



ERF 7182, 39 MARINE DRIVE, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: WRAP PROJECT OFFICE ON BEHALF OF SUNNY SEAS PROPERTIES (PTY) LTD

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application, applicable to Erf 7182, Hermanus, has been received for consent use in terms of Section 16(2)(o) of the By-Law, for tourist accommodation to permit the approved twenty-one (21) flats of the approved flat building to also be utilised for short term accommodation purposes for tourists.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any comments must be in writing in accordance with the provisions of Sections 51 and 52 of the By-Law to reach the Municipality (16 Paterson Street, Hermanus / (f) 028-3132093 / loretta@overstrand.gov.za) on or before **14 June 2024**, quoting your name, address and contact details, interest in the application, as well as the reasons for comment. Telephonic enquiries can be made to the Town Planner, **Mr. H Boshoff (Town Planner)** at 028-313 8900. The Municipality may refuse to accept comments that are received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them to formalize their comments.

ERF 7182, MARINE-RYLAAN 39, WESTCLIFF, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM VERGUNNINGSGEBRUIK: WRAP PROJECT OFFICE NAMENS SUNNY SEAS PROPERTIES (PTY) LTD

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek, van toepassing op Erf 7182, Hermanus, ontvang is vir 'n vergunningsgebruik ingevolge Artikel 16(2)(o) van die Verordening vir toeriste-akkommodasie om toe te laat dat die goedgekeurde een-en-twintig (21) woonsteleenhede van die goedgekeurde woonstelblok ook vir kort-termyn akkommodasie doeleindes vir toeriste aangewend mag word.


Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik wees in ooreenstemming met die bepalings van Artikel 51 en 52 van die Verordening en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 028-3132093 / loretta@overstrand.gov.za) bereik voor of op **14 Junie 2024**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan die Stadsbeplanner, **Mnr. H Boshoff (Stadsbeplanner)** by 028-313 8900. Die Munisipaliteit mag kommentaar wat na die sluitingsdatum ontvang is, weier. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 7182, 39 MARINE DRIVE, WESTCLIFF, HERMANUS, UMMANDLA WOMASIPALA WASE-OVERSTRAND: ISICELO SOKUSETYENZISWA IMVUME: MESSRS WRAP PROJECT OFFICE EMAGENI LIKA SUNNY SEAS PROPERTIES (PTY) LTD

Isaziso sinikezelwa ngokungqinelana neCandelo lama-48 loMthetho kaMasipala woLungiso loCwangciso lokuSetyenziswa koMhlaba kaMasipala, ka-2020 (uMthetho kaMasipala), sokuba isicelo, ngokubhekiselele kwiNdawo engunombolo 7182, eHermanus, sifunyenwe ngenjongo yosetyenziso oluvumelekileyo ngokulandela kwiCandelo le-16(2)(o) loMthetho kaMasipala, ukubonelela ngendawo yokuhlala yabakhenkethi ukuze kuvumeleke iiflethi ezingamashumi amabini ananye (21) ezivunyiweyo zesakhiwo esivunyiweyo ukuba zisetyenziselwe iinjongo zokuhlalisa abakhenkethi ixesha elifutshane.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxesha eveki phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: Zicwangiso ngeDolophu, 16 Paterson Street, Hermanus. Naziphina izimvo ezibhaliweyo mazingeniswe ngokungqinelana nezibonelelo zeCandelo lama-51 kunye nelama-52 lalo Mthetho kaMasipala oxeliweyo kwaye zifike kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngomhla okanye phambi kuka- **14 EyeSilimela 2024** ucaphula igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zokuhlomla. Imibuzo ngomnxeba ingenziwa **kuMnu. H Boshoff** (Umcwangcisi weDolophu) kule nombolo 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.

