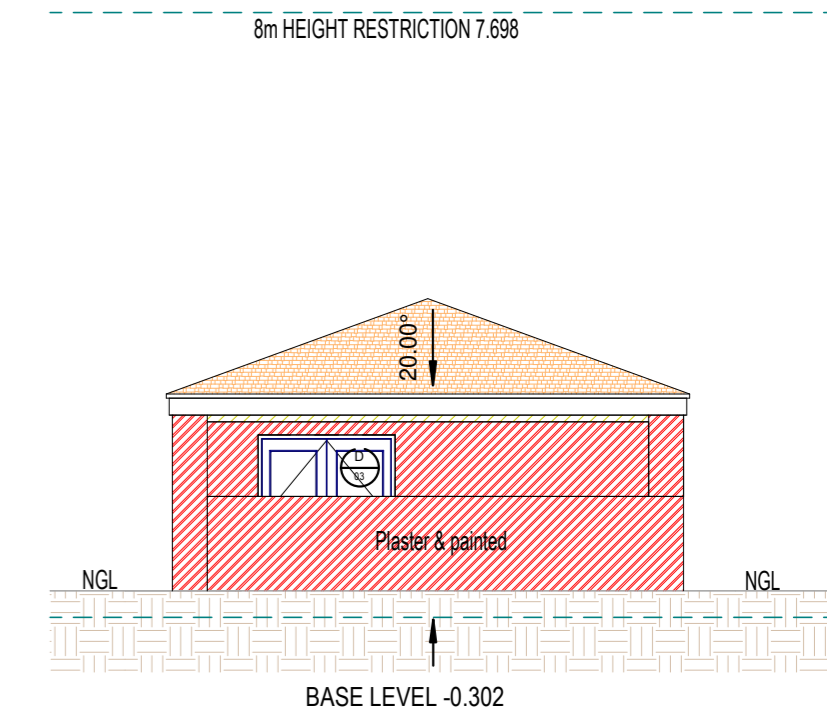
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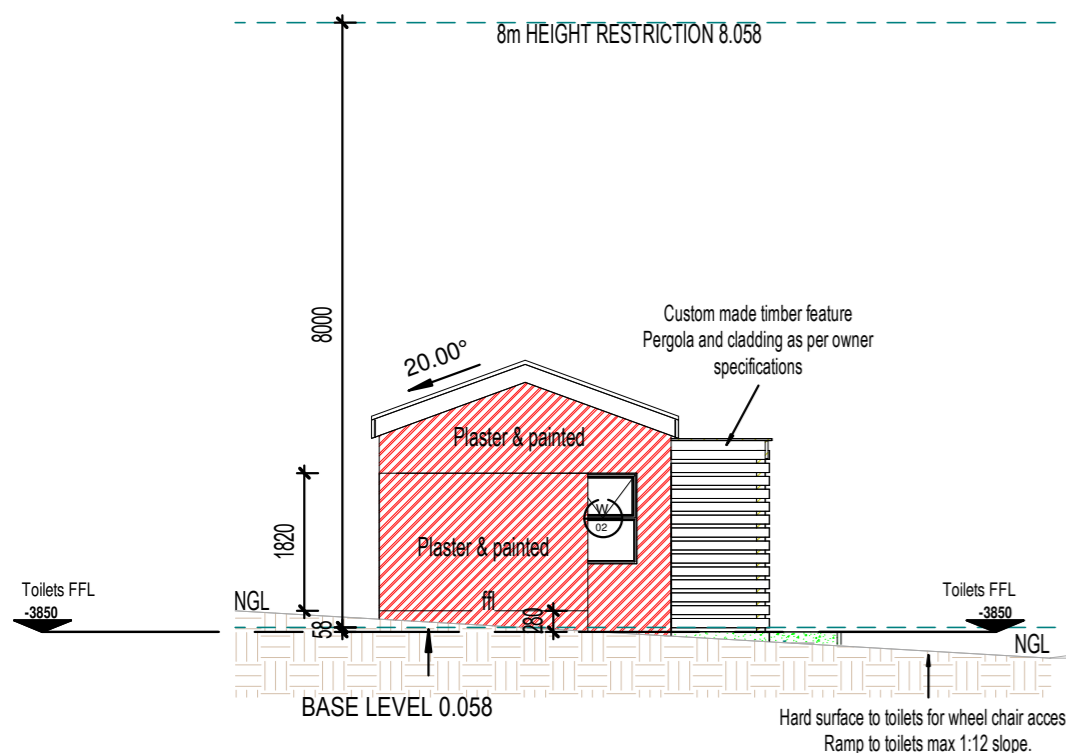
NE Elevation Outbuilding
1 : 100



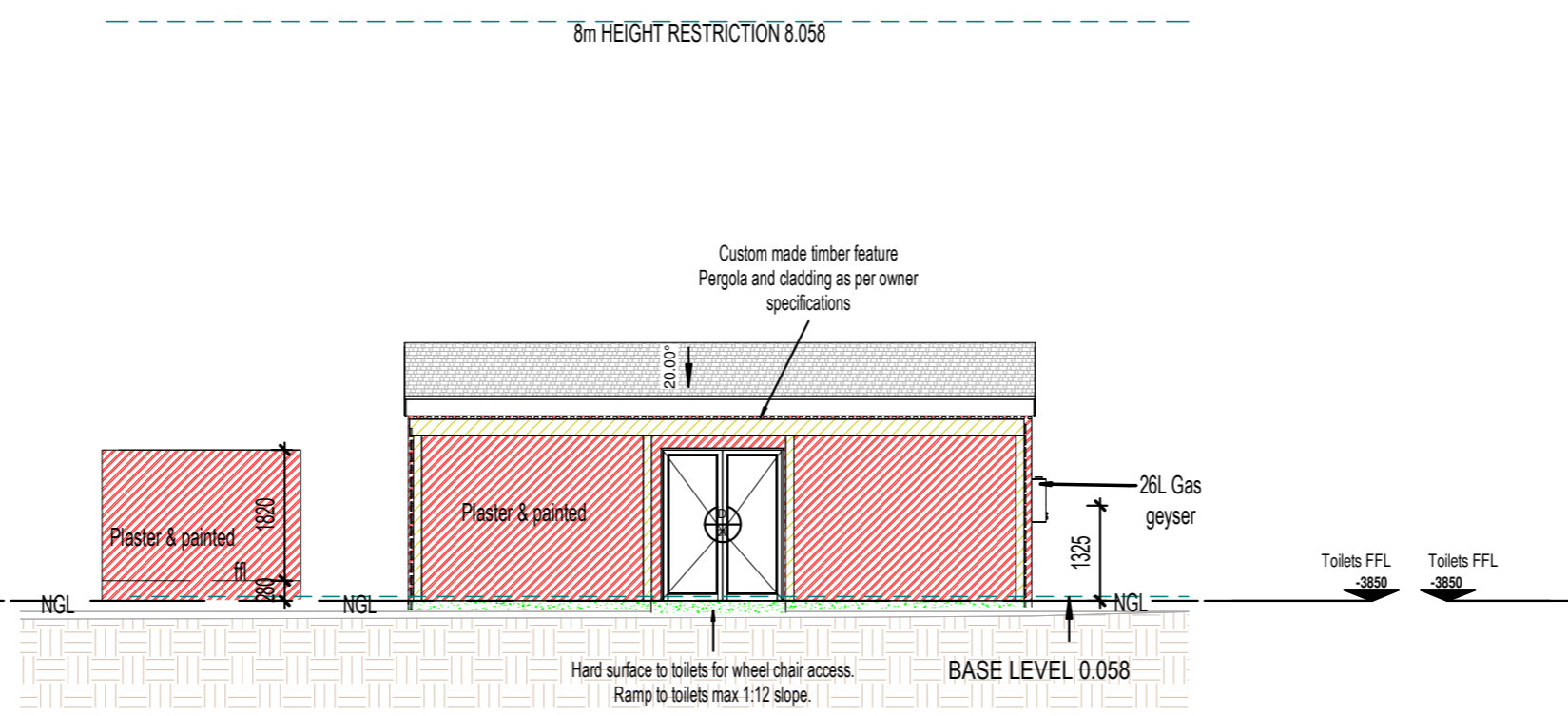
NW Elevation Outbuilding
1 : 100



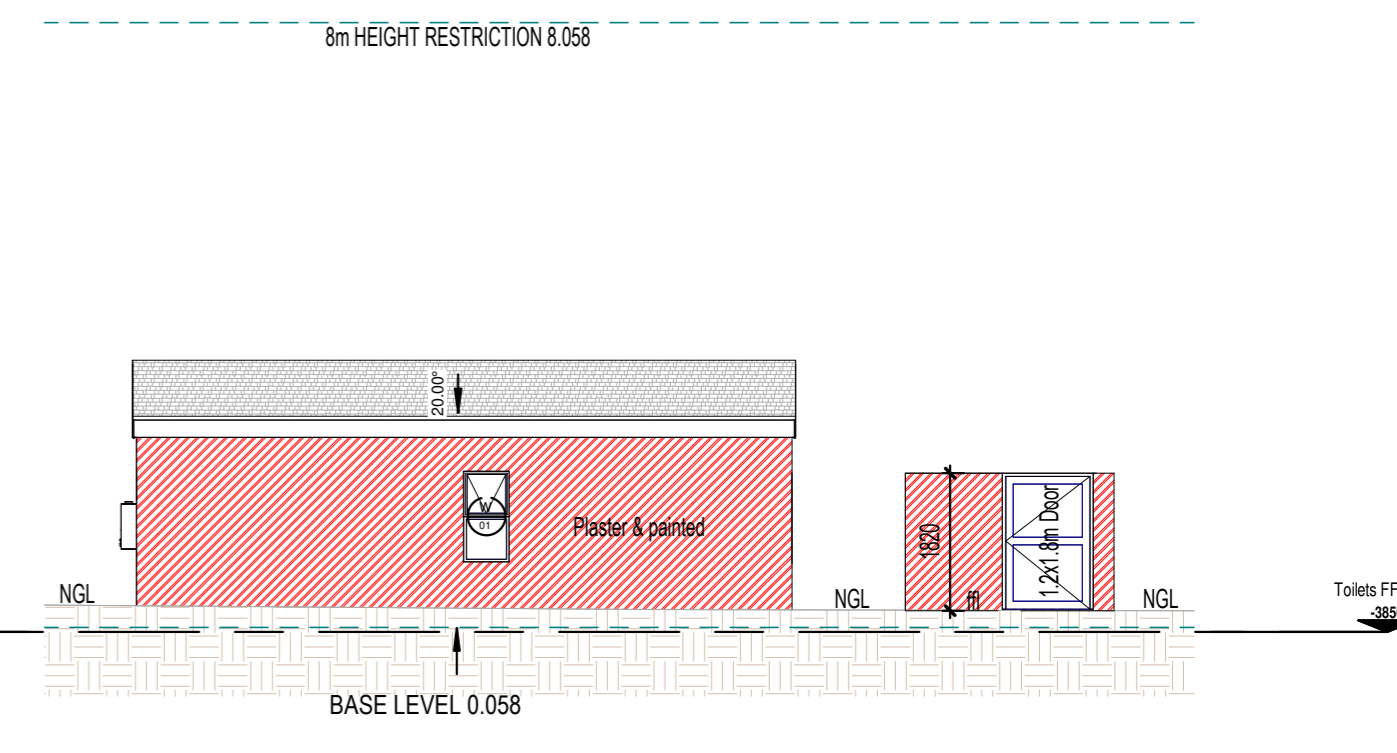
SW Elevation Outbuilding
1 : 100



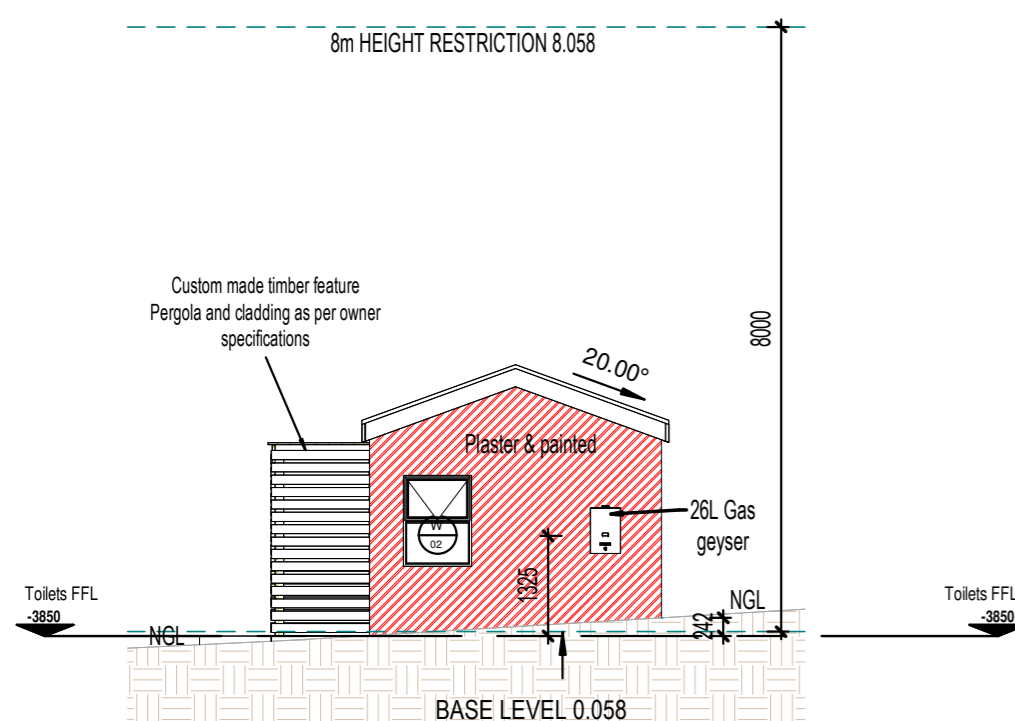
NE Elevation Toilets
1 : 100



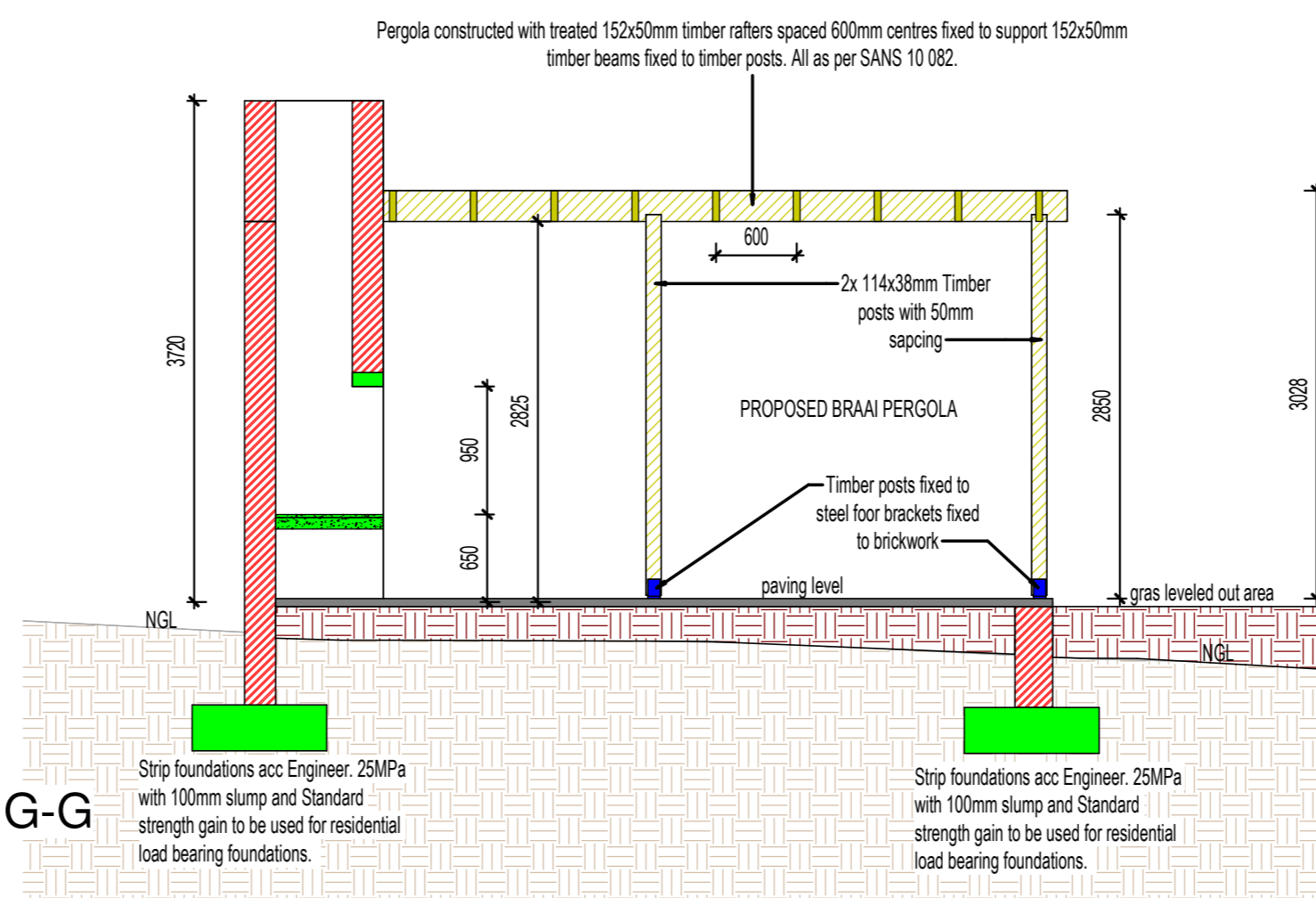
NW Elevation Toilets
1 : 100



SE Elevation Toilets
1 : 100



SW Elevation Toilets
1 : 100



Section G-G
1 : 50

TO BE CONFIRMED WITH CLIENT:

- Window/Door configurations
- Type of timber floor covering
-

TO BE CONFIRMED BY CLIENT:

- Light & Plug fittings
- Colour of Paint
- Floor finishes
- All tap fittings
- Bedroom & Kitchen cupboard designs
- Type of Balustrades
- Height of Braai/Fireplace
- Facebrick to be used

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
ELEVATIONS 3

SHEET FORMAT: A2	OCCUPATION: A1 & H5
SCALE: As indicated	DRAWING #: 938/TH/24
PAGE #: 15	PLOT DATE: 2025-06-03 11:42:26 AM
DRAWING DATE: 19 FEB 2024	SIGNATURE: <i>Johan Gericke</i>

DRAWN:
Johan Gericke

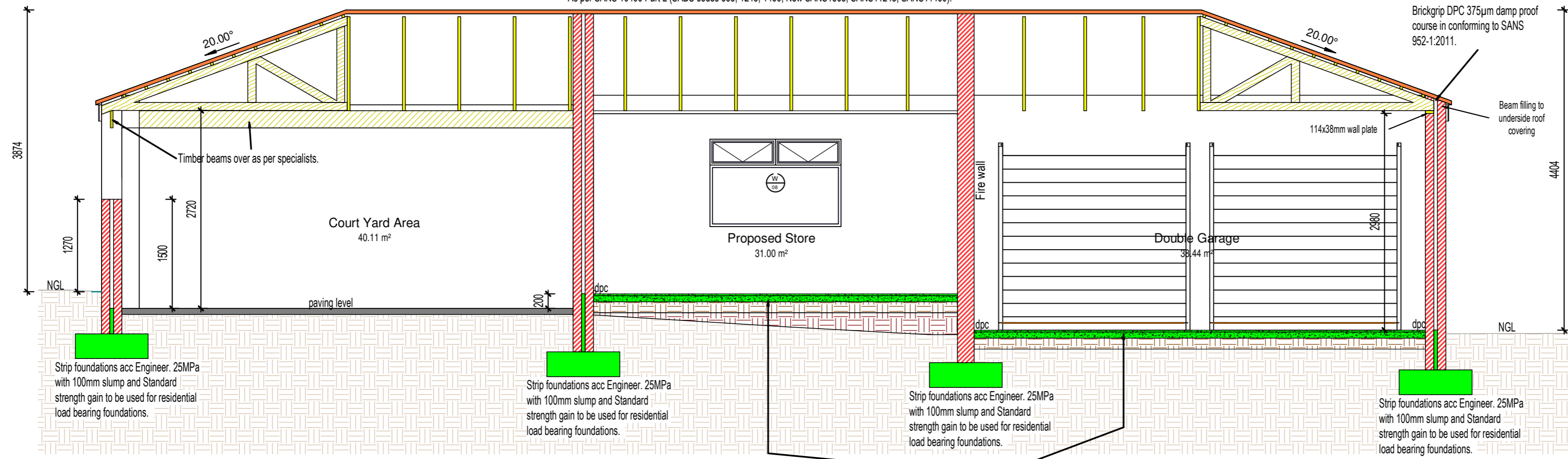
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ARCHITECTURE |
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info@gericke-architecture.co.za
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

Check on site all heights and levels.
Ground levels indicated other than
Land surveyor values are estimated.

BMI Coverland Cupola Through Colour Terracotta concrete roof tiles (Code: 907041), size 420 x 330mm laid in straight bond with minimum 100mm headlap, fixed at a pitch of 20° with each tile fixed using non-corrosive nails to 38 x 38mm sawn softwood battens at maximum 320mm centres on single-sided aluminium foil radiant barrier with joints lapped 150mm, fixed over grade 5 SAP roof trusses (elsewhere specified) at 760mm centres and finished with 250mm wide Coverland Easyflash Connection strips to all abutments to be laid on 38 x 114mm SAP approved wallplate.

- Tile: Cupola
- Tile colour: Through Colour Terracotta
- Tile size: 420 x 330mm
- Guarantee: 30 year Functional Concrete Guarantee.

As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).



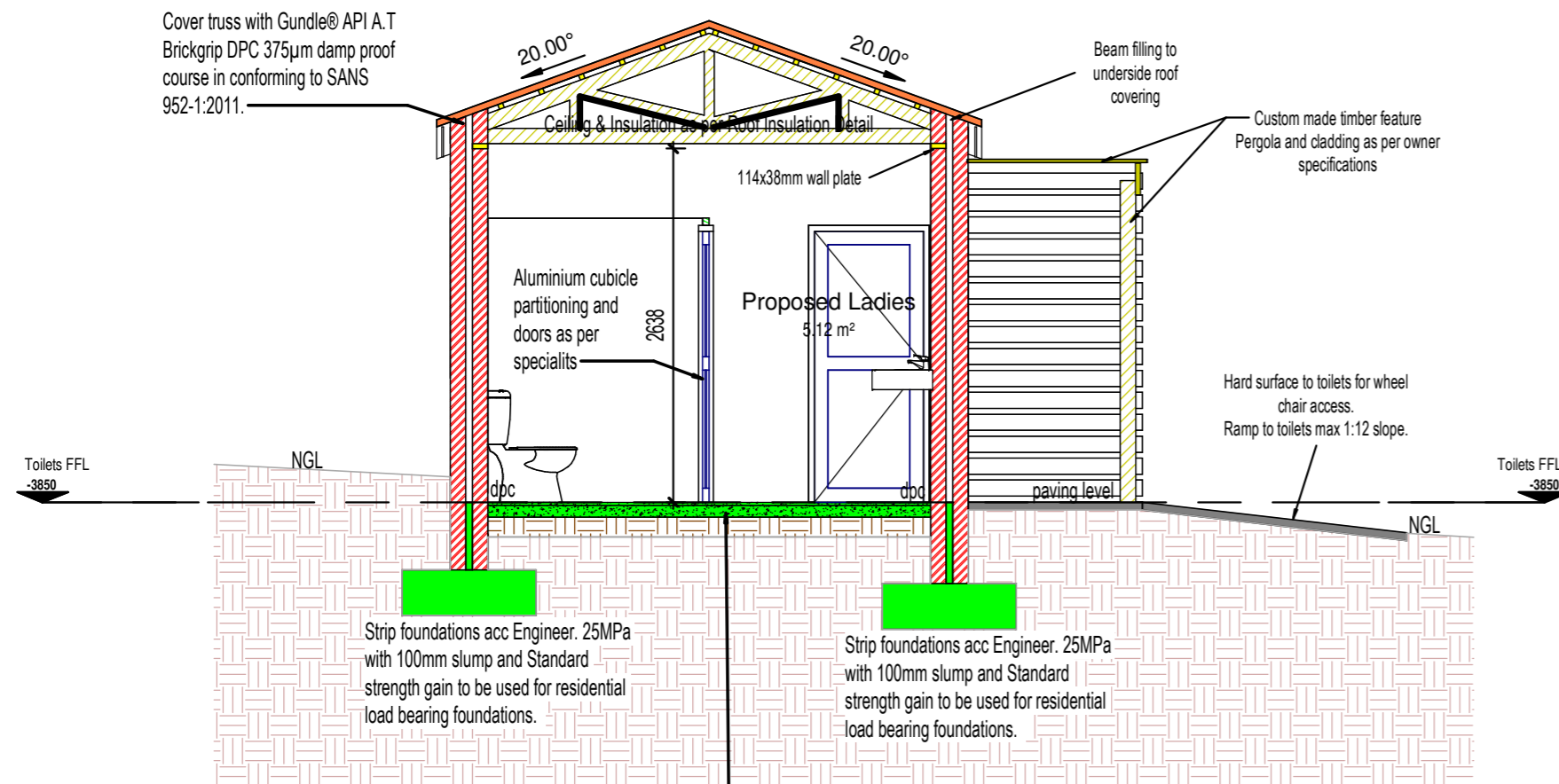
Section A-A
1 : 50

25mm Floor screed mix for concrete surface beds, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 3 parts sand in thickness as indicated to concrete surface beds.
Surebuild cement is to be manufactured in accordance with SANS 50197-1 on
85mm Concrete mix for slabs, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N); 3 parts sand and 3 parts 13mm - 19mm stone producing a strength of 20-29MPa using
60L water per 2 bags cement. Surebuild cement is to be manufactured in accordance with SANS 50197-1 on
Gundle® API A.T USB Green 250µm damp proof membrane under concrete surface beds conforming to SANS 952-1:2011 laid with minimum 150mm overlaps and sealed with Gunplas
pressure sensitive tape on well compacted core filling according engineer's satisfaction. All organic material to be removed.

IMPORTANT NOTE:
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!
1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

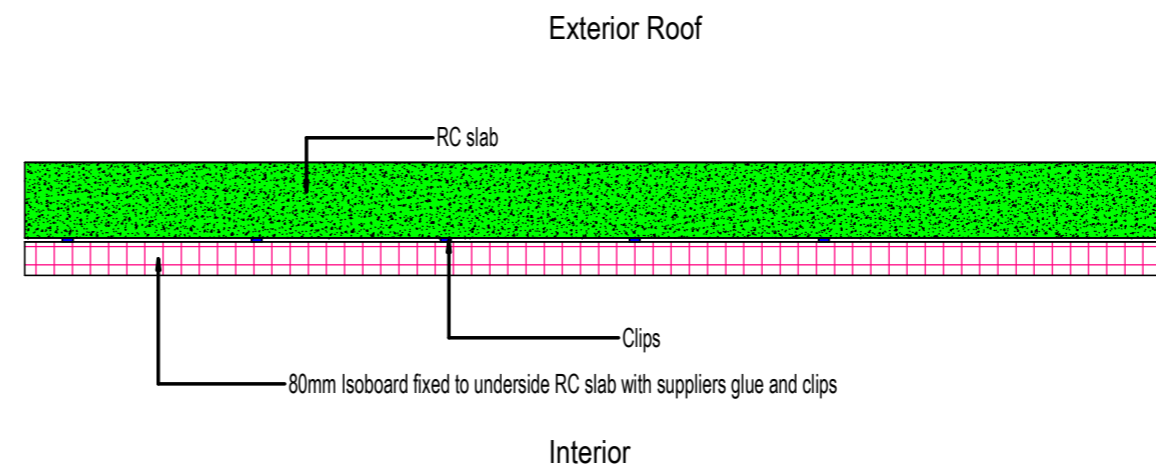
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- Tile: Cupola
 - Tile colour: Through Colour Terracotta
 - Tile size: 420 x 330mm
 - Guarantee: 30 year Functional Concrete Guarantee.
- As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).



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pressure sensitive tape on well compacted core filling according engineer's satisfaction. All organic material to be removed.

Section B-B
1 : 50



Concrete Roof Insulation :

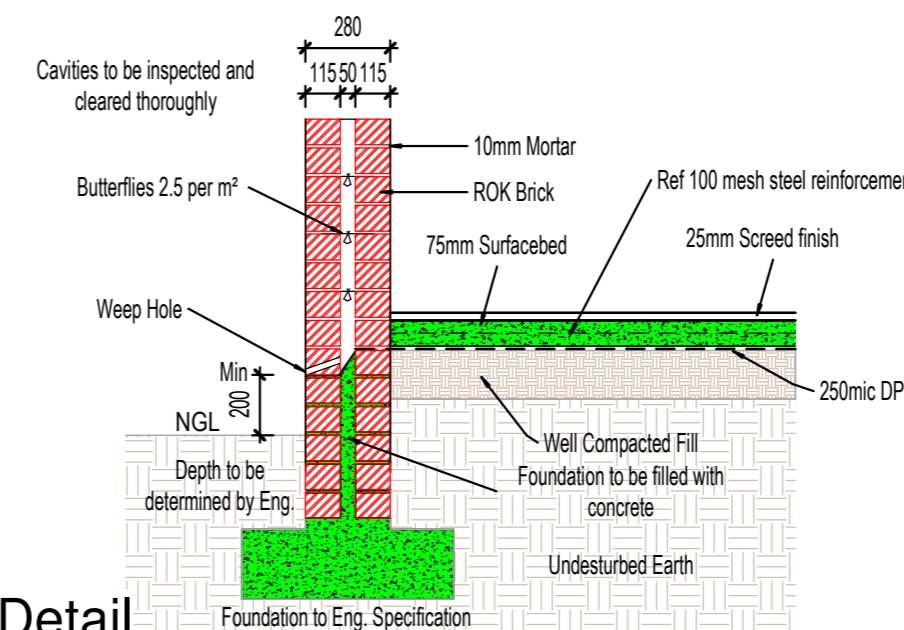
Material	Thickness	R-value
Outdoor air film	7m/s	0.03
25mm Screed		0.06
200mm Solid concrete		0.14
Isoboard (80mm)		3.33
Indoor air film (still air)		0.16
Total R-value		3.72

Direction of flow of heat for Zone 4 : Up
Min R-Value Needed : 3.7
Therefore insulation complies.

TO BE INSTALLED IN:
GROUND FLOOR - FOYER, STAIRCASE AREA

Underslab Insulation Detail
1 : 20

SPECIAL NOTE:
Engineer may alter/change specifications or materials as deemed fit.



Foundation Detail
1 : 25

- TO BE CONFIRMED WITH CLIENT:**
1. Window/Door configurations
 2. Type of timber floor covering
 3. Interior door types and handles
 4. Any special detail/feature indicated (cladding etc)

- TO BE CONFIRMED BY CLIENT:**
1. Light & Plug fittings
 2. Colour of Paint
 3. Floor finishes
 4. All tap fittings
 5. Bedroom & Kitchen cupboard designs
 6. Type of Balustrades
 7. Height of Braai/Fireplace
 8. Facebrick to be used

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
SECTIONS A-A, B-B

SHEET FORMAT:
A2 OCCUPATION:
A1 & H5

SCALE:
As indicated DRAWING #:
938/TH/24

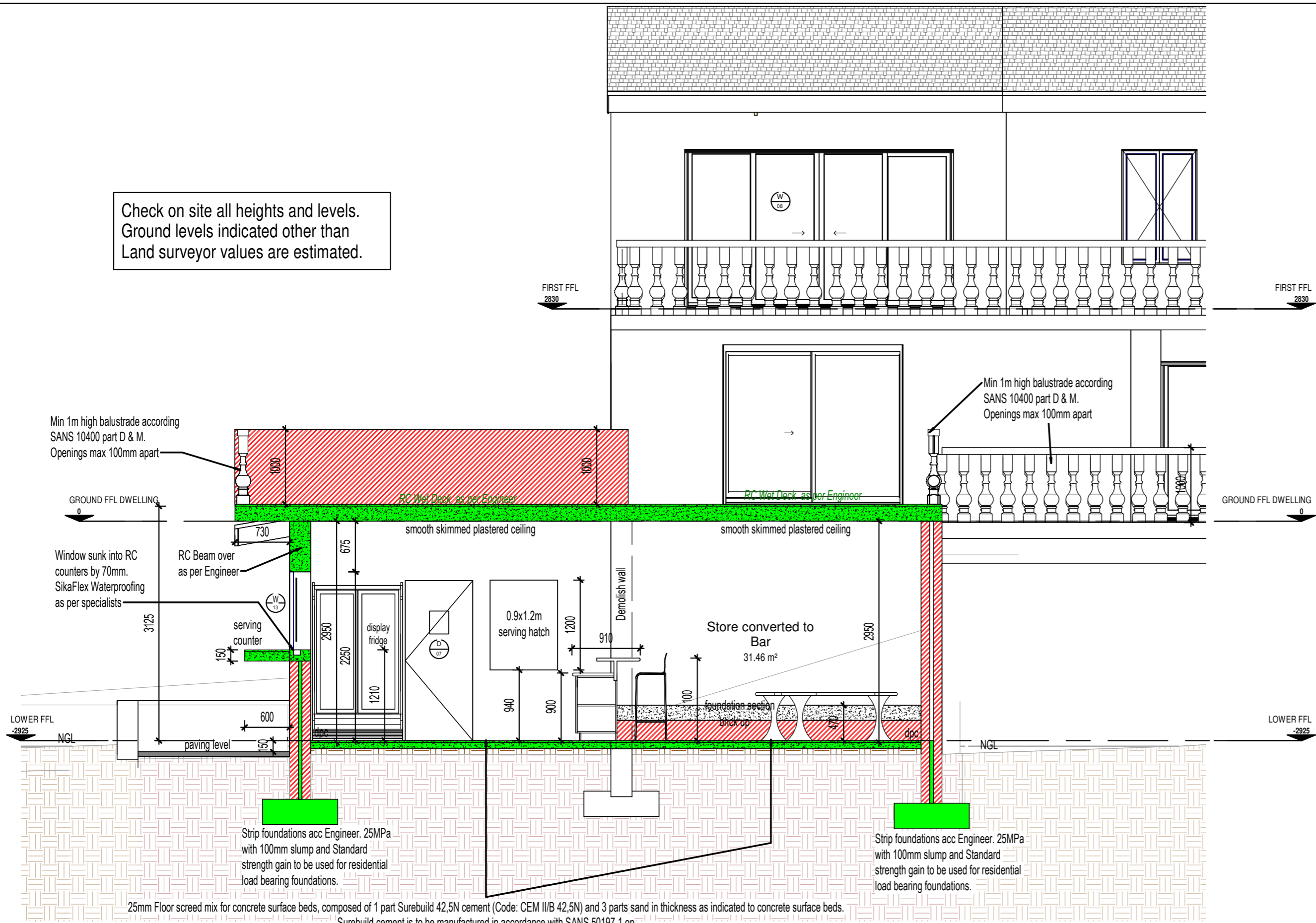
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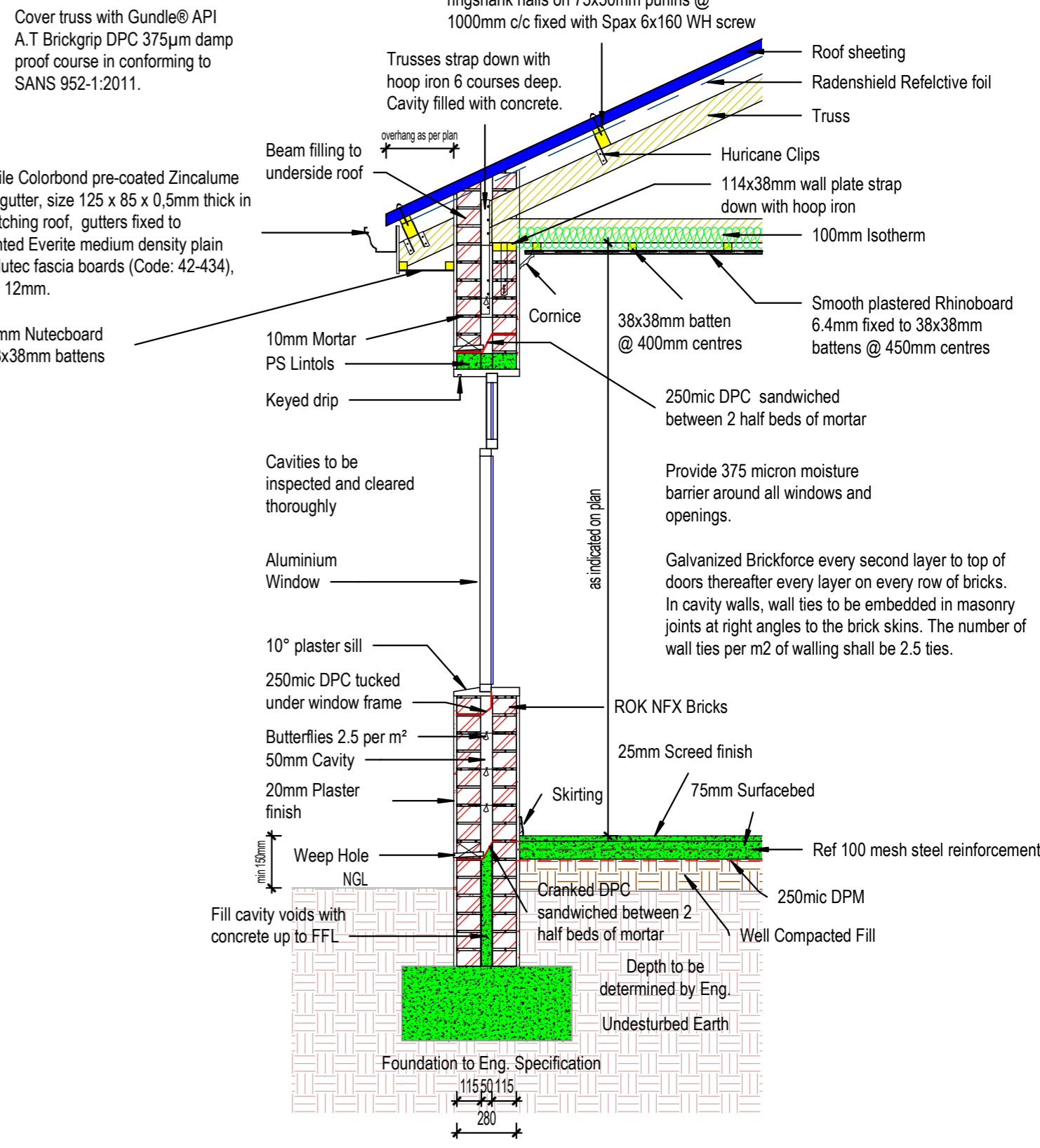
DRAWN:
Johan Gericke SIGNATURE:
Johan Gericke