Locality Plan Erf 7182 - Hermanus

 Subject property

Plan prepared by: Thian Jansen

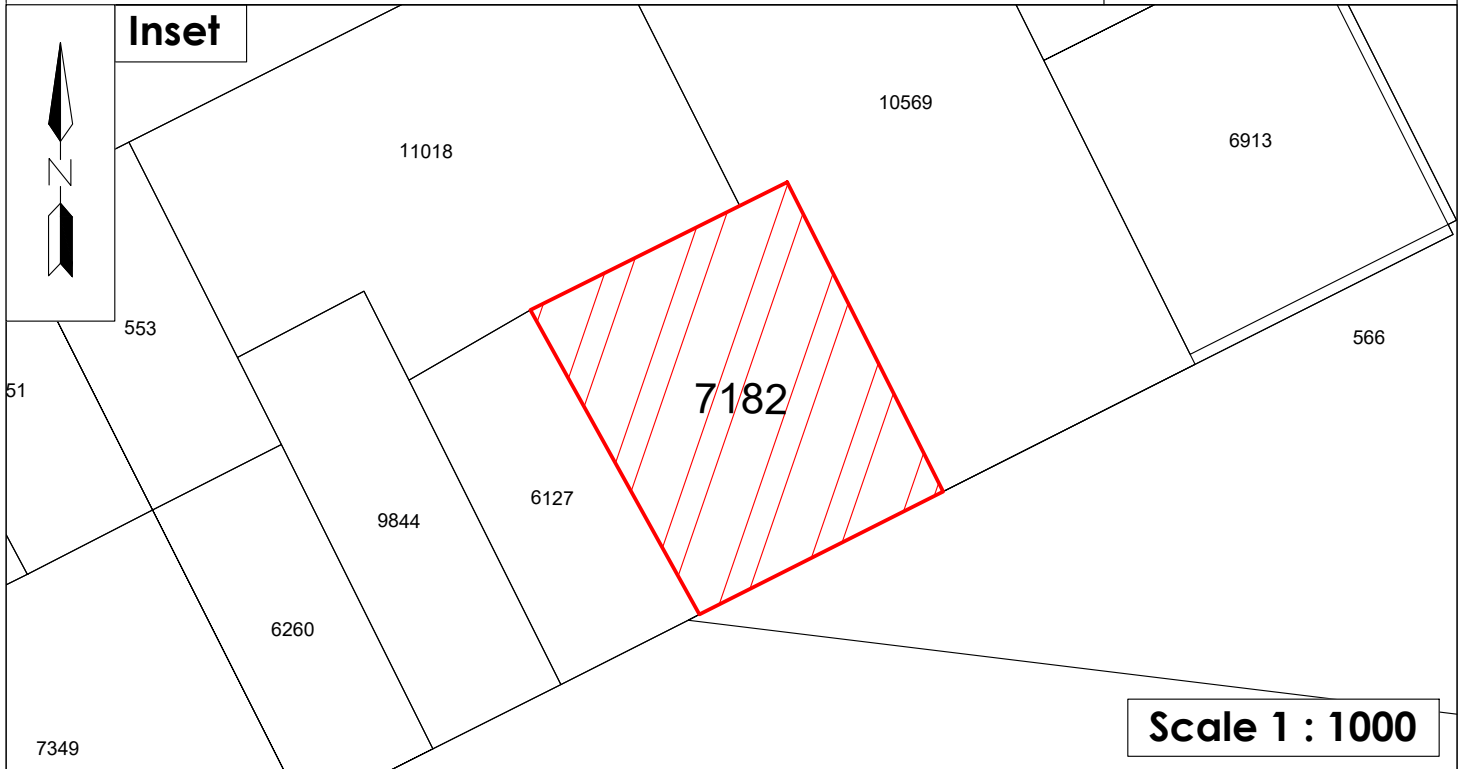
Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Unit B, Standard House,
Corner of Royal and Dirkie Uys
Street Hermanus, 7200