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Check on site all heights and levels.
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Land surveyor values are estimated.

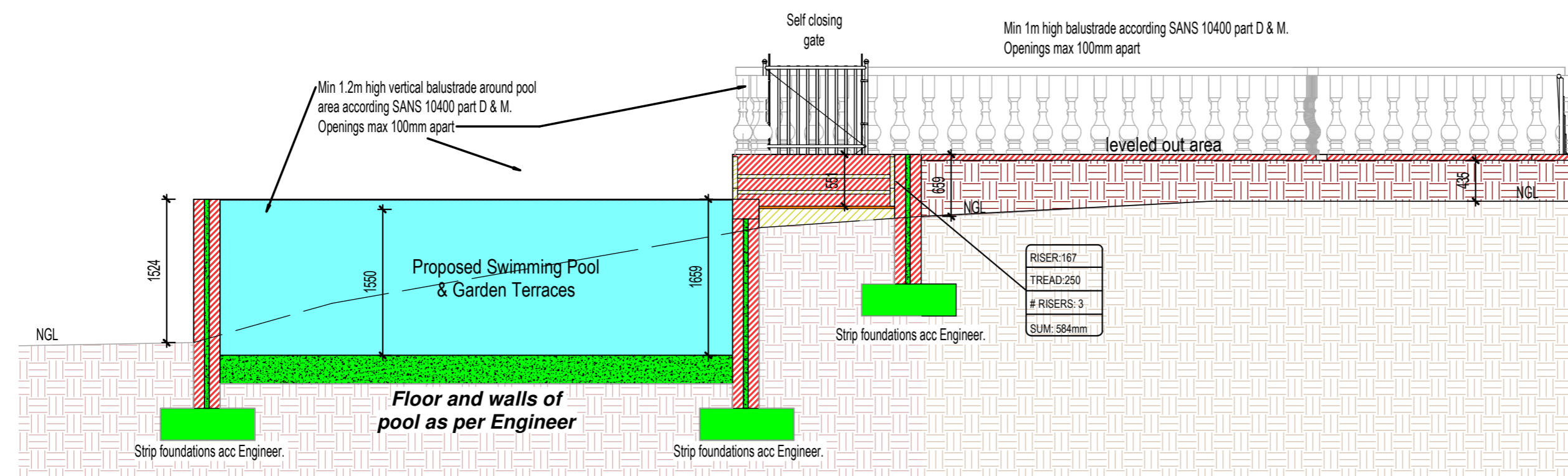


Section C-C
1 : 50



Typical Wall & Roof Detail
1 : 25

SPECIAL NOTE:
Engineer may alter/change specifications or materials as deemed fit.



Section E-E
1 : 50

- TO BE CONFIRMED WITH CLIENT:
- Window/Door configurations
 - Type of timber floor covering
 -

- TO BE CONFIRMED BY CLIENT:
- Light & Plug fittings
 - Colour of Paint
 - Floor finishes
 - All tap fittings
 - Bedroom & Kitchen cupboard designs
 - Type of Balustrades
 - Height of Braai/Fireplace
 - Facebrick to be used

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
SECTION C-C, E-E

SHEET FORMAT:
A2

OCCUPATION:
A1 & H5

SCALE:
As indicated

DRAWING #:
938/TH/24

PAGE #:
17

DRAWING DATE:
19 FEB 2024

PLOT DATE:
2025-06-03 11:42:27 AM

DRAWN:
Johan Gericke

SIGNATURE:
Johan Gericke

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info@gericke-architecture.co.za
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SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

JOHAN LODEWYCK SERFONTEIN GERICKE

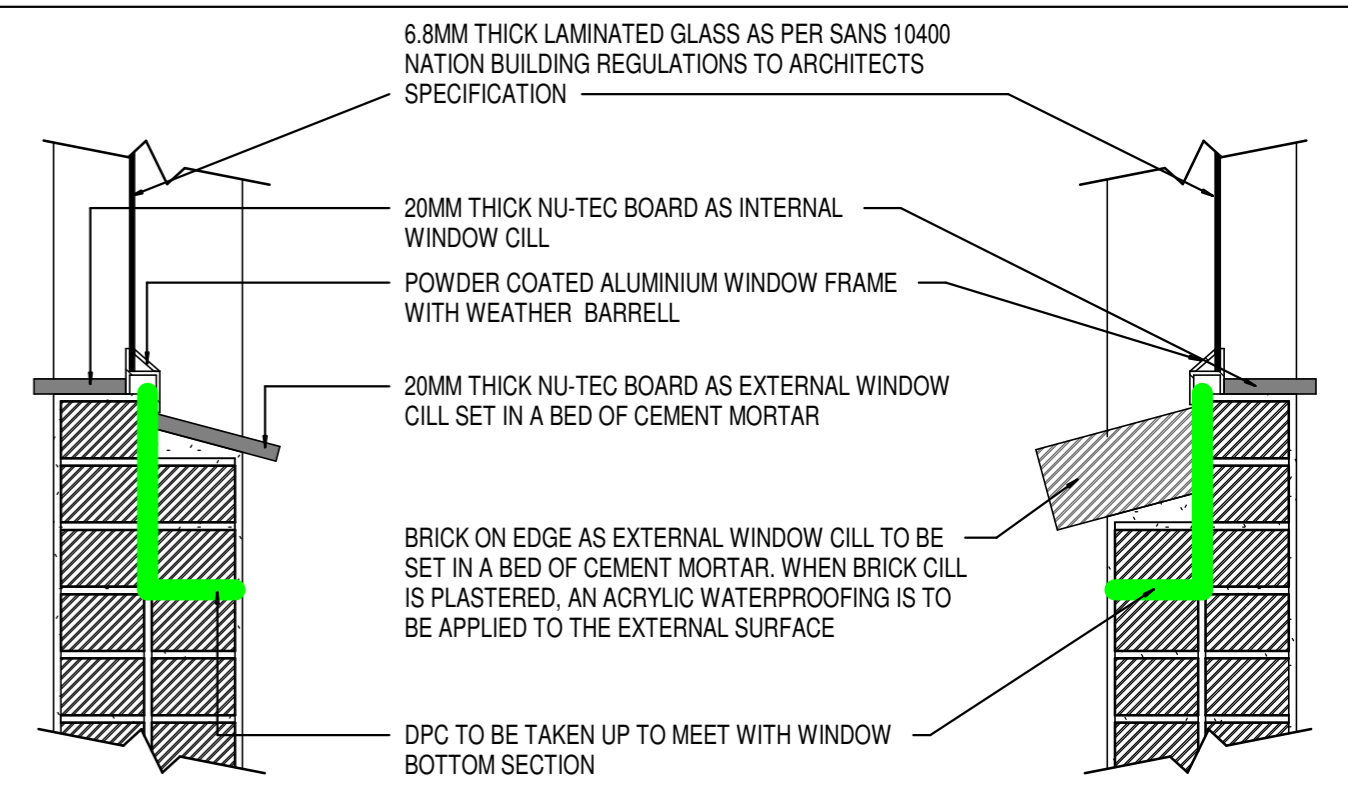
18:51 PM (Africa/Johannesburg) on 21 Sep 2025

BMI Coverland Cupola Through Colour Terracotta concrete roof tiles (Code: 907041), size 420 x 330mm laid in straight bond with minimum 100mm headlap, fixed at a pitch of 20° with each tile fixed using non-corrosive nails to 38 x 38mm sawn softwood battens at maximum 320mm centres on single-sided aluminium foil radiant barrier with joints lapped 150mm, fixed over grade 5 SAP roof trusses (elsewhere specified) at 760mm centres and finished with 250mm wide Coverland Easyflash Connection strips to all abutments to be laid on 38 x 114mm SAP approved wallplate. Trusses/rafters to be tied down with galv. wire wall ties to be built into walls min 600mm.

- Tile: Cupola
- Tile colour: Through Colour Terracotta
- Tile size: 420 x 330mm
- Guarantee: 30 year Functional Concrete Guarantee.

As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).

SPECIAL NOTE:
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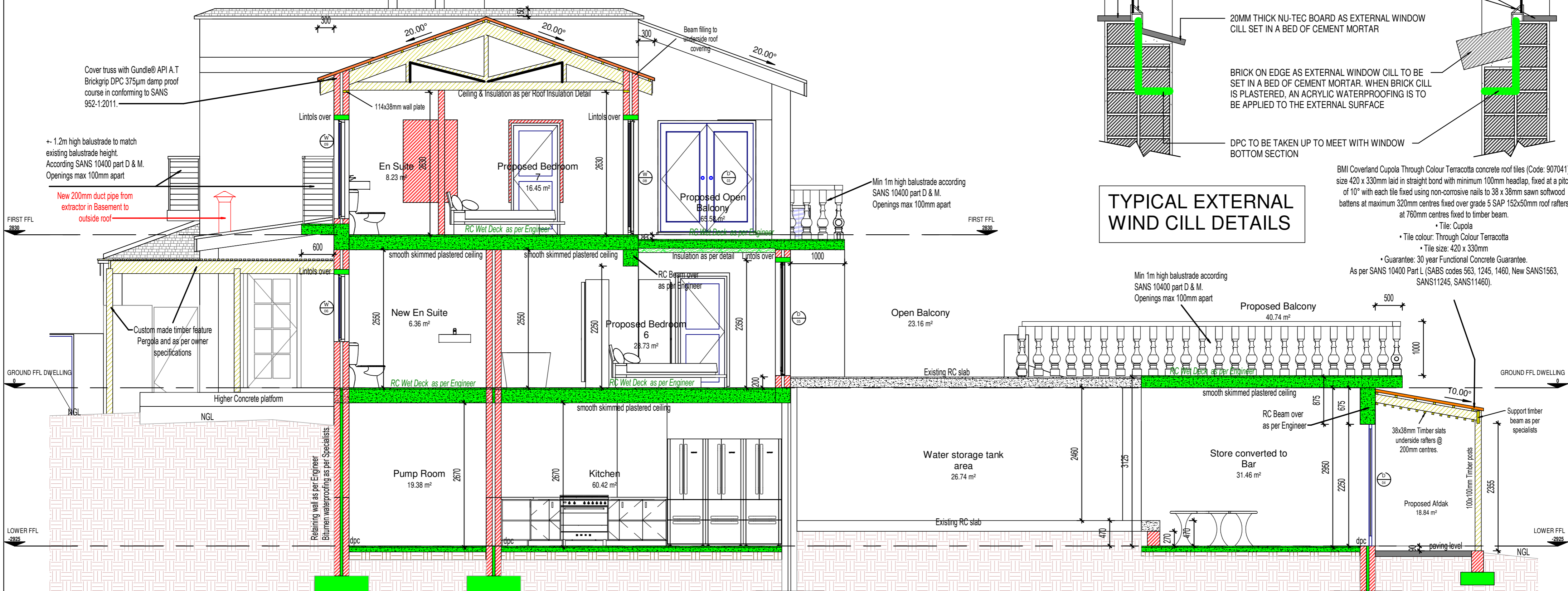


TYPICAL EXTERNAL WIND CILL DETAILS

BMI Coverland Cupola Through Colour Terracotta concrete roof tiles (Code: 907041), size 420 x 330mm laid in straight bond with minimum 100mm headlap, fixed at a pitch of 10° with each tile fixed using non-corrosive nails to 38 x 38mm sawn softwood battens at maximum 320mm centres fixed over grade 5 SAP 152x50mm roof rafters at 760mm centres fixed to timber beam.

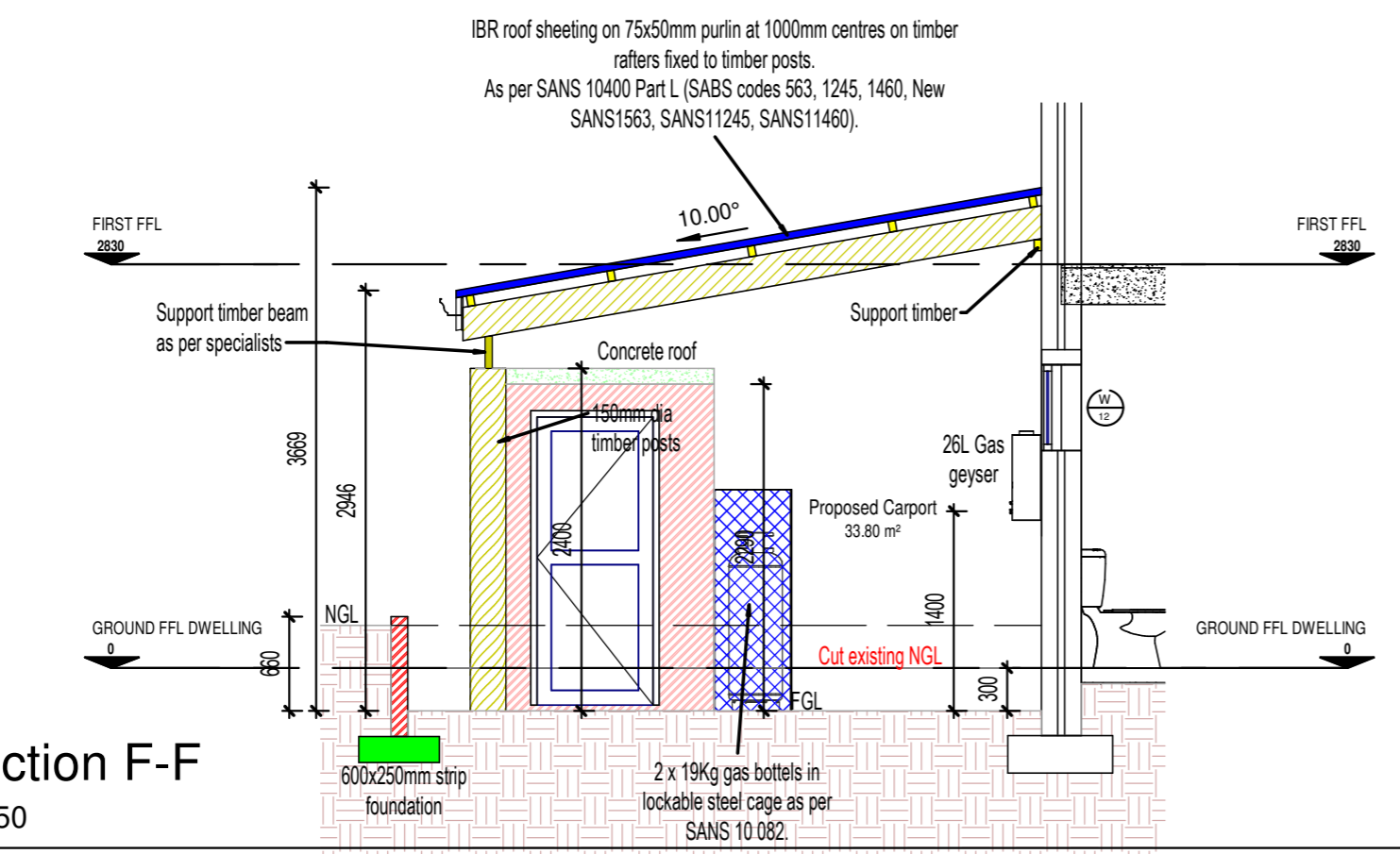
- Tile: Cupola
- Tile colour: Through Colour Terracotta
- Tile size: 420 x 330mm
- Guarantee: 30 year Functional Concrete Guarantee.