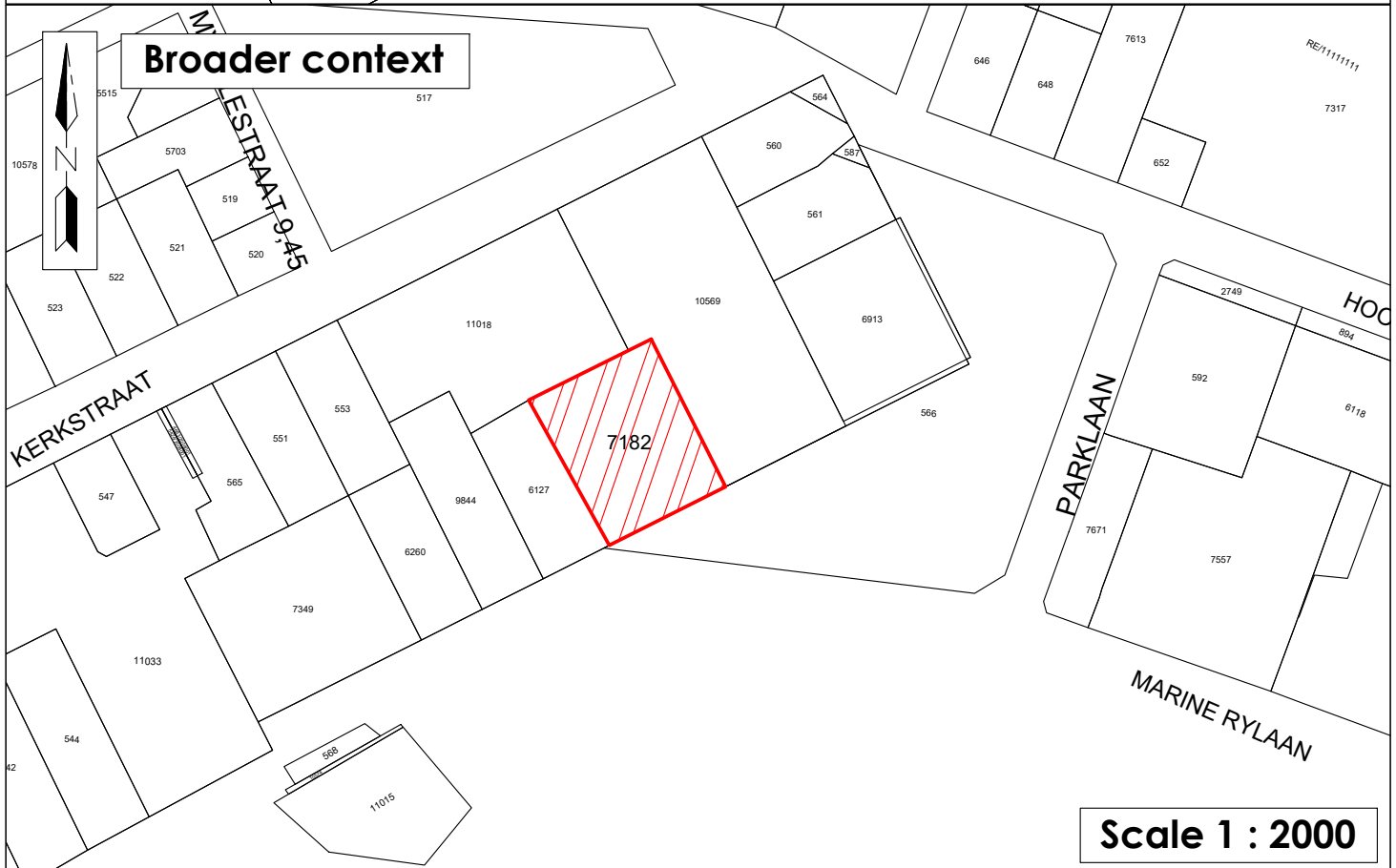


Inset



Scale 1 : 1000

Broader context



Scale 1 : 2000



1. ABBREVIATIONS

OM	Overstrand Municipality
OMLUS	Overstrand Municipality Land Use Scheme, 2020
BY-LAW	Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020
LUPA	Western Cape Land Use Planning Act, 2014.
MSDF	Overstrand Spatial Development Framework, 2020

2. PROPERTY DETAILS

Consultant	WRAP Project Office
Erf Number	Erf 7182, Hermanus
Extent	1677m ²
Zoning	General Residential Zone 3: Flats (GR3)

3. BACKGROUND AND INTENT

Erf 7182 Hermanus, hereafter referred to as the property (Refer to **Plan 1** for the locality), is owned by Sunny Seas Properties Proprietary Limited, who purchased the subject property with the vision to develop the hallmark development and to unlock its maximum potential and to ensure the proposal is feasible and more importantly, desirable. The rezoning application to allow twenty-one (21) luxury flats with amenities was approved in late 2023. This application serves to obtain consent use for tourist accommodation to allow the flats to be rented out as short-term accommodation. The property owners appointed WRAP Project Office to submit this land use application on their behalf (refer **Annexure A – Power of Attorney**).

The subject property is proposed to be developed by Horizon Capital that is a developer in the Western Cape focussing on both commercial and residential developments, with many successful developments completed. The future flats will capture the essence of Hermanus and complete the seafront property line.

The subject property is zoned General Residential Zone 3: Flats (Bulk Zone 1) and will have a future block of 21 luxury flats with the entire development spread over 4 storeys. The flats will be constructed to the highest standards with luxury finishes.

The developers have a vision for the future owners of the flats to be able to use their flats for short-term tourist accommodation. The flats will be sold on the open market and any future owners may want to capitalise on the lucrative short-term rental market, especially in a tourist destination like Hermanus. The flexibility enables any future owners to generate additional income during peak tourist seasons or events, maximizing revenue potential.

To achieve the owners' vision, the following is being applied for:

- Consent use for tourist accommodation.

4. PROCEDURE TO ACHIEVE THE PROPERTY OWNERS' INTENT

4.1. **Consent Use** for tourist accommodation on Erf 7182 Hermanus in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.

The proposal is to apply for a consent use to allow tourist accommodation on the property. However, it should be stated that the flats will not be used for tourist accommodation only, but the developers want to have the option available for new owners to be able to utilise their flats for short-term tourist accommodation. If the new owners of the flats do not want to exercise their rights for short-term accommodation they will not be forced to do so.

The flats will be one of several other properties in the area that will be rented out for short-term tourist accommodation. Marine Drive is a popular street in Hermanus with significant tourist attractions and great access to the entire central area of Hermanus. Therefore, it is not uncommon to observe short-term tourist accommodation in the area of the property. The below *table 1* and *figure 1* indicate the flats that are rented out on Airbnb within the area of the subject property.