As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).



Section D-D
1 : 50

Check on site all heights and levels. Ground levels indicated other than Land surveyor values are estimated.



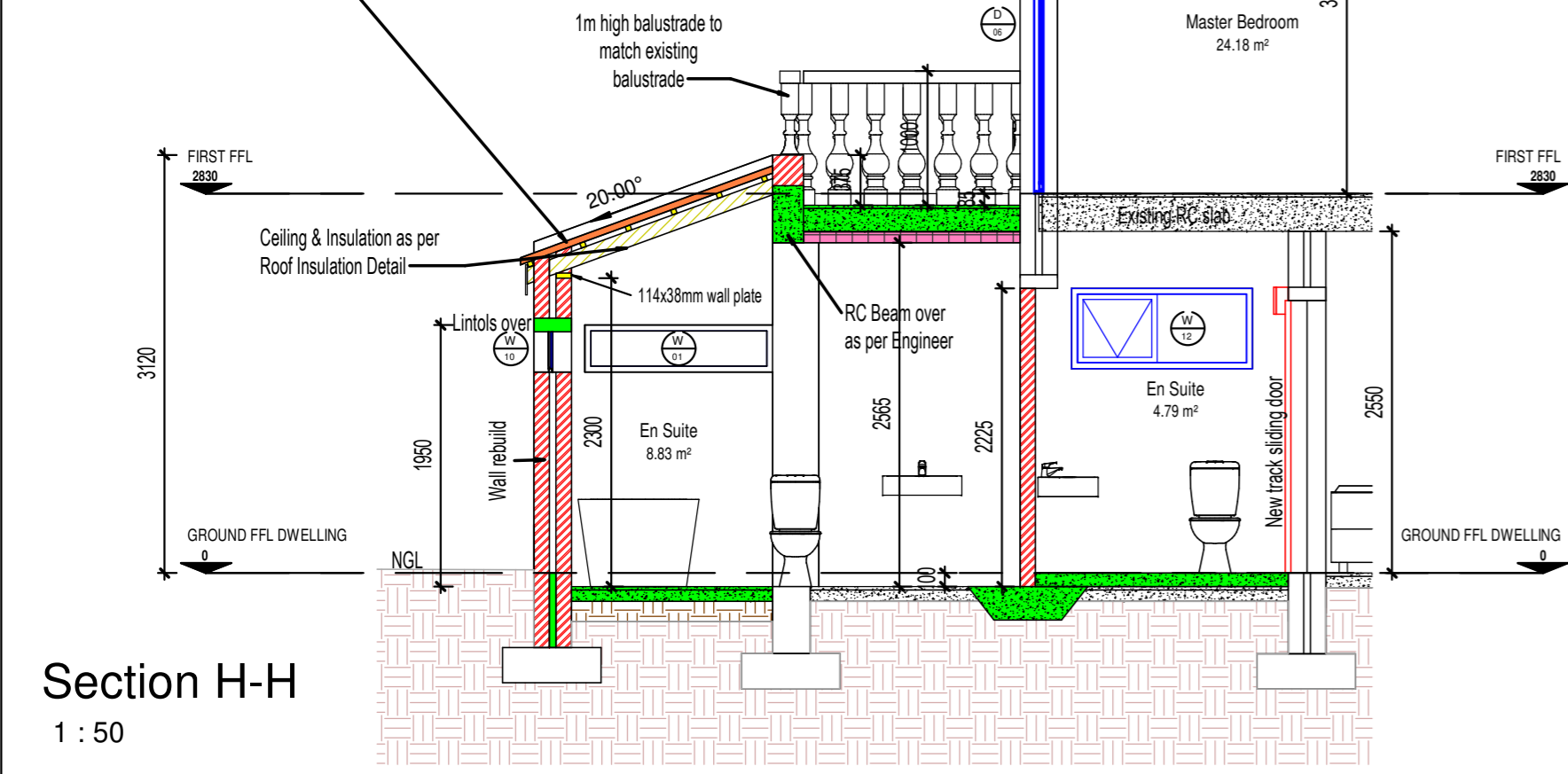
Section F-F
1 : 50

SHEET FORMAT: A2	OCCUPATION: A1 & H5	PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.	DRAWN: Johan Gericke	SIGNATURE: <i>Johan Gericke</i>
SCALE: As indicated	DRAWING #: 938/TH/24	DESCRIPTION: SECTION D-D & F-F	<p>www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught</p>	
PAGE #: 18	PLOT DATE: 2025-06-03 11:42:29 AM			
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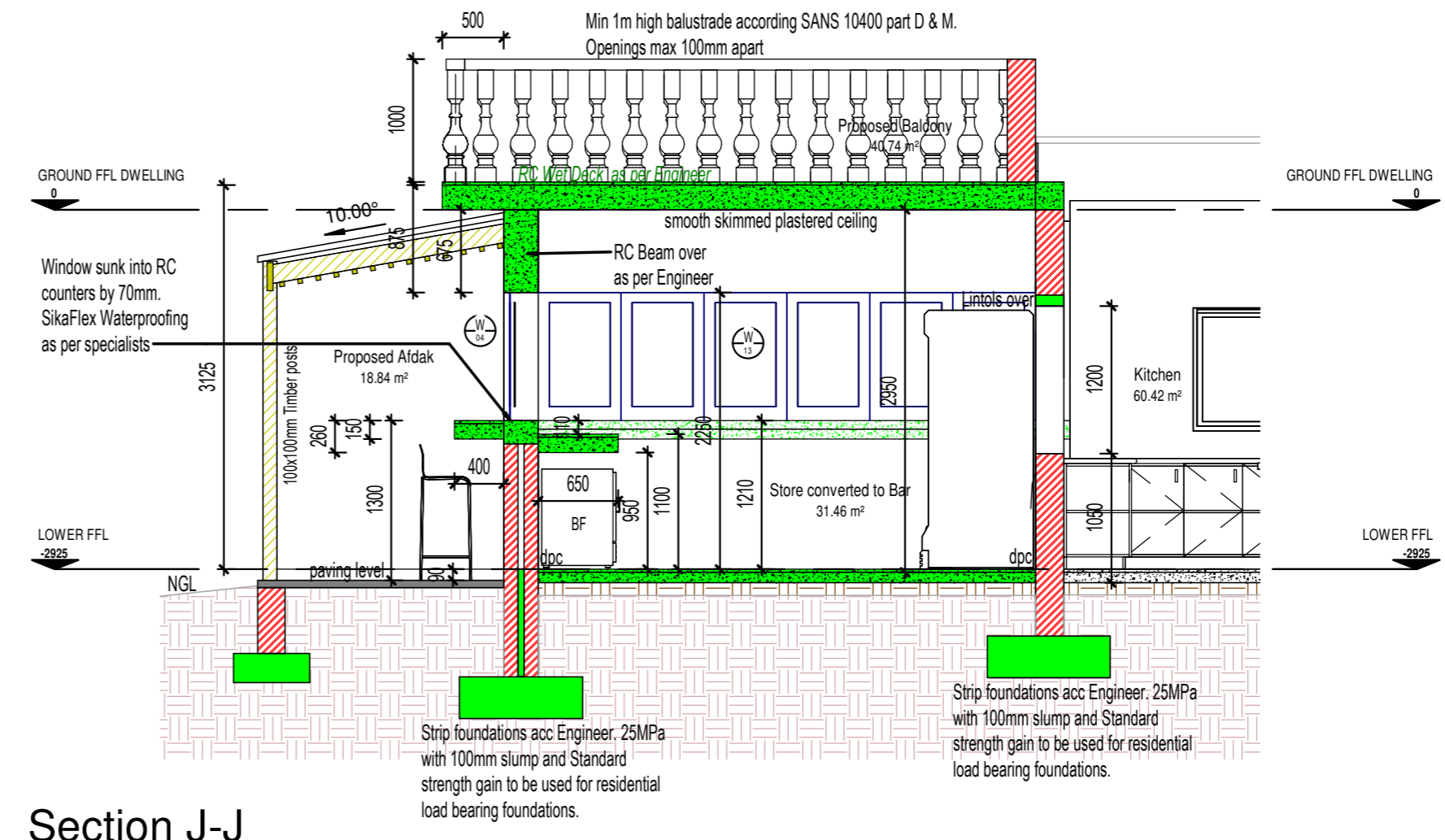
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- Tile: Cupola
- Tile colour: Through Colour Terracotta
- Tile size: 420 x 330mm
- Guarantee: 30 year Functional Concrete Guarantee.

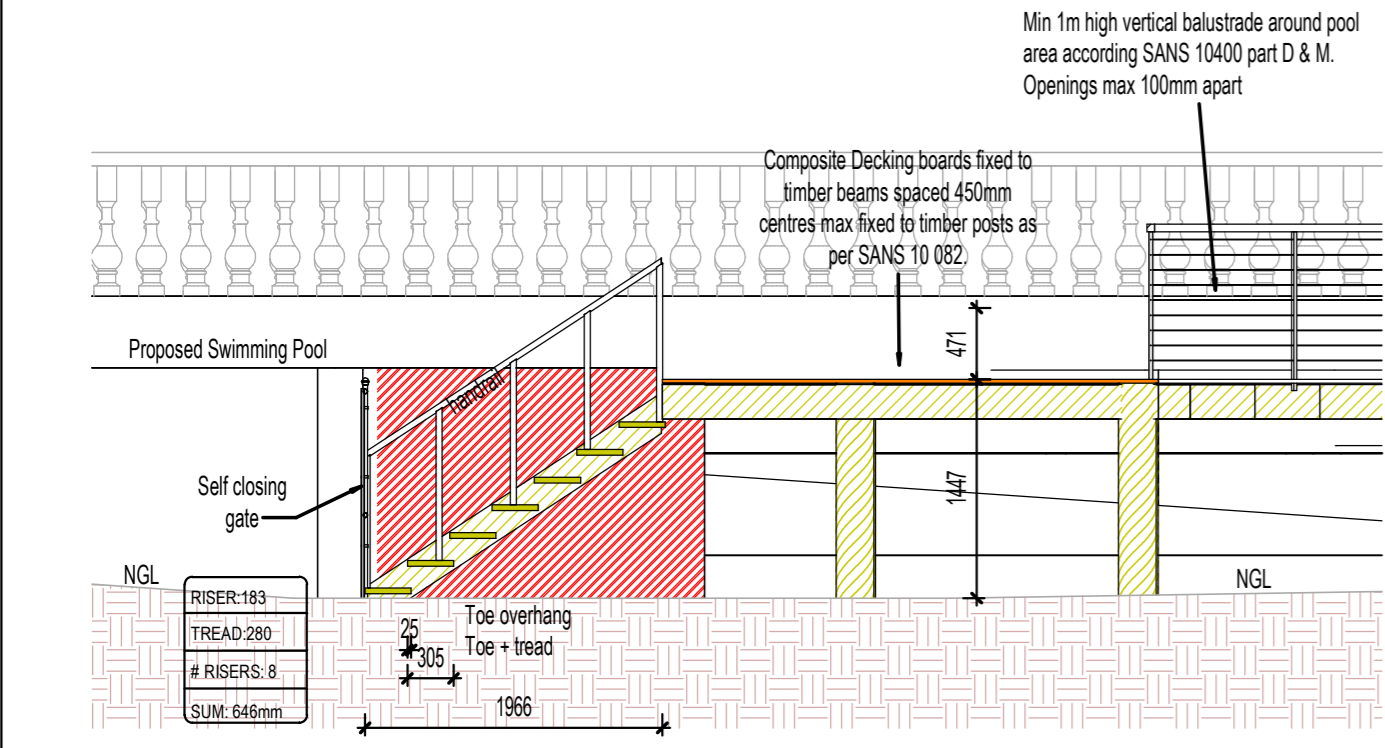
As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).



Section H-H
1 : 50



Section J-J
1 : 50



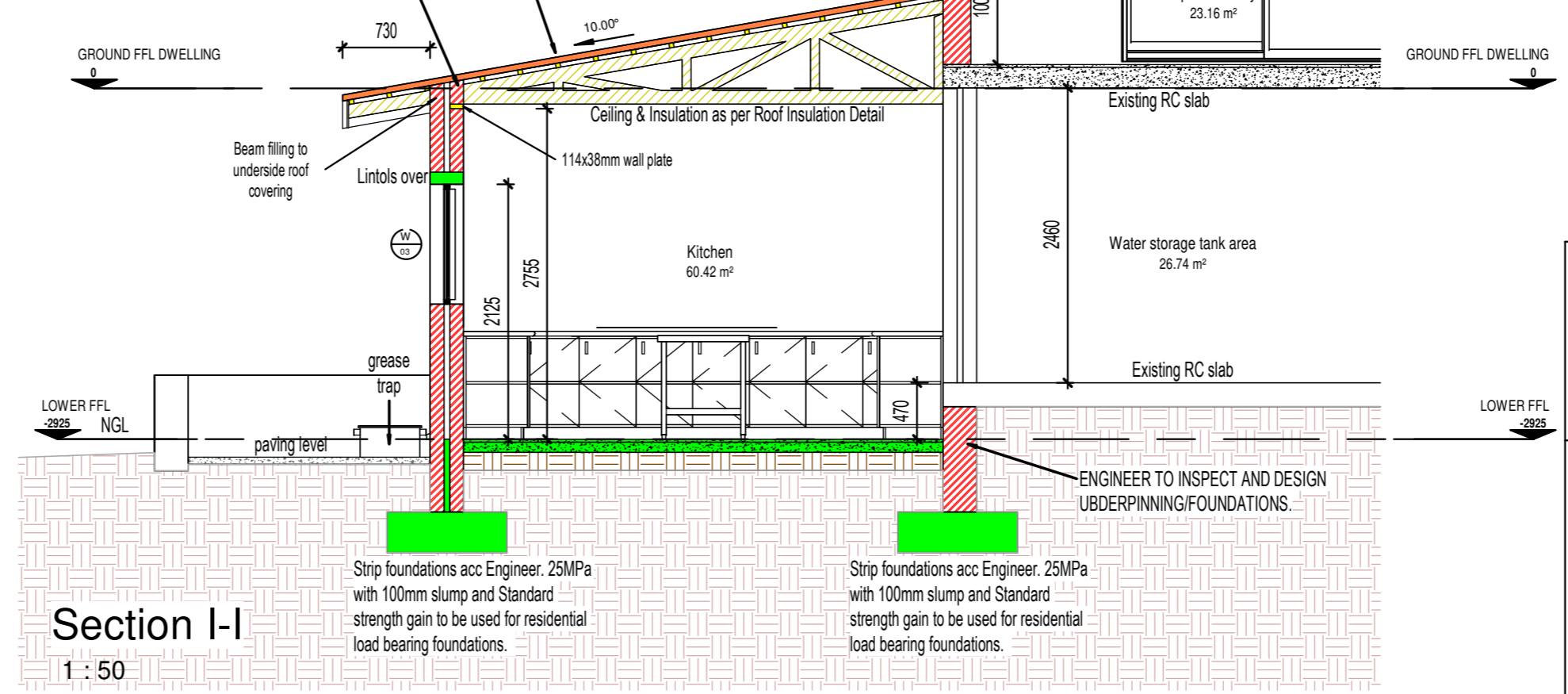
Section L-L
1 : 50

BMI Coverland Cupola Through Colour Terracotta concrete roof tiles (Code: 907041), size 420 x 330mm laid in straight bond with minimum 100mm headlap, fixed at a pitch of 10° with each tile fixed using non-corrosive nails to 38 x 38mm sawn softwood battens at maximum 320mm centres on 6mm Nutecboard (waterproofing) and joints taped, fixed over grade 5 SAP roof trusses (elsewhere specified) at 760mm centres and finished with 250mm wide Coverland Easyflash Connection strips to all abutments to be laid on 38 x 114mm SAP approved wallplate. Trusses/rafters to be tied down with galv. wire wall ties to be built into walls min 600mm.

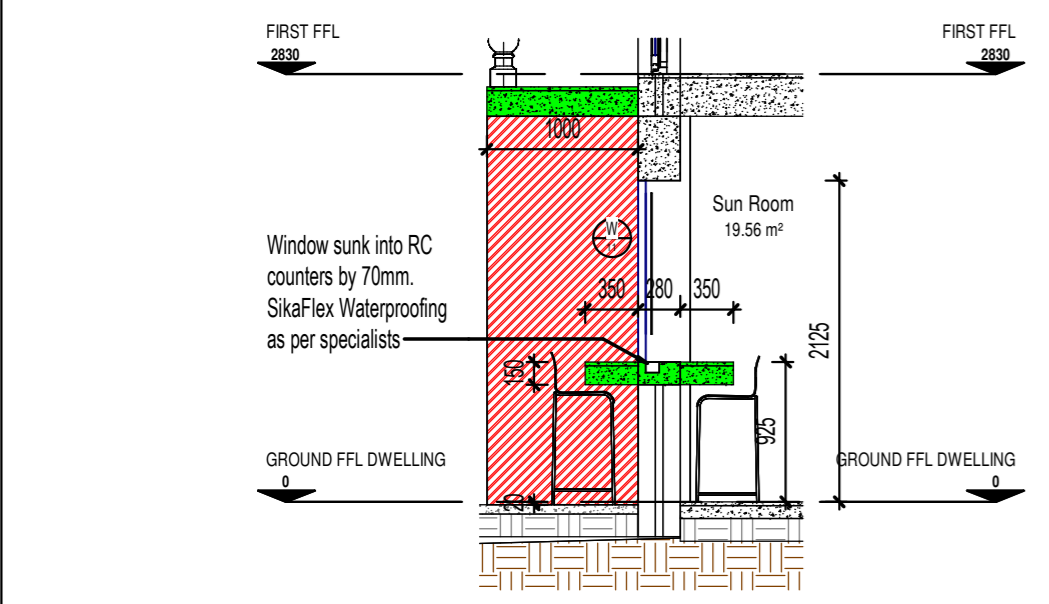
- Tile: Cupola
- Tile colour: Through Colour Terracotta
- Tile size: 420 x 330mm
- Guarantee: 30 year Functional Concrete Guarantee.