Figure 1: Indication of Airbnb accommodation

Table 1: Airbnb accommodation listed from Figure 1

No.	Airbnb name	Address	Hosted by
1	Whale Haven@SeaVillage	55 Marine Drive	Wayne & Dallia
2	Ocean Breeze Hermanus	55 Marine Drive	Svenia
3	Sea and Champagne Air	61 Marine Drive	Janet
4	Esplanade 312 Village View (2 Bed)	61 Marine Drive	Elizma
5	Esplanade 105 Sea View (1 Bed Terrace)	61 Marine Drive	Elizma
6	Esplanade Penthouse (3 Bedroom)	61 Marine Drive	Elizma
7	Ocean Bliss	45 Marine Drive	Kathy
8	Wonderview	45 Marine Drive	Kathy
9	17 Marine (1 Bedroom Garden Apartment-New Private Hot Tub)	17 Marine Drive	Back in Town
10	17 Marine 202 (Unique Solar Powered Apartment)	17 Marine Drive	Back in Town



It is evident from the above information that there are many short-term tourist accommodation options available in the area of the property. According to the municipal zoning information, the above properties; 17, 45, 55 and 61 Marine Drive all have the same zoning as the subject property, namely General Residential Zone 3: Flats Bulk Zone 1. Therefore, the proposal will not be out of character with the other properties in the area with the same zoning, which are being rented out for short-term accommodation.

The developers have taken cautious measures to ensure that the short-term letting (tourist accommodation) will also need to comply with the body corporate conduct rules. The body corporate conduct rules are regulations that govern the conduct of residents and owners within the sectional title scheme. These rules are established by the body corporate. The purpose of these rules is to ensure harmonious communal living and to regulate the use of common property on the erf. These rules cover various aspects such as letting, noise levels, parking, keeping of pets and any other relevant matter pertaining to the shared spaces and communal living.

These rules are legally binding and must be adhered to by all residents and owners of the flats, this includes the persons making use of the tourist accommodation. Below is an extract from Section 10 of **Annexure D – Body corporate conduct rules**;

- “10. (1) Short-term letting is permitted within the scheme.
(2) An owner must, prior to occupancy being taken by a tenant:
(a) ensure the completion of Annexure B;
(b) furnish them with a copy of the conduct rules, and
(c) inform them of their obligation to observe the conduct rules.”

Due to these rules applying to all persons entering the property, it's essential for all residents and owners to familiarize themselves with these rules to ensure compliance and to contribute to a peaceful living environment. Therefore, all tenants (short- or long-term) will receive a copy of the conduct rules.

According to the OMLUS, “tourist accommodation” is defined as:

‘...the letting of rooms or individual unit(s) (including a dwelling house/unit) on a temporary basis to transient guests where a daily or weekly tariff is applicable and includes a guest house, backpackers’ establishment, camp sites, and associated amenities, provided that the use complies with the requirements of any other relevant legislation.’

Tourist accommodation is allowed in terms of the existing zoning with the consent of the OM.

Utilising the proposed flats for both short-term accommodation and permanent residents, offers numerous benefits, catering to different needs and enhancing the overall appeal and functionality of the development. As previously mentioned, by allowing the flats to be rented out as short-term tourist accommodation, the future owners may capitalize on the lucrative short-term rental market.



Promoting the flats as both permanent residences and short-term tourist accommodation allows for diverse marketing strategies. The luxury amenities and prime location make the property attractive to potential permanent residents seeking a prestigious address, while highlighting its suitability for short-term tourist accommodation. The short-term tourist accommodation could appeal to investors seeking opportunities to generate additional income. The added 'bonus' of having the rights to rent out the flats for short-term accommodation will attract more potential buyers due to the lucrative opportunity. Owning an oceanfront flat with the opportunity to utilise the flat during holiday times and rent the flat out for short-term tourist accommodation the rest of the year, is an attractive selling point.

Offering high-end short-term tourist accommodation contributes to attracting tourists to the area, stimulating local businesses, and boosting the local economy. Visitors seeking high-end accommodation will be drawn to the property, thus benefiting nearby restaurants, shops, and attractions.

Having a mix of permanent residents and transient guests can contribute to better property maintenance and security. Permanent residents have a vested interest in the upkeep of the property and may help monitor any security concerns, complementing the efforts of property management. The developers, Horizon Capital will oversee managing the short-term accommodation as part of their development portfolio.

Allowing the property to be used for both short-term accommodation and permanent occupation promotes sustainable tourism practices by preserving the residential character of the neighbourhood. The dual-use approach of utilising the luxury flats for both short-term accommodation and permanent residences, offers a multifaceted solution that maximises revenue potential, promotes community integration, and enhances the overall appeal and sustainability of the development.

5. LAND USE ENVIRONMENT

The property is located in Marine Drive, along the popular coastal path with mixed-use properties. The property is mainly surrounded by residential, business and community use properties. The surrounding area's zonings are illustrated in **Plan 2** (zoning plan).

6. TITLE DEED

The title deed of the subject property was perused (T52189/2021, refer to **Annexure B**) and it contains no restrictive conditions.

7. ZONING

The following zoning parameters were assessed in conjunction with the GR3 OMLUS zoning as this is a relevant consideration in terms of Section 66 (1) (q) of the OM By-Law:



GENERAL RESIDENTIAL ZONE 3: FLATS (GR3)			
Land Use Restrictions			
	Parameters	Proposal	Comply/ deviate
Primary use	Flats and Town House in accordance with 6.3.2 and residential buildings.	Flats	Comply
Consent use that may be applied for	Crèche, Day Care Centre, Home Occupation, Hotel, Institution, Place of Assembly, Place of Instruction, Place of Worship, Retirement Village, Tourist Accommodation and Transmission Apparatus.	Tourist Accommodation	Deviate – Applied for and motivated
Development parameters			
Density	A minimum erf size of 3000 m ² is applicable for densification.	Approval dated 2023. (Refer to Annexure C)	Comply
Floor Factor	3	1.87	Comply
Coverage	100%	68.5%	Comply
Height	12,5m (4 Storeys)	12,5m (4 Storeys)	Comply
Setback	(i) The Municipality may require an 8,0 m setback from the centreline of the abutting street, provided that the Municipality may permit stoeps to be located within the setback line. (ii) The general provisions of 16.2 apply.	8,0m	Comply
Building lines	(i) The street building line is 4,0 m. (ii) The side building line is 4,5 m, provided that where a fourth storey is provided, the Municipality may require the fourth storey to be set back 6,0 m from the property boundary. (iii) The rear building line is 3,0 m, provided that where a fourth storey is provided, the Municipality may require the fourth storey to be set back 6,0 m from the property boundary.	(i) Comply (ii) Comply (iii) Comply	(i) Comply (ii) Approval dated 2023 (Refer to Annexure C)



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	(iv) The general building line exemptions of 16.1 apply.		(iii) Approval dated 2023 (Refer to Annexure C)
Open space	(i) Every block of flats, residential building or hotel in this zone must have access to an outdoor living area and will provide communal open space but excludes parking, service yards and roads. (ii) Communal open space of at least 10% of the whole property must be provided as outdoor recreational/garden areas as one functional space.	Open space is located on the first and second floor (second and third storey), interlinked by means of "green steps" between the two floors, to function as one communal space. 185,2m ² = 11,04%	Comply
Parking	Parking and access shall be provided on the land unit in accordance with 17.1. 1.5 Parking Bays – 1 Bedroom Dwelling Unit 2 Parking Bays – 2/3 Bedroom Dwelling Unit	42 Parking Bays required – 42 parking bays provided At least 1 parking bay per 25 parking bays or part thereof required for the disabled. As per Section 17.1.9 parking for the disabled count towards off-street parking provision.	Comply



8. SERVICES

The availability of services is a relevant consideration in terms of Section 42(1)(c)(v) of SPLUMA and is herewith illustrated.

Electricity, Water, Sewage and Solid Waste

The subject property is connected to the OM's networks which include electricity, water and sewage. The proposal of this application will not have an impact on the existing network, whether the flats are used by transient guests or flat owners, the same number of services will be used.

Solid waste will be collected weekly by the OM. The solid waste will be accumulated in the proposed refuse room which will be emptied on the applicable solid waste pick-up day of the surrounding area.

Access and Egress

Access to and egress from the subject property is from one vehicular point in Marine Drive. The 5m wide access will have sufficient stacking capability to allow two cars to stack up behind each other in front of the access controlled motorized gate.

9. NEED AND DESIRABILITY

The need and desirability of the approval and implementation of this proposal in accordance with Section 66 (1)(c) of the OM By-Law can be illustrated as follow:

Need and desirability

The need for the land use application arose from the property owners identifying the need to give the potential buyers the option to rent out their flats for short-term accommodation and to make the flats more attractive and lucrative for the potential buyers.