As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).

Cover truss with Gundle® API A.T Brickgrip DPC 375µm damp proof course in conforming to SANS 952-1:2011.



Section I-I
1 : 50



Section K-K
1 : 50

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

Check on site all heights and levels. Ground levels indicated other than Land surveyor values are estimated.

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
SECTION H-H, I-I, J-J

SHEET FORMAT:
A2

OCCUPATION:
A1 & H5

SCALE:
1 : 50

DRAWING #:
938/TH/24

PAGE #:
19

DRAWING DATE:
19 FEB 2024

PLOT DATE:
2025-06-03 11:42:30 AM

DRAWN:
Johan Gericke

SIGNATURE:
Johan Gericke

ARCHITECTURE
GERICKE

www.gericke-architecture.co.za
info@gericke-architecture.co.za
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
JOHAN LODEWYCK SERPONTEN GERICKE

18:51 PM (Africa/Johannesburg) on 21 Sep 2025

TO BE CONFIRMED WITH CLIENT:

1. Window/Door configurations
2. Type of timber floor covering
3. Interior door types and handles
4. Any special detail/feature indicated (cladding etc)

TO BE CONFIRMED BY CLIENT:

1. Light & Plug fittings
2. Colour of Paint
3. Floor finishes
4. All tap fittings
5. Bedroom & Kitchen cupboard designs
6. Type of Balustrades
7. Height of Braai/Fireplace
8. Facebook to be used




ENGINEER TO INSPECT AND DESIGN UNDERPINNING/FOUNDATIONS.

WINDOW SCHEDULE	ELEVATION									
ID:	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10
CODE:										
FRAME SPECIFICATION & FINISH:	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.
CONFIGURATION:	FIX	TOP HUNG - OPEN OUTWARD.	SLIDING	FOLDING STACK	SERENE - OPEN OUTWARD	SERENE - OPEN OUTWARD	SLIDING	TOP HUNG - OPEN OUTWARD.	SERENE - OPEN OUTWARD	TOP HUNG - OPEN OUTWARD.
FRAME COLOUR:										
HANDLES / HINGES:		STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE
GLAZING:	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR
QUANTITY:	1	2	3	1	1	2	1	1	2	1
LOCATION:	BEDROOM 4 EN SUITE	TOILETS	KITCHEN & BEDROOM 6	LOWER GROUND BAR	EN SUIT BEDROOM 6	EN SUITE BEDR OOMS 3, 6	KITCHEN LABOUR COTTAGE	LIVING AREA LABOUR COTTAGE	EN SUITE BEDR OOM 7	BEDROOM 4 EN SUITE
BURGLAR PROOFING:										
SPECIAL LOCKSET:										
WATERPROOFING	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.

WINDOW SCHEDULE	ELEVATION		
ID:	W11	W12	W13
CODE:			
FRAME SPECIFICATION & FINISH:	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.
CONFIGURATION:	FOLDING STACK	TOP HUNG - OPEN OUTWARD.	FOLDING STACK
FRAME COLOUR:			
HANDLES / HINGES:	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE
GLAZING:	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR
QUANTITY:	2	2	1
LOCATION:	SUN ROOM x 2	BEDROOM 4 EN SUITE & CHILD ROOM	LOWER GROUND BAR
BURGLAR PROOFING:			
SPECIAL LOCKSET:			
WATERPROOFING	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.


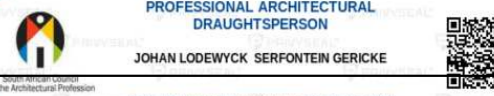

Glazing / Windows Notes:

Window installation shall comply with SANS 10137.
 All windows are Aluminum and according to Window Schedule.
 375 micron moisture-proof membrane must be installed around all windows and door openings.
 Window sills should be built outside with a 10° fall.
 All windows with transparent glass provided unless otherwise required by SANS 10400 Part O.
 Bathrooms provided with frosted glass.
 All glass with permanent mark provided with manufacturers name.
 Window installation to strictly comply with SANS10400 N and SANS1263-1.
 Specialist specifications are given preference over details shown on plans.
 Installers to provide certificate of compliance.

-  6.38mm Toughened Safety Glass
-  6.38mm Glass
-  4mm Glass

Windows & Doors Notes:

Window & Door sizes given by contractor.
 Given Window sizes may alter due to construction differences, plaster thicknesses and other minor aspects.

PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.	SHEET FORMAT: A2	OCCUPATION: A1 & H5	 www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught
	SCALE: 1 : 80	DRAWING #: 938/TH/24	
DESCRIPTION: WINDOW SCHEDULE	PAGE #: 20	DRAWING DATE: 19 FEB 2024	 JOHAN LODEWYCK SERFONTEIN GERICKE 18:51 PM (Africa/Johannesburg) on 21 Sep 2028
	DRAWING DATE: 19 FEB 2024	PLOT DATE: 2025-06-03 11:42:31 AM	
	DRAWN: Johan Gericke	SIGNATURE: 	

DOOR SCHEDULE	ELEVATION				
ID:	D1	D2	D3	D4	D5
CODE:					SD2421
FRAME SPECIFICATION & FINISH:	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD POWDER COATED ALUMINIUM DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.
CONFIGURATION:	DOUBLE HINGE	DOUBLE HINGE LOUVRE	DOUBLE HINGE	4 PANEL FOLDING STACK	SLIDING DOOR
FRAME COLOUR:		BRONZE POWDERCOATED			
HANDLES / HINGES:	PARLIAMENT TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE
GLAZING:	SINGLE CLEAR	NONE	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR
QUANTITY:	1	1	3	1	1
LOCATION:	TOILETS	PUMP ROOM	SUN ROOM FF, KITCHEN & LABOUR COTTAGE	BAR	BEDROOM 6
BURGLAR PROOFING:					
SPECIAL LOCKSET:	QS Products, QS5757A lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.
WATERPROOFING	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.

DOOR SCHEDULE	ELEVATION				
ID:	D6	D7	D8	D9	D10
CODE:	SD1821				SD2121
FRAME SPECIFICATION & FINISH:	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	DOUBLE SWING TIMBER BAR DOOR WITH VIEWING PANEL AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.	STANDARD TIMBER DOOR AS SHOWN, MEASURED ON SITE BEFORE BEING MANUFACTURED.
CONFIGURATION:	SLIDING DOOR	DOUBLE SWING SINGLE DOOR	4 PANEL SLIDING DOOR	4 PANEL SLIDING DOOR	SLIDING DOOR
FRAME COLOUR:					
HANDLES / HINGES:	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE	STANDARD TYPE
GLAZING:	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR	SINGLE CLEAR
QUANTITY:	2	1	1	1	1
LOCATION:	BEDROOM 3 & MASTER BEDROOM	BAR	BEDROOM 7	CIRCULATION	EATERY
BURGLAR PROOFING:					
SPECIAL LOCKSET:	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.		QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.	QS Products, QS6225 hook lock fitted with QS1108SN 66mm oval knob cylinder with thumbturn.
WATERPROOFING	Provide 375 micron moisture barrier around all windows and openings.		Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.	Provide 375 micron moisture barrier around all windows and openings.

Glazing / Windows Notes:

Window installation shall comply with SANS 10137.
 All windows are Aluminum and according to Window Schedule.
 375 micron moisture-proof membrane must be installed around all windows and door openings.
 Window sills should be built outside with a 10° fall.
 All windows with transparent glass provided unless otherwise required by SANS 10400 Part O.
 Bathrooms provided with frosted glass.
 All glass with permanent mark provided with manufacturers name.
 Window installation to strictly comply with SANS10400 N and SANS1263-1.
 Specialist specifications are given preference over details shown on plans.
 Installers to provide certificate of compliance.

- 6.38mm Toughened Safety Glass
- 6.38mm Glass
- 4mm Glass

Windows & Doors Notes:
 Window & Door sizes given by contractor.
 Given Window sizes may alter due to construction differences, plaster thicknesses and other minor aspects.

PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.	SHEET FORMAT: A2	OCCUPATION: A1 & H5	 www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught
	SCALE: 1 : 80	DRAWING #: 938/TH/24	
DESCRIPTION: DOOR SCHEDULE	PAGE #: 21	DRAWING DATE: 19 FEB 2024	 JOHAN LODEWYCK SERFONTEIN GERICKE 18:51 PM (Africa/Johannesburg) on 21 Sep 2028
	DRAWN: Johan Gericke	PLOT DATE: 2025-06-03 11:42:31 AM	
		SIGNATURE: 	

ADDITIONAL NOTES:

1. ALL GAS PIPES PROTRUDING THROUGH BRICK WALLS TO BE SUPPLIED WITHIN PVC SLEEVES.
2. ALL PIPES PLACED UNDERGROUND PROVIDED WITH CHEVRON BARRIER INDICATION TAPE ON FLOOR FINISH TO INDICATE LOCATION OF UNDERGROUND PIPES FOR SAFETY.
Chevron Barrier indication tape placed halfway between gas pipe and ground surface to indicate location of underground pipes for safety.
Pipe to be minimum 500mm buried underground and in PVC sleeve.
3. ALL GAS PIPES : 20mm COMPOSITE PRESSURE PIPE

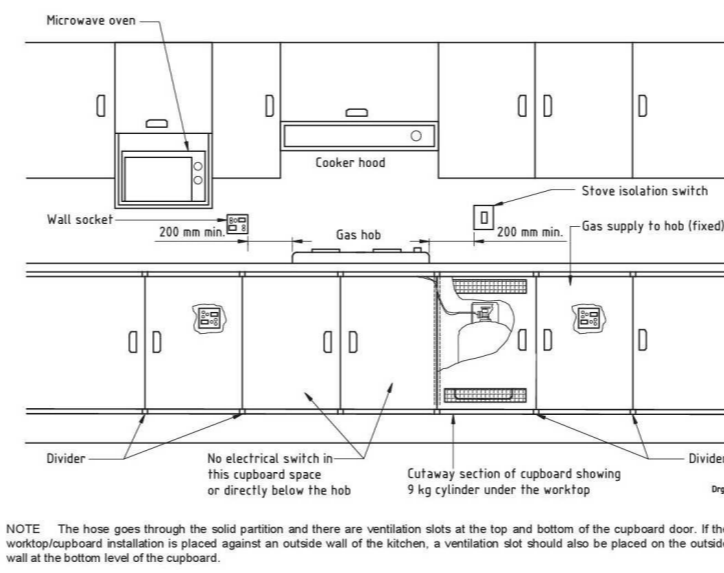
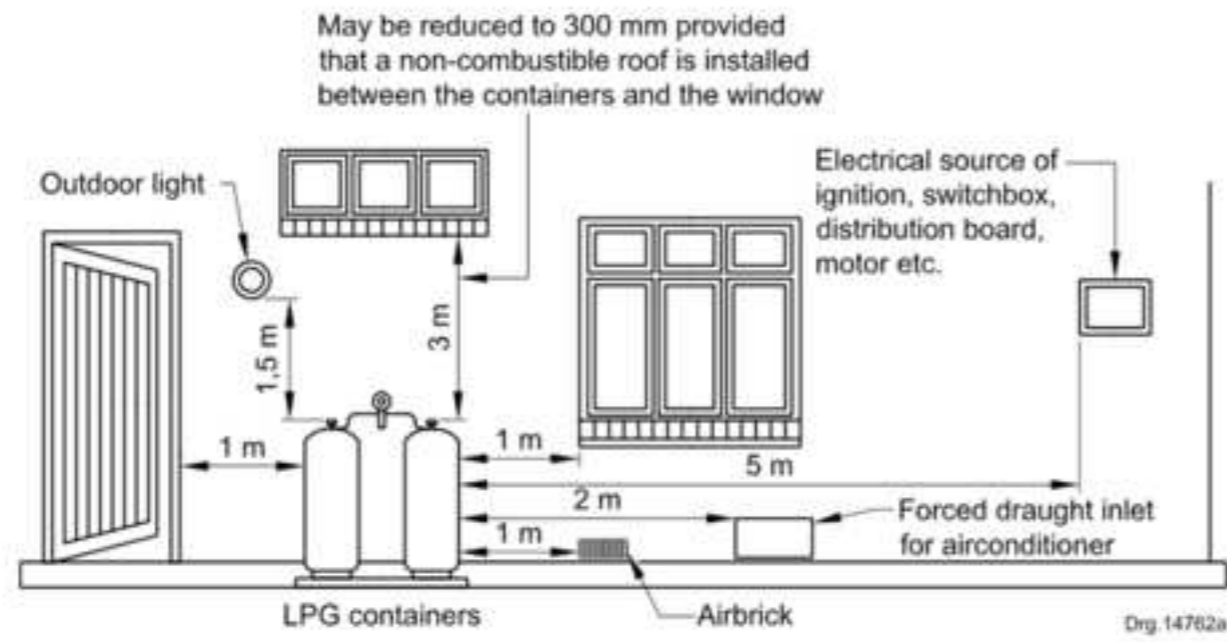


Figure 16 — Typical installation for gas cylinder directly connected to hob by means of a flexible hose