Socio-economic impact	<ul style="list-style-type: none"> • Boost the local economy: Short-term accommodation may attract tourists and short-term visitors to the area, leading to increased spending in local businesses such as restaurants, shops, and attractions. This may stimulate economic growth and create job opportunities in the community. • Income generation: Homeowners who participate in renting out their flat for short-term accommodation may generate supplementary income, which may contribute to their financial stability and improve their quality of life. • Diversification of housing options: By allowing these flats to be used for both short-term tourist accommodation and permanent residents, it provides diverse housing options within the Hermanus community. This flexibility may accommodate various needs and preferences,
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	<p>including short-term visitors, long-term renters, and homeowners.</p> <ul style="list-style-type: none"> • Revitalisation of Neighbourhoods: short-term accommodation may contribute to the revitalisation of neighbourhoods by attracting visitors and bringing new energy to the area. Well-maintained short-term accommodation properties can enhance the aesthetic appeal of the famous Marine Drive and encourage further investment in local infrastructure and amenities. • Cultural Exchange and Community Engagement: Short-term accommodation facilitate cultural exchange between hosts and guests, promoting cross-cultural understanding and fostering community engagement.
<p>Compatibility with surrounding uses</p>	<ul style="list-style-type: none"> • As previously mentioned in <i>Section 4</i> of this report, the surrounding uses are similar to what is being applied for. Therefore, the proposal is compatible with the surrounding uses. • The development's dual-use nature aligns with the existing residential character of the area, fostering a sense of community integration. Both permanent residents and transient guests can contribute positively to the Hermanus social fabric, supporting local businesses and participating in community events, including those held at the nearby church. • The oceanfront location across the street presents a unique opportunity to capitalize on the area's natural beauty and recreational amenities. Residents and transient guests alike can enjoy easy access to oceanfront activities, waterfront dining, and leisurely strolls along the coastal path, enhancing the overall appeal and desirability of the development. • The proximity to both a religious landmark and a picturesque oceanfront can enhance the tourism potential of the development. Short-term accommodation can attract travellers seeking unique accommodation experiences with convenient access to both cultural and recreational attractions, thereby stimulating tourism-related spending in the area.
<p>Impact on the external engineering services</p>	<p>Refer Section 9 of this report.</p>
<p>Impact on safety, health and wellbeing of the surrounding community</p>	<ul style="list-style-type: none"> • The body corporate has compiled conduct rules that will apply to all residents and owners entering the property (Refer to Annexure D) that will ensure that the proposed tourist accommodation will not



	<p>have an adverse impact on the surrounding community.</p> <ul style="list-style-type: none"> • It is not predicted that the proposal will have an impact on safety, health and wellbeing of the surrounding community: • Safety: These high-quality, well-maintained luxury flats will contribute to enhancing the overall safety of the area. With the property being developed to the highest standards, including security measures such as gated access, surveillance cameras, and on-site management, it will help create a secure environment for both residents and visitors. • Health: The recreational areas may promote active lifestyles and improve overall wellbeing of both the residents and tourists. • Wellbeing: The introduction of luxury flats with upscale amenities can contribute to enhancing the quality of life for residents and tourists. Access to well-designed living spaces, communal areas, and leisure facilities can foster a sense of community and social interaction. • Furthermore, the presence of short-term accommodation options can attract a diverse range of visitors, bringing vibrancy and cultural enrichment to the Hermanus area.
Impact on heritage	<p>The subject property is not listed in the OM Heritage Register. However, is located within the Heritage Protection Overlay Zone (HPOZ).</p> <p>Refer to <i>Section 10</i> of this report, where the Hermanus Historic Heritage core is addressed.</p>
Impact on the biophysical environment	<p>It is not predicted that the proposal of tourist accommodation will have an impact on the biophysical environment.</p>
Traffic impacts, parking, access and other transport related considerations	<p>It is not expected that the proposal will have an impact on traffic, parking or access. It should be noted that the parking requirements are being adhered to in terms of the OMLUS and that this proposal is not proposing any additional traffic or persons to the development than what is already approved.</p>

To achieve their vision, the property owners have appointed WRAP Project Office to submit this application to ensure the proposed consent use is not in contradiction to any policies, legislation, or title deed conditions.

Impact on views, sunlight, and character of the area

The proposal is not intended to have an impact on the views, sunlight, and character of the area. The proposal is to allow the flats within the approved development to be utilised for short-term tourist accommodation.



Economic impact

The proposal will have significant positive economic impacts on both the property owners and the broader community. The short-term accommodation will provide future owners with a flexible and lucrative opportunity to generate additional income from their investment. By renting out luxury flats to tourists on a short-term basis, the flat owners may maximise their revenue potential, especially during peak tourist seasons or special events in Hermanus. This additional income stream can contribute to the financial sustainability and profitability of the development.

The operation and management of short-term accommodation require various services, including cleaning, maintenance, guest services, and property management. This creates employment opportunities for local residents, contributing to job creation and economic growth in the community. Additionally, the influx of tourists attracted to the area by the availability of upmarket luxury accommodation can stimulate demand for hospitality, retail, and other related services, further boosting employment opportunities.

The presence of short-term tourist accommodation can attract a diverse range of tourists to Hermanus, including domestic and international travellers seeking upmarket experiences. These tourists typically spend money on accommodation, dining, shopping, entertainment, and experiences, injecting revenue into the local economy. The multiplier effect of tourism spending can have ripple effects across various sectors, supporting businesses and livelihoods throughout the community.

Overall, the introduction of short-term tourist accommodation on the property has the potential to stimulate economic growth, create jobs, and generate revenue for property owners and the local community. By leveraging the opportunities presented by the short-term rental market, the proposal may contribute positively to the economic vitality and sustainability of Hermanus as a tourist destination.

Opportunity cost

An opportunity cost in the context of land use planning refers to a development proposal that leads to the devaluation or foregoing of valued land use rights of interested and affected parties when an application is approved. The proposal is in line with the existing zoning and the development parameters of the OMLUS. Great care has gone into the design of the proposal, and it is predicted that it will not negatively impact the area.

Impact on heritage

As mentioned, the property is not listed in the OM Heritage Register. However, it is located within the Heritage Protection Overlay Zone (HPOZ): Local Areas and motivated in *Section 10* of this report.

Environmental impact

The property is located within the Overstrand Municipality Environmental Protection Overlay Zone (EMOZ) and motivated in *Section 10* of this report.



10. POLICIES AND REGULATIONS

10.1 Overstrand Municipality Environmental Protection Overlay Zone (EMOZ)

A large portion of the property is located within the Coastal Protection Zone and to ensure compliance with the guidelines set out in the EMOZ, the application was evaluated in terms of the provisions of Schedule A & B of the Environmental Management Overlay Zone 2020:

SCHEDULE A		
PROHIBITED ACTIVITIES IN OVERSTRAND ENVIRONMENTAL MANAGEMENT OVERLAY ZONES		
Prohibited Activity	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Agricultural practices within this EMOZ which may cause water logging and siltation.	X	N/A
Planting or harbouring of declared emerging weeds on properties within and adjacent to this EMOZ.	X	N/A
Development or agriculture on slopes steeper than 1:4.	X	N/A
Establishment of Informal settlements or Temporary Relocation Areas.	X	N/A
No land user within this EMOZ may utilise the vegetation in a vlei, marsh or within the flood area of watercourse in a manner that may cause the deterioration or damage to the natural agricultural resources.	X	N/A
Placement of religious symbols or memorabilia.	X	N/A
Harvesting /collection of kelp / seaweed in municipal designated "no-take" zones.	X	N/A
Harvesting, collection, moving, loading drying of kelp /seaweed, with a valid Seaweed Harvesting Permit or an exemption in terms of Section 81 or the MLRRA issued by the DAFF.	X	N/A
Stockpiling, drying, processing or loading of marine resources beyond areas designated, demarcated and signposted by the Municipal Council for such purposes.	X	N/A
Modification of the littoral active zone / functional dune systems in absence of approved management plans.	X	N/A
Feeding, disturbing / pursuit of fauna.	X	N/A
Disturbance, modification or destruction of the environment or species within special management areas designated, demarcated and signposted by the Municipal Council from time to time.	X	N/A
Defacing/damaging / removing of any notice, sign, barrier building or other infrastructure.	X	N/A
Playing or tampering with any rope, float, buoy, vessel, shelter or similar life - saving device.		N/A
Staying overnight.	X	The property will have 21 flats.



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The discharging of domestic effluent / grey water into all natural systems.	X	N/A
Tampering with security / surveillance infrastructure.	X	N/A
Defacing of rocky outcrops and placement of memorial plaques, religious symbols or structures on natural features.	X	N/A
Graffiti, vandalism or damaging of municipal infrastructure.	X	N/A
Littering	X	N/A
Disposal of cigarette butts, ash or other hazardous materials in any place or manner other than a receptacle designated for such items	X	N/A
Dog walking / exercising of dogs in non- designated zones.	X	N/A

SCHEDULE B ACTIVITIES ONLY PERMITTED WITH COUNCIL CONSENT IN OVERSTRAND ENVIRONMENTAL OVERLAY ZONES		
A) Activities Only Permitted With Council Consent	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Permission for the utilization of access routes to permitted kelp / seaweed harvesting sites.	X	N/A
Removal or destruction of vegetation which is protected and/or of conservation concern.	X	N/A
Dune maintenance on private land as per approved dune maintenance management plans.	X	N/A
Excavation and destruction or removal of substrate (soil, substrate, rock, shellgrit, dune sediment, mineral deposits).	X	N/A
Discharging of pool backwashing or untreated grey water or the channelling of storm water into open spaces without the necessary approval from the Municipality.	X	The property's pool water will be managed in a sustainable manner.
B) Permit Upon Approval By Delegated Authority and / Receipt of Tariff	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Installation of conservancy tanks or biological treatment plants within 50 metres from the edge of a watercourse / wetland.	X	N/A
Access from private properties to open spaces, including the removal of vegetation and the establishment of paths, structures and infrastructure.	X	N/A
Commercial filming.	X	N/A