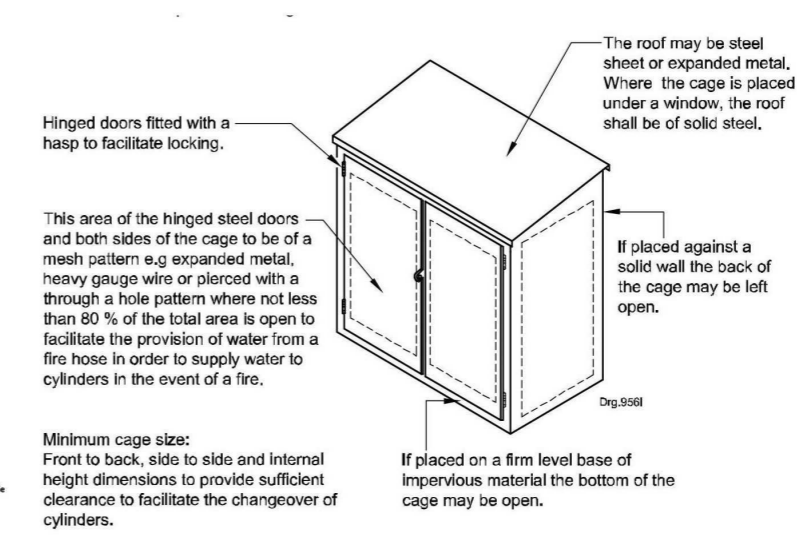


Figure 25 — Typical cage for gas cylinders

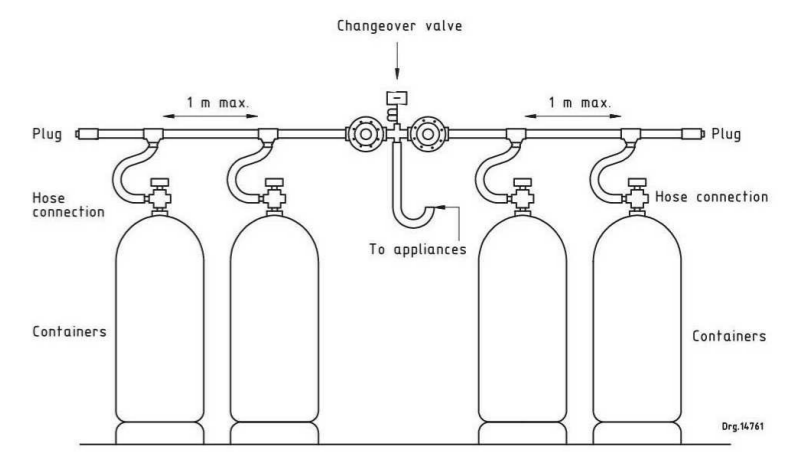
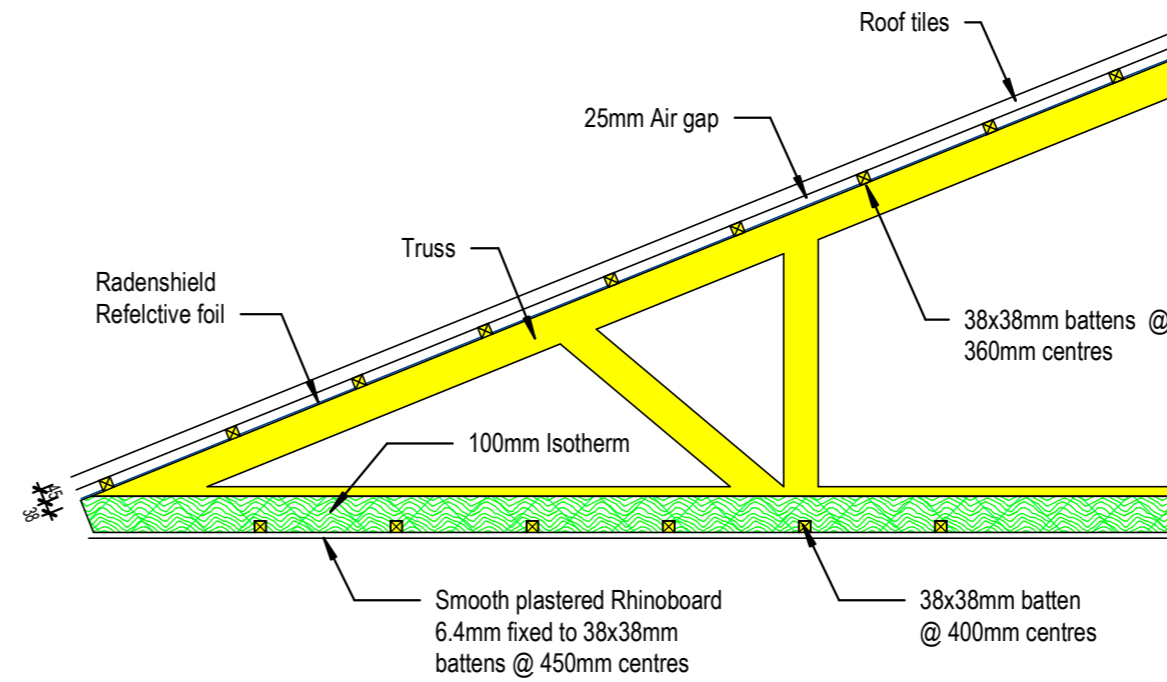
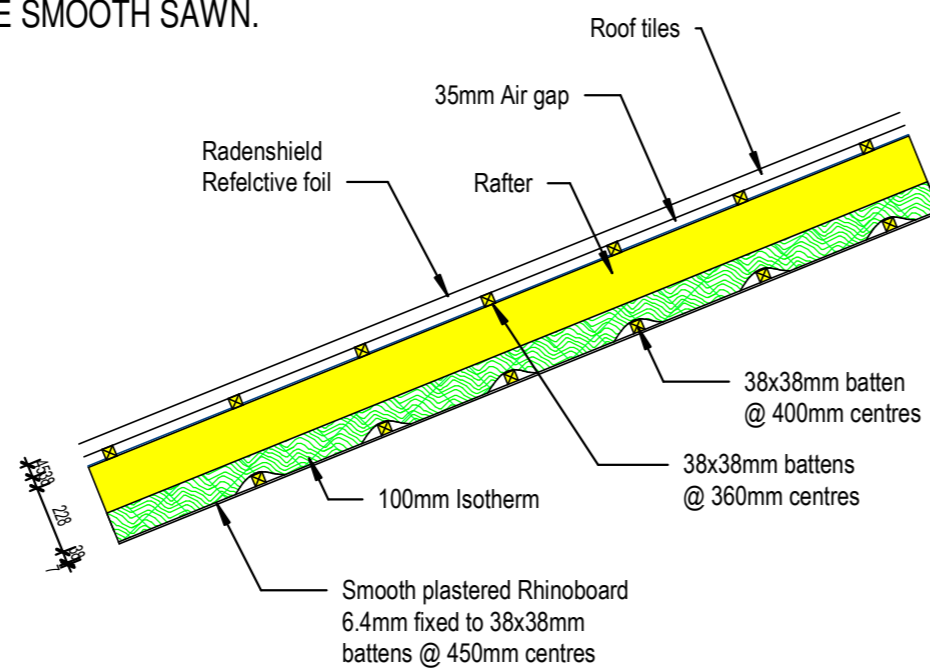
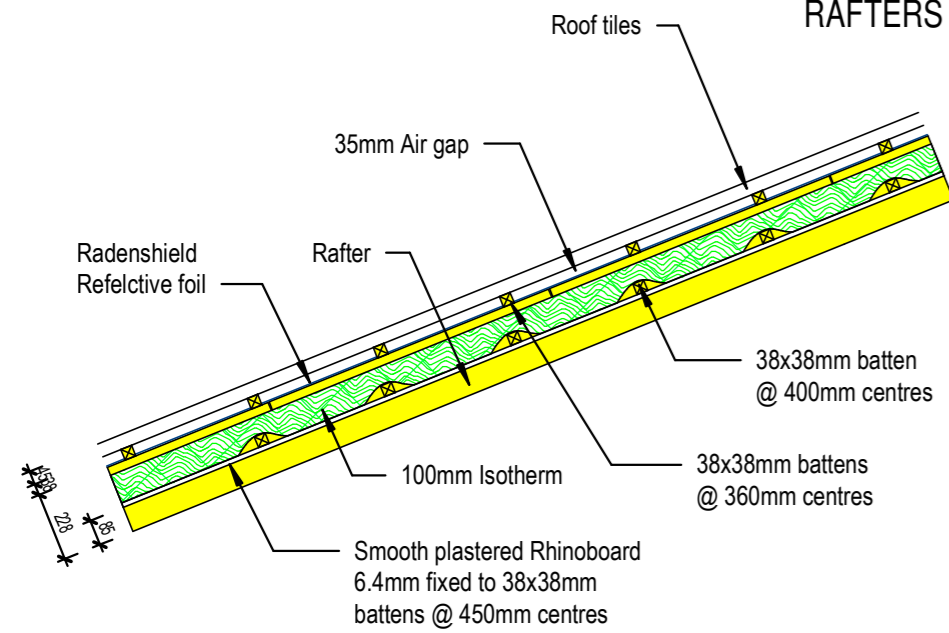


Figure 1.1 — Typical vapour withdrawal installation

Typical Gas Installation

1 : 50

ALL EXPOSED TIMBER TRUSSES / RAFTERS TO BE SMOOTH SAWN.



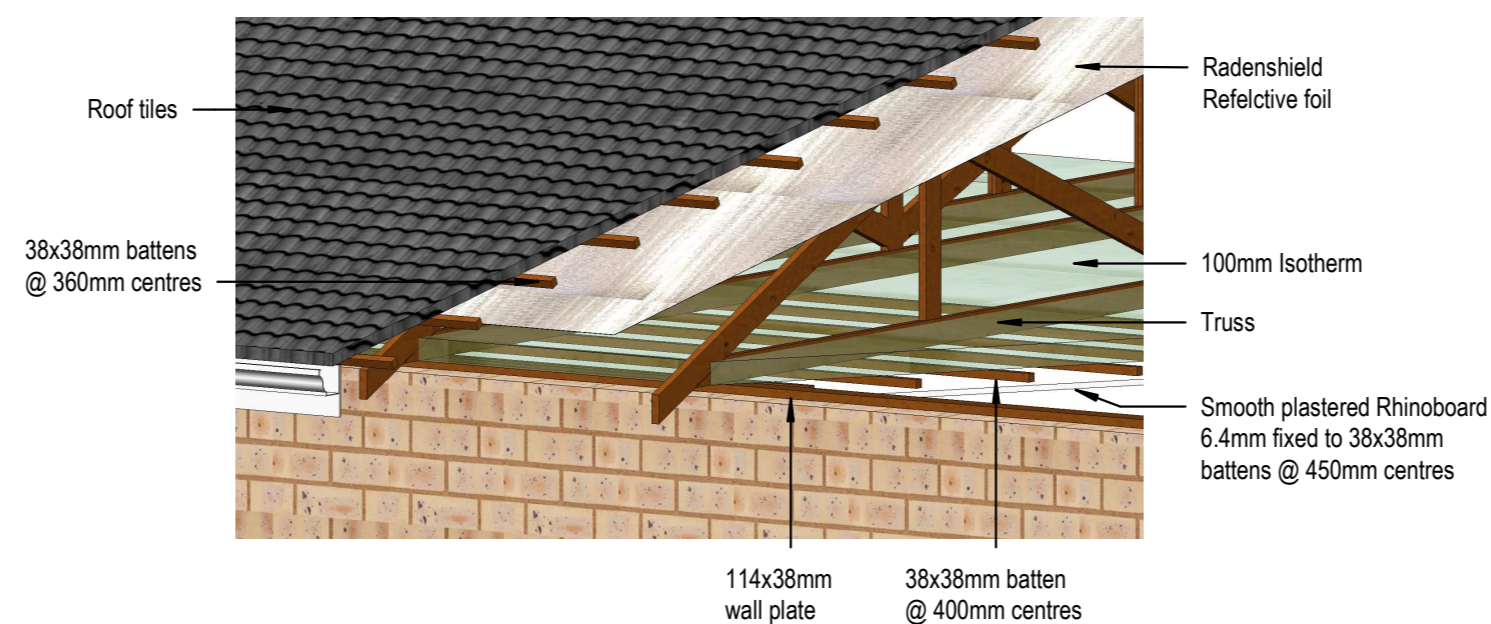
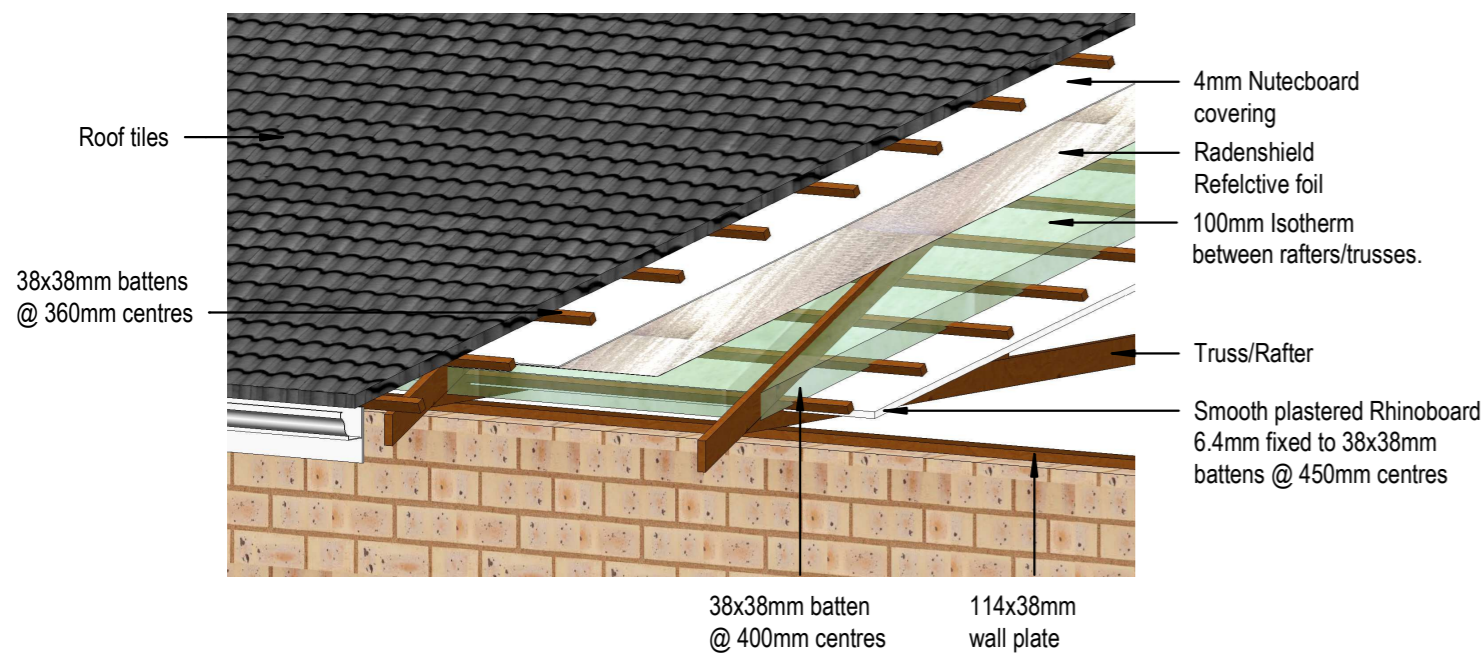
Roof Insulation :

Roof 12° to 30° pitch with horizontal ceiling and concrete tiles

Outdoor air film (7m/s)	0.03
Roof tiles	0.06
Roof air space (non-reflective)	0.18
Rhinoboard (6.4mm)	0.06
Indoor air film (still air)	0.11
Total R-value	0.44

Direction of flow of heat for Zone 4 : Up
 Min R-Value Needed : 3.7
 Roof as above R-Value = 0.44
 Radenshield reflective foil laminate: R-Value = 1.36
 $3.7 - 0.44 - 1.36 = 2.05$ (Isolation Needed)
 R-Value of insulation = $2.05 \times 0.046 \text{W/m.K}$ (SANS204 Table 10)
 $R = 0.094$
 Therefore 100mm Isotherm insulation required.

HORIZONTAL CEILING
 Lower Ground Bar & Kitchen Area
 First Floor Bedroom 7 & En Suite
 Outbuilding - Labourers Cottage, Toilets



Roof Insulation Detail

1 : 25

PROJECT:
 PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
 DETAILS

SHEET FORMAT: A2
OCCUPATION: A1 & H5

SCALE: As indicated
DRAWING #: 938/TH/24

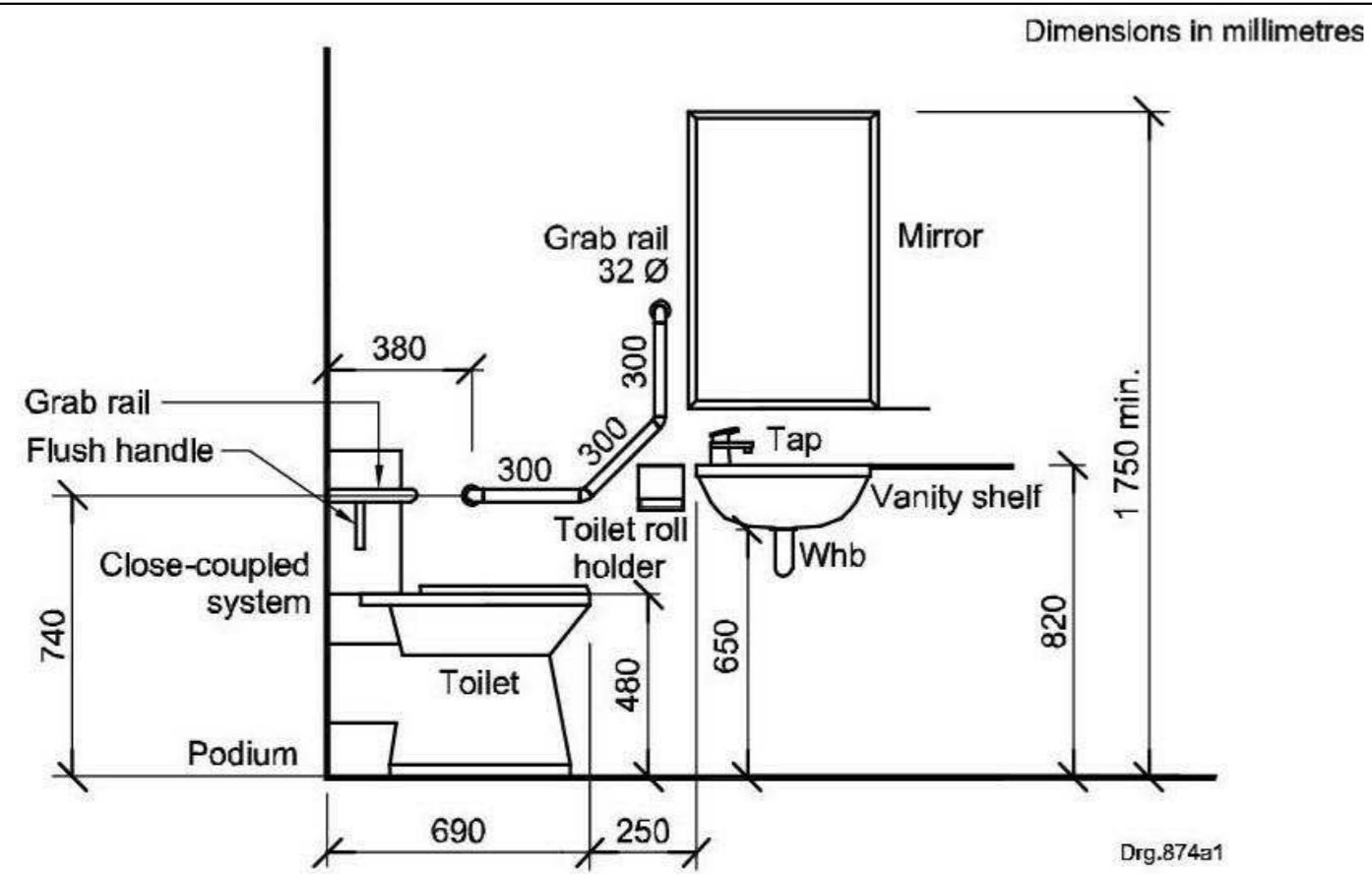
PAGE #: 22

DRAWING DATE: 19 FEB 2024
PLOT DATE: 2025-06-03 11:42:32 AM

DRAWN: Johan Gericke
SIGNATURE: *Johan Gericke*

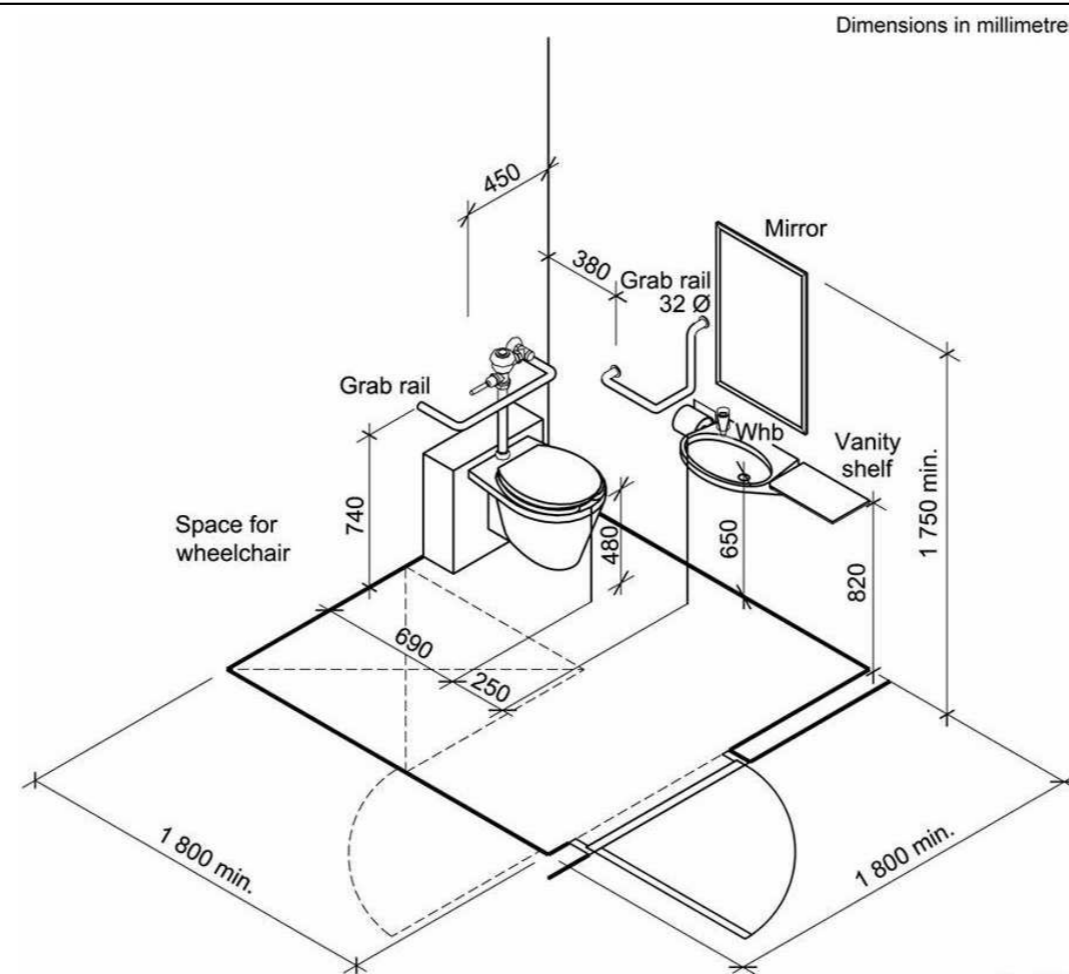
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 info@gericke-architecture.co.za
 Tel : 028 384 1659 Sel : 082 453 8554
 SACAP : D2869 Prof Arch Draught

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 JOHAN LODEWYCK SERPONTEN GERICKE
 18:51 PM (Africa/Johannesburg) on 21 Sep 2025



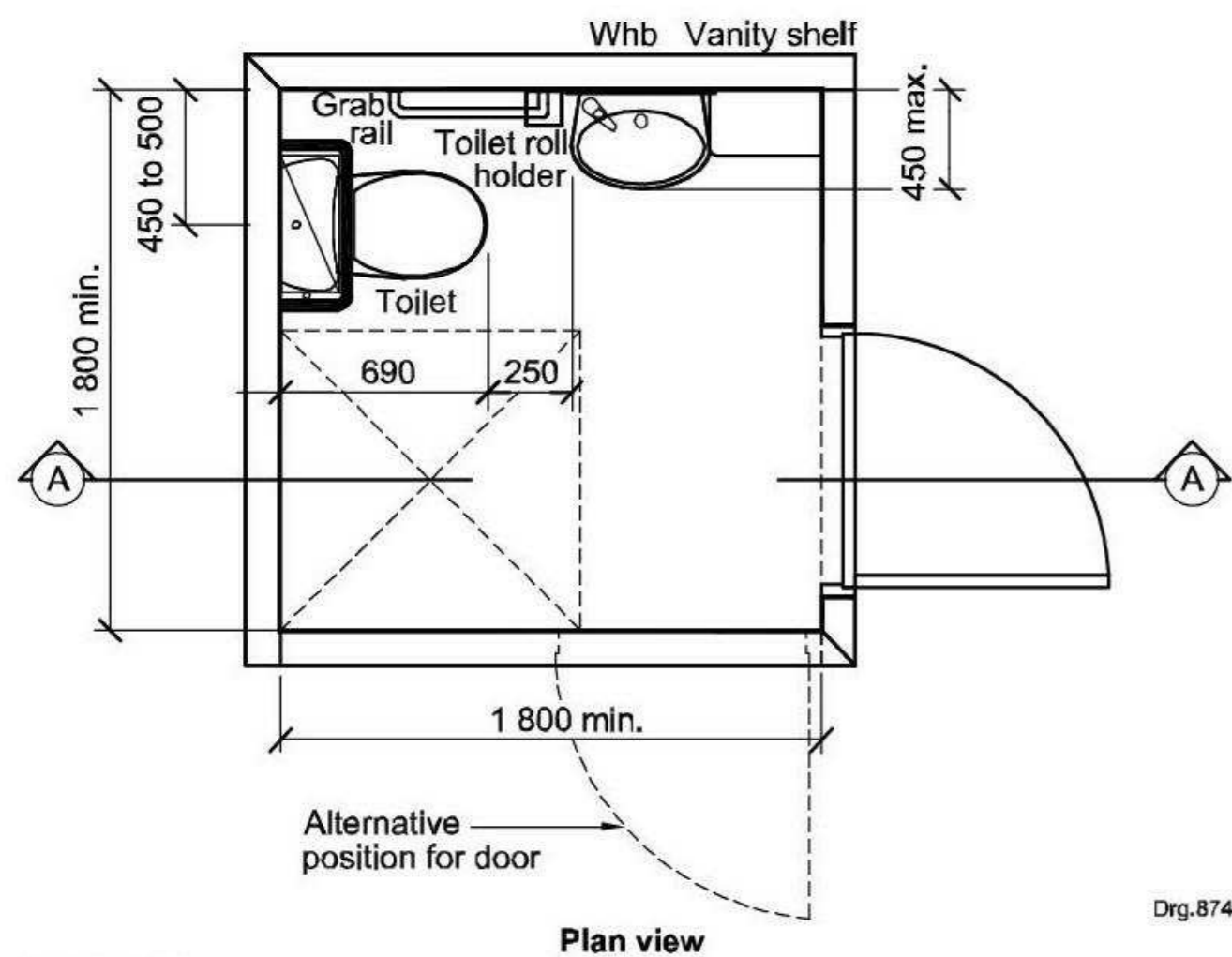
Elevation A-A

Drg.874a1



Drg.874b

Whb = wash hand basin



Drg.874a

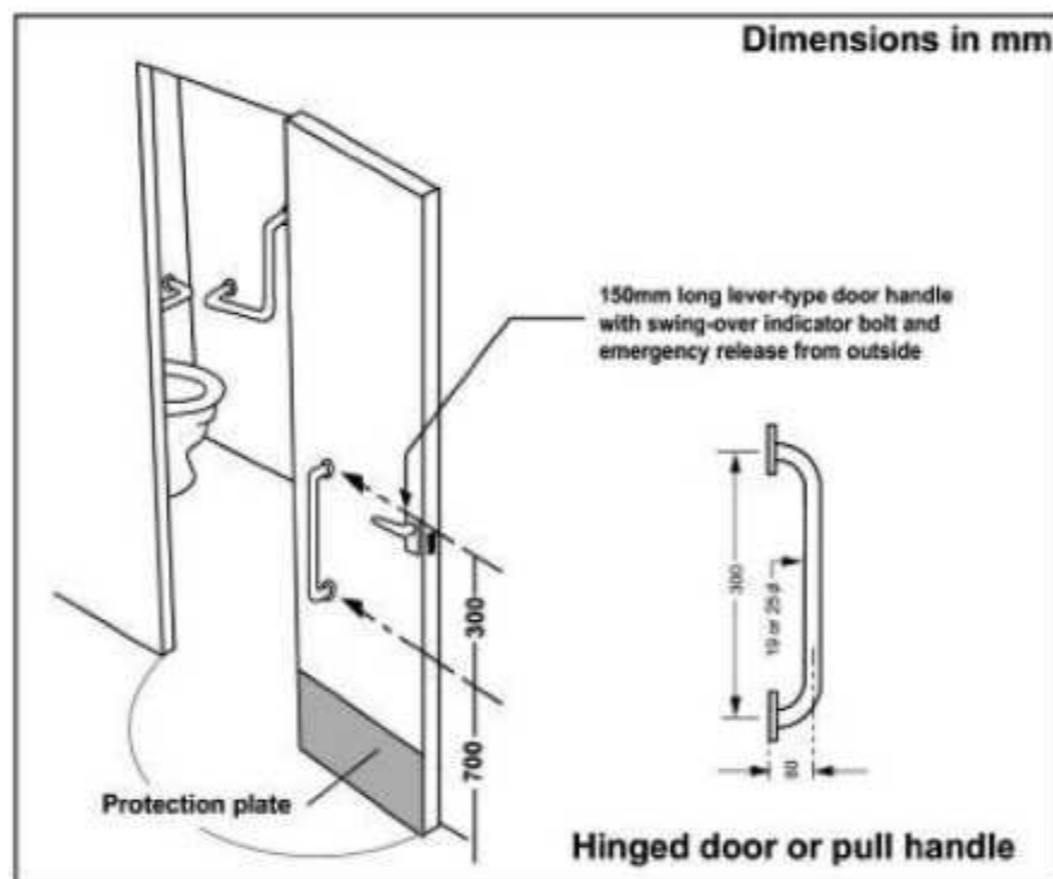
Whb = wash hand basin

Figure D.2 — Plan and elevation of a typical facility with a close-coupled toilet system

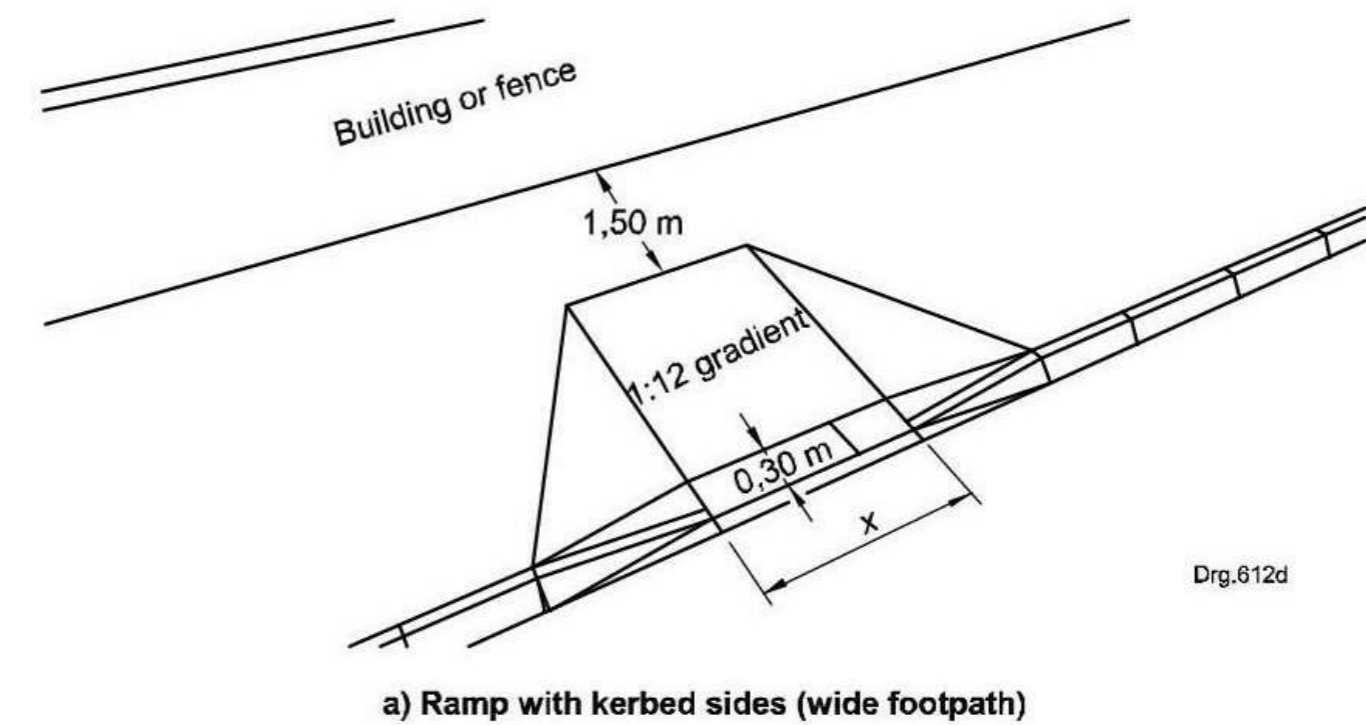
Disabled Detail

1 : 50

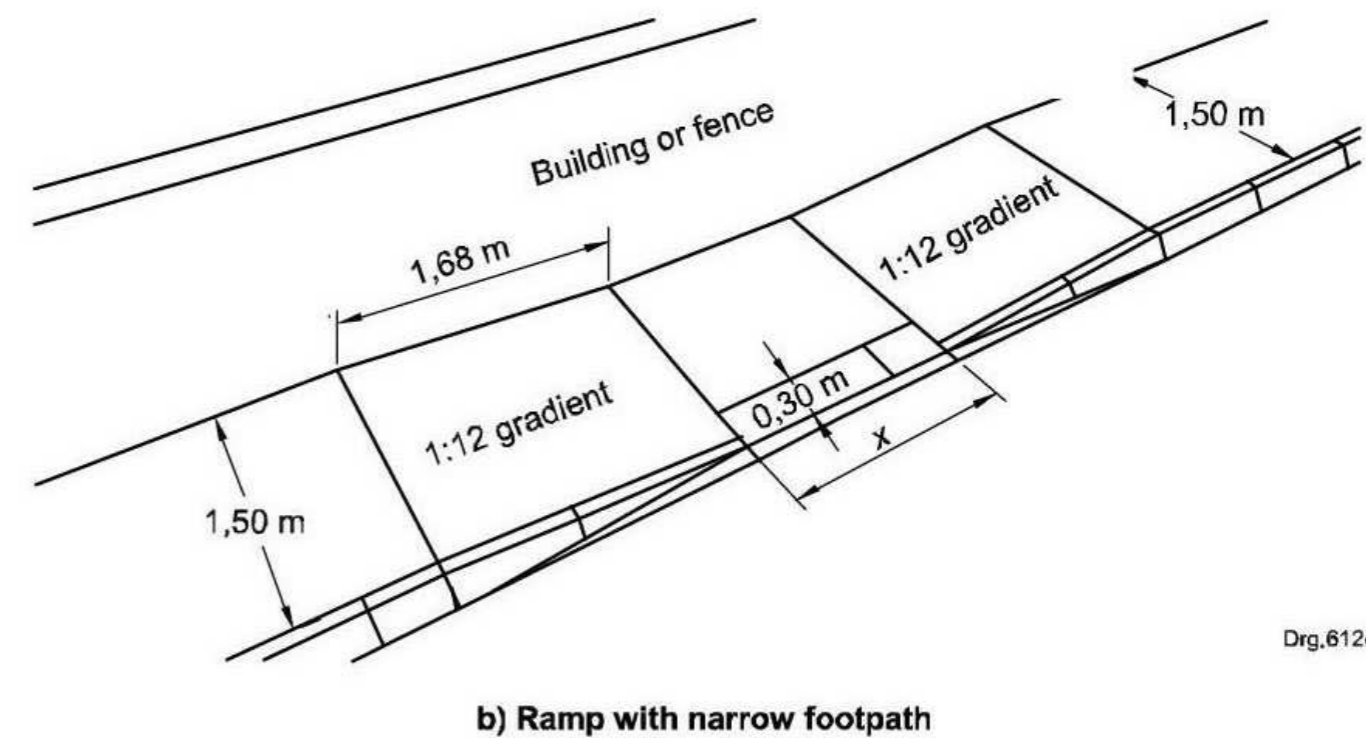
NOTE:
Provide Door Threshold
Ramp at each difference
in level



Hinged door or pull handle



Drg.612d



Drg.612e

Dimension "x" equals width of crossing, unless the kerb cut leads from a parking bay, in which case x shall not be less than 1 400 mm.

A buffer of 300 mm is provided (in accordance with SANS 784) from the edge of the roadway.

Figure 3 — Kerb cuts

PROJECT:
PROPOSED ADDITIONS FOR MR G
JANKIELSOHN ON FARM 938, GANSBAAI
FARMS.

DESCRIPTION:
DETAILS 2

SHEET FORMAT: A2	OCCUPATION: A1 & H5
SCALE: 1 : 50	DRAWING #: 938/TH/24
PAGE #: 23	PLOT DATE: 2025-06-03 11:42:32 AM
DRAWING DATE: 19 FEB 2024	

DRAWN:
Johan Gericke

SIGNATURE:
Johan Gericke

GERICKE
ARCHITECTURE |
www.gericke-architecture.co.za
info@gericke-architecture.co.za
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL
DRAUGHTSPERSON
JOHAN LODEWYCK SERFONTEIN GERICKE
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SANS 10400

- 1 All Structural Design in accordance with SANS 10400 Part B.
- 2 All Dimensions in accordance with SANS 10400 Part C.
- 3 All Site Operations in accordance with SANS 10400 Part F.
- 4 All Excavations in accordance with SANS 10400 Part G.
- 5 All Foundations in accordance with SANS 10400 Part H.
- 6 All Floors in accordance with SANS 10400 Part J.
 - Water Resistant Floors to be according to SANS 10400 Part J, Section 4.1 & 4.2.
 - Ground Floor Slab to be plain grade 10 concrete. Slab thickness not less than 75mm thick, laid on a Polyolefin underfloor membrane of thickness of not less than 250mic.
- 7 All Wallis in accordance with SANS 10400 Part K.
 - Construction of Walls & Morat to be in accordance with SANS 2001-CM1.
 - Max Height of Masonry Foundation Walls to comply with SANS 10400 Part K.
 - Freestanding Boundary & Garden Walls to be according to SANS 10400 Part K, Section 4.2.4.
 - Balustrade & Parapet walls to be according to SANS 10400 Part K, Section 4.2.5.
 - Control Joints in Walls to be according to SANS 10400 Part K, 4.2.6.
 - Lintols to be according to SANS 10400 Part K, Section 4.2.9.
 - Fixing of Roof Structures to be according to SANS 10400 Part K, Section 4.2.11.
 - All DPM & DPC to be according to SANS 10400 Part K, Section 4.5.3.
 - Fire Performance of Walls to be according to SANS 10400 Part T.
 - Lintols over double garage opening which does not exceed 5m shall be reinforced in accordance with SANS 10400 Part K, Section 4.2.9.4.
- 8 All Roofs in accordance with SANS 10400 Part L.
 - The fire resistance and combustibility of the roof assembly or any ceiling assembly are in accordance with the requirements of SANS 10400-T or 4.5.
 - Drainage & waterproofing of flat roofs to comply with SANS 10400, Section 4.3.1. & 4.3.4.
 - Gutters & Rain Water Down Pipes to be according to SANS 10400 Part L, Section 4.3.2.
 - Concrete roof upstands to comply with SANS 10400 Part L, Section 4.3.3.
 - Timber roof construction to be according to SANS 10400 Part L, Section 4.4.
 - Monopitched and double-pitched nailed and bolted trusses shall be of the Howe type (see figure 10), with the number of bays, bolts at connections, timber sizes and grades, roof pitches and centre-to- centre spacing in accordance with table 4 and figure 11, provided that no member of any truss shall have a length greater than 60 times its least dimension.
 - Support of Hot Water Geyser to be according to SANS 10400 , Part L, Section 4.4.1.2.10.
 - The fire resistance of any roof or ceiling assembly (or both), complete with light fittings or any other component which penetrates the ceiling, and the degree of non-combustibility of such assembly shall comply with the relevant requirements in SANS 10400-T and SANS 10400-V, as applicable.
- 9 All Stairways in accordance with SANS 10400 Part M.
 - Stairways to be according to SANS 10400 Part M, Section 4.1.
 - Handrails to Stairways to be according to SANS 10400 Part M, Section 4.3.
- 10 All Glazing in accordance with SANS 10400 Part N.
 - Glazing in external walls, internal walls, partitions, shower doors, cupboard doors and lifts within 800 mm of floor level are in accordance with the requirements of 4.2, and installed in a frame in accordance with either the requirements of SANS 2001-CG1 or a suitable method described in SANS 10137.
 - The panes of all safety glazing material shall be permanently marked by the installer in such a manner that the markings are visible in individual panes after installation.
- 11 All Lighting and Ventilation in accordance with SANS 10400 Part O.
- 12 All Drainage in accordance with SANS 10400 Part P.
 - All Single Stack Installations to be according to SANS 10400 Part P, Section 4.1.3.2.
 - Access to Drainage Installations to be according to SANS 10400 Part P, Section 4.19.
 - Access eyes to all bends and junctions and changes in gradient to waste and soil pipes.
 - All rodding eyes to have marked covers at ground level.
 - All waste pipes to be fully accessible.
 - Waste fittings to have 75mm deep seal traps.
 - Gradients to waste branches to be between 1,25 and 5.
 - Gradients to soil branches to be between 2,5 and 5.
 - Gradients to drains to be between 2,5 and 4,5.
 - All soil pipes under buildings to be encased in minimum 300mm concrete.
- 13 All Stormwater Disposal in accordance with SANS 10400 Part R
- 14 All Fire Protection in accordance with SANS 10400 Part T.
 - Fire Performance of Construction Materials to be according to SANS 10400 Part T, Section 4.5.
 - Fire Doors to comply with SANS 1253 Requirements.
 - Ceilings to be according to SANS 10400 Part T, Secion 4.13.
 - Provision of Fire Fighting Equipment to be according to SANS 10400 Part T, Table 11.
 - Fire Performance of Walls to be according to SANS 10400 Part T.
- 15 All Space Heating in accordance with SANS 10400 Part V.
- 16 All Fire Installations in accordance with SANS 10400 Part W.

Construction Notes

Site Corner Pegs

To be found and pointed out.

Site cleaning

Site must be thoroughly cleaned before any Construction may begin. Temporary toilet must be provided on yard. 1 Toilet for every 30 employees.

Foundations

As shown on Building Plan. Min. of 25Mpa strength for foundations after 28 days. All foundations must be horizontal. Steps in foundations due to level difference max 400mm. Foundations: 1 part Cement, 4 parts Sand and 5 parts 19mm Stone. Building Inspector and Engineer must inspect foundations before filling. Remove all organic matter. Foundations to comply with SANS 10400 Part H. Depth of foundations determined by engineer and soil conditions.

Floors - Concrete

As shown on Building Plan and follow Engineer's specifications. Filling done in 150mm layers at a time. All necessary service pipes must be laid before pouring concrete floor. DPC must be at least 100mm above ground level. Bathrooms and Kitchen floors must be waterproof. Construction joints and expansion joints according to Engineer and SANS 10400 Part J. Engineer to perform compaction test before pouring the concrete floor.

Brickwork

As shown on Building Plan. Brick = Corobrik® 14MPa nominal compressive strength NFX loadbearing Imperial brick, size 222 x 106 x 73mm. Exterior walls are 280mm thick and interior walls 115mm thick as shown on building plan and built stretcher bond method. In cavity walls, wall ties to be embedded in masonry joints at right angles to the brick skins. The number of wall ties per m2 of walling shall be 2.5 ties. Provide weepholes every 1000mm and 50mm in height. Class II mortar mix for brickwork, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand in thickness as indicated to brickwork. Surebuild cement is to be manufactured in accordance with SANS 50197-1. Bricks must comply with SANS 227 and 1215. In all load bearing brickwork supply approved NHBRC continuous brickforce in every second layer. In addition, supply continuous NHBRC approved brickforce in every layer for the first four layers above and below the top of foundations & slabs, as well as over and below all window and door openings. Minimum laps to be 300mm. In all foundation walls, supply continuous NHBRC approved brickforce in every layer up to the DPC layer. Lintols over all openings in building at a height of 2.1m from floor level and as shown.Min 3-4 Rows of brickwork allowed over lintols. Mixture: 1 part cement and 4 parts sand. Foundation walls - Cavities must be filled with concrete up to DPC. Galvanized Brickforce each layer of brickwork. Cavities should be cleaned every day after work. All walls and necessary construction joints to comply with SANS10400 Part K and SANS2001-CM1.

Roof

As shown on Building Plan. Engineers Certificate for the approval of roof construction is required by Municipality before Occupation Certificate is issued. Grade of timber reviewed by roofing specialists. ALL EXPOSED TIMBER TRUSSES / RAFTERS TO BE SMOOTH SAWN. Support crossbars as per specialists. All roofing timber that is built into walls must be covered with DPC at the section where it makes contact with the wall. All roof trusses erected and manufactured by specialists. Roof slope = As shown on Building Plan. Roof overhang = As shown on Building Plan. Use colour coded roofing screws as specified by supplier.

Earthworks

Levels indicated on building plans are estimated heights. Excavations and backfills must also be determined by Engineer. Contractor to confirm levels and excavations on site.

Engineering works

All steel elements, foundations, compaction, concrete slabs, retaining walls according to Engineering Design.

Waterproofing -

As shown on Building Plan. - Under concrete floors, under walls, around windows and doors, around roof trusses / beams in walls. Open/Exposed RC slab as per waterproofing specialists. Retaining walls - Waterproofing to bagged brick retaining walls to be one layer Derbigum CG3 waterproofing membrane, with 100mm side laps and 150mm end laps, sealed to primed surfaces by means of 'torch-fusion', to receive Delta MS8 dimpled drainage and protection layer to receive compacted fill (to engineers specification) on top of geo drainage pipe system (elsewhere specified). Waterproofing to be installed by an Approved Derbigum Contractor under a 10-year guarantee.

Movement -

Contractor to make provision for movement - ceiling, floor finishes, cornices etc.

Plastering and Finishing

Mix Concrim with plaster cement for extra waterproofing. Indoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand 10mm - 20mm thick finished with a steel trowel to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1. Outdoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand 10mm - 20mm thick finished with a wood float to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

Provide Plaster drip to all horizontal plaster at windows, doors and openings. Provide Plaster drip to all RC slab overhangs.

Sewage

According to municipal requirements and regulations. 110mm dia Sewage pipes and 50mm dia pipes at 1:60 gradient to be connected to new 6000L conservancy tank or connected to HOA/Municipal sewer connection as indicated. Sewage pipes must be able to withstand an internal pressure of 50kPa. All IEs provided at turns, junctions and gradient changes, all REs provided with marked ground level lids. All gulleys - open air. Any pipes closer than 900mm from building or under foundations to be protected in 320mm concrete. Foundations over pipes are equipped with steel reinforcement. All 50mm waste fittings equipped with reseal traps. No turns or connections under building. Plumber to work strictly according to SANS 10400 Part P.

Plumbing

Min 20mm Cobra Pex pipe for cold and hot water with inserts. Sanitary ware provided by owner. Shower doors or glass partitions according to owner. Toilets provided with 50mm Vent Pipe. Strictly according to SANS10252-1. Correct pipes used for the specific purpose according to manufacturers specifications. Specialist to determine that desired water pressure can be provided.

Glazing / Windows

Window installation will comply with SANS 10137, SANS10400 N and SANS1263-1. All windows are Aluminum and according to Window Schedule. 375 micron moisture barrier must be installed around all windows and openings. Window sills should be built outside with a 10 ° slope. All windows with clear glass provided otherwise required by SANS 10400 Part O. Bathrooms with frosted glass provided. T type of glass and film specified in Schedule must be installed. All glass with permanent mark provided with manufacturers name. Specialist specifications are preferred over details shown on plans. Manufacturers to provide certificate of compliance.

Insulation and Geyser

As shown on Building Plan.

All work to comply with National Building Regulations & relevant SANS. All requirements of the local authority must be strictly adhered to. The contractor is responsible for complying with the municipal regulations and familiarizing himself with the procedures of building control. All levels, unless otherwise indicated, are finished floor levels. All measurements, details and levels must be checked before any construction begins as well as before any materials are ordered. Dimensions indicated on plan take precedence over measurements scaled from plan. No part of construction work may exceed any building lines. Departure from approved building plans to be confirmed with draftsman first. Engineer specifications take precedence. Approved building plans must be available on site at all times. Site to always be clean. Plans to be read in conjunction with any other specialist plans. Any discrepancies or queries regarding the plans should be directed to the draftsman before construction begins. Electrical and water connection must be done before construction begins. Building and hazardous materials must be removed and disposed of responsibly.

PLEASE NOTE
Where specifications of materials or items are not described, manufacturer's specifications and descriptions must be obeyed.
If specified item / material cannot be used, similar must be sourced & used.

TO BE CONFIRMED WITH CLIENT:
1. Window/Door configurations
2. Type of timber floor covering
3.

TO BE CONFIRMED BY CLIENT:
1. Light & Plug fittings
2. Colour of Paint
3. Floor finishes
4. All tap fittings
5. Bedroom & Kitchen cupboard designs
6. Type of Balustrades
7. Height of Braai/Fireplace
8. Facebook to be used

Ceiling

As shown on Building Plan. 75mm Nutec Cornices to be neatly placed. Provide manholes where necessary.

Doors & Frames

Doors according to Swartland catalog and owner. Inside: Standard Swartland wooden frames according to door opening. Outside: Aluminum frame according door opening. Frames attached to brickwork with Steel Anchors at 600mm centres.

Handles

All handles are Stainless Steel. Exterior doors equipped with 3 lever locks. Interior doors equipped with 2 lever locks.

Kitchen

Cabinets According to Manufacturers Specifications and Owner Choice. Taps provided by owner must comply with SABS. Gas installation done by specialists and according to SANS 10087.

Floor / Wall Finishes & Skirtings

As per owner choice.

Electric

See Electrical Layout Plan for points. Lights & fittings provided by owner. Exterior walls - necessary electrical pipes placed inside cavities of walls.

Paint

2 x Coats Plascon plaster primer
2 x Coats Plascon Wall & All.
Final layer provided by owner.

Rainwater supplies

As shown on Building Plan.

ADDITIONAL SECTION NOTES

All brickwork, blockwork and masonry walls shall comply with the following specifications: In all load bearing brickwork supply approved NHBRC continuous brickforce in every fourth layer. In all load bearing blockwork supply NHBRC approved continuous brickforce every second layer. In addition, supply continuous NHBRC approved brickforce in every layer for the first four layers above and below the top of foundations & slabs, as well as over and below all window and door openings. Minimum laps to be 300mm. In all foundation walls, supply continuous NHBRC approved brickforce in every layer up to the DPC layer.

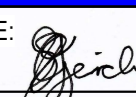
Corobrik® 14MPa nominal compressive strength NFX loadbearing Imperial brick, size 222 x 106 x 73mm, manufactured in accordance with SANS 227:2007, laid in foundations walls bedded and jointed in Class II mortar.

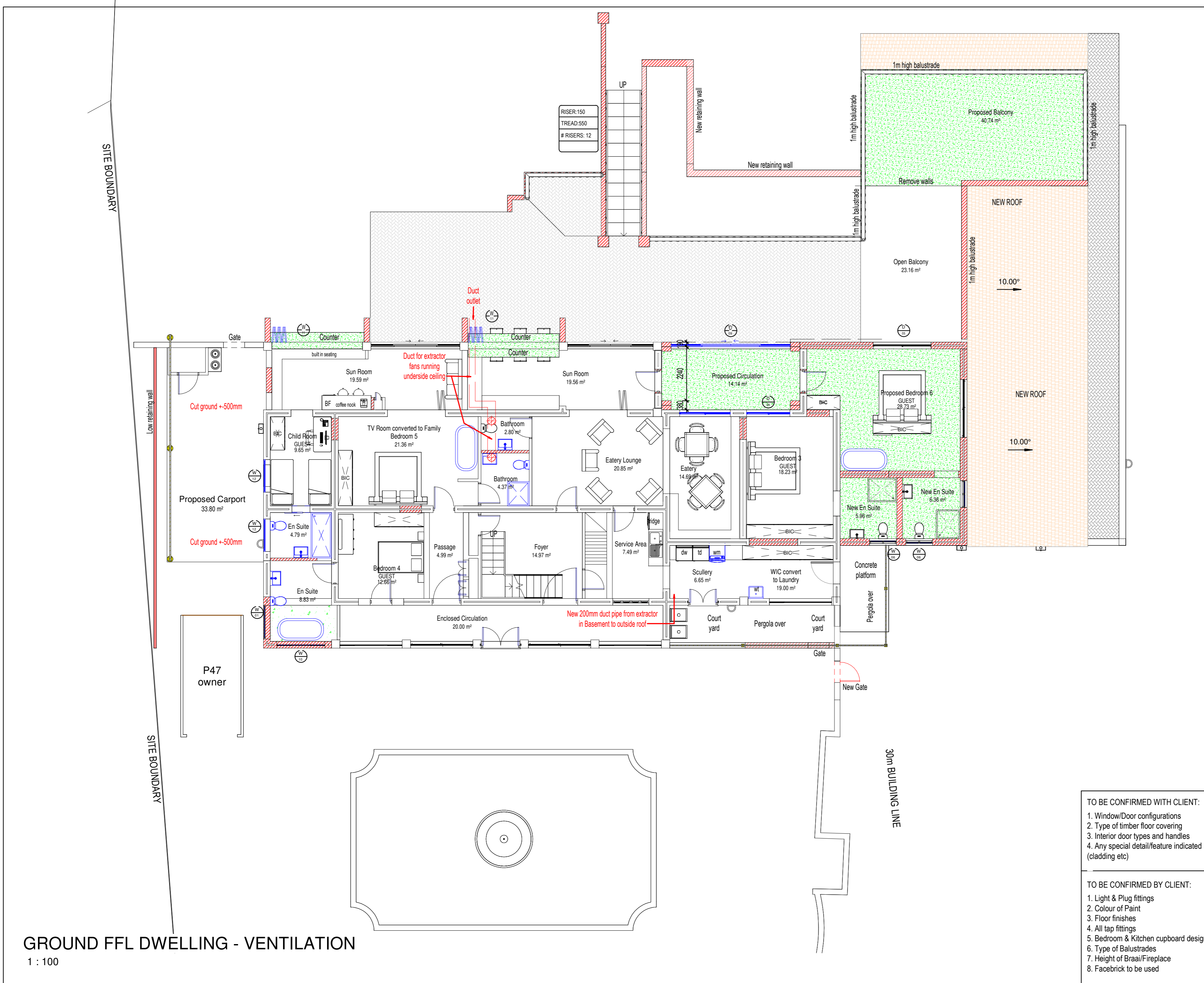
Class II mortar mix for brickwork, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand in thickness as indicated to brickwork. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

In cavity walls, wall ties to be embedded in masonry joints at right angles to the brick skins. The number of wall ties per m2 of walling shall be 2.5 ties.

All walls, lintols and construction joints to comply with SANS10400 Part K and SANS2001-CM1.

Indoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand 10mm - 20mm thick finished with a steel trowel to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1. Outdoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand 10mm - 20mm thick finished with a wood float to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

<p>PROJECT: PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.</p>	
DESCRIPTION:	NOTES
SHEET FORMAT: A2	OCCUPATION: A1 & H5
SCALE: 1 : 50	DRAWING #: 938/TH/24
PAGE #: 24	PLOT DATE: 2025-06-03 11:42:32 AM
DRAWING DATE: 19 FEB 2024	SIGNATURE: 
<p>GERICKE ARCHITECTURE</p> <p>www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught</p>	
<p>PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON JOHAN LODEWYCK SERPONTEN GERICKE</p> <p>18:51 PM (Africa/Johannesburg) on 21 Sep 2025</p>	



RISER: 150
TREAD: 500
RISERS: 12

IMPORTANT NOTE:
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT:
PROPOSED ADDITIONS FOR MR G JANKIELSOHN ON FARM 938, GANSBAAI FARMS.

DESCRIPTION:
Ventilation

SHEET FORMAT: A2
OCCUPATION: A1 & H5

SCALE: 1 : 100
DRAWING #: 938/TH/24

PAGE #: 25

DRAWING DATE: 19 FEB 2024
PLOT DATE: 2025-06-03 11:42:33 AM

DRAWN: Johan Gericke
SIGNATURE: *Johan Gericke*

GERICKE ARCHITECTURE
www.gericke-architecture.co.za
info@gericke-architecture.co.za
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
JOHAN LOEWYCK SERFONTEIN GERICKE
18:51 PM (Africa/Johannesburg) on 21 Sep 2025

- TO BE CONFIRMED WITH CLIENT:
1. Window/Door configurations
 2. Type of timber floor covering
 3. Interior door types and handles
 4. Any special detail/feature indicated (cladding etc)

- TO BE CONFIRMED BY CLIENT:
1. Light & Plug fittings
 2. Colour of Paint
 3. Floor finishes
 4. All tap fittings
 5. Bedroom & Kitchen cupboard designs
 6. Type of Balustrades
 7. Height of Braai/Fireplace
 8. Facebook to be used

GROUND FFL DWELLING - VENTILATION
1 : 100