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Construction or placement of any temporary object, building, shelter, path or structure.	X	N/A
Use of engine or motor driven vehicles, remotely piloted aircraft or any other means of transport or other conveyances beyond designated, demarcated and signposted areas.	X	N/A
Launching of vessels at registered launch sites.		N/A
C) Council Authorisation Pending Consent Use Application / Lease Agreement / Applicable Tariffs as applicable	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Buildings / Structures associated with: Taking of water, storing of water, impeding or diverting flow, stream flow reduction, altering the bed, banks, course characteristics, outflow structures or discharge pipes.	X	N/A
Buildings / Structures associated with: Taking of water, storing of water, impeding or diverting flow, stream flow reduction, altering the bed, banks, course characteristics, outflow structures or discharge pipes.	X	N/A
Application for the designation of industrial sites and activities associated with the seaweed harvesting, collection, drying, transport and processing fishery.	X	N/A
Encroachment of private buildings, structures, infrastructure, access routes.	X	The entire development is located inside of the buffer.
Commercial Harvesting/collection and removal of any natural resource.	X	N/A
Construction or placement of any permanent object, building, shelter, pathway or structure.	X	The entire development is located inside of the buffer.

10.2 Overstrand Municipality Heritage Protection Overlay Zone (HPOZ)

The property is located within the 'Historic Core of Hermanus Heritage Protection Overlay Zone', the purpose is to ensure that any land use application resulting in additional rights complies with the existing character and contextual significance:

- *To protect and enhance the context of the high concentration of heritage sites; the role of the old harbour; Bientangs cave; the high scenic quality of the coastline; the recreational facilities related to the coastal walkway and associated whale watching points; the relatively fine-grained, low-rise nature of the building fabric; and the integration of these place-making elements.*
- *These heritage features all contribute to an area of particular character, reflecting many of the heritage themes identified in the Overstrand area and worthy of the status of a HPOZ in terms of the land use scheme.*



The proposal is not predicted to adversely affect the protected elements mentioned above, as it is also in character with the existing surrounding area of residential developments which are also being rented out as tourist accommodation. It should be emphasized that the developer has been mindful of the surrounding buildings' architectural elements.

For instance, ensuring that the development harmoniously integrates with the existing aesthetic. By incorporating such elements, the developer seeks to preserve the unique character of the area while still accommodating the need for new development. This approach reflects a commitment to respecting and enhancing the visual integrity of the neighbourhood, thereby contributing positively to the overall urban landscape of Hermanus.

10.3 Spatial Planning Policies

The compliance of this proposal with the applicable spatial development policies was assessed. These policies are instrumental in guiding spatial development and providing prescripts of what constitutes sound town planning development patterns. The compliance of this proposal in conjunction with provincial and local policies which are key development informants will be illustrated.

Overstrand Municipality Spatial Development Framework (MSDF)

Policy Preface

The SDF's intention is to ensure compliance with national, provincial, and district legislation policies and principles. The SDF aims to provide sufficient guidance regarding what constitutes appropriate spatial development land uses and direction within the urban edge. The SDF was drafted after considering input from other state departments and the public. It provides a shared spatial vision which the development proposal should ideally attempt to synchronise with.

Consistency of the proposal with the policy

The policy illustrates that the property is located in the Central Business District (CBD) of Hermanus, where high density residential uses are promoted. The proposal for tourist accommodation is regarded as a residential use and is therefore consistent with the MSDF.

The MSDF also promotes infill development and tourism-based development, which is aligned with the proposal. The property owners have indicated that the main objective is to attract more people to the Hermanus area.

11. PLANNING PRINCIPLES

Chapter 2 of SPLUMA contains 5 uncompromisable planning principles by which each development application must be guided. Policy proposals in SPLUMA which are pertinent to this proposal are recorded below:

Spatial justice

Spatial justice refers to planning proposals that do not contribute towards the perpetuation of apartheid spatial development imbalances. The proposal of tourist



accommodation promotes economic inclusivity within the community, fostering a sense of spatial justice and equal opportunity for the residents in Hermanus.

The development aims to provide housing options within the Hermanus area, and the position of the development is located close to the current urban centre.

Spatial sustainability

Spatial sustainability refers to planning proposals that result in communities that are viable. This proposal is intended to increase the economic power of the Hermanus area and increasing the tax base collectable by the OM, (refer to **Section 10** of this report). The proposal is to establish a development in an area where there is easy access for the residents and tourists to the Hermanus centre.

Efficiency

This proposal is intended to maximise the usage of the property and to ensure that the entire area is used in a manner that will be an asset to the Hermanus area. The proposal will also ensure that the property is utilised to its full potential and in a sustainable way that will ensure efficient usage of services required by the development.

Spatial resilience

This proposal is not in conflict with any spatial planning policies or other OM regulations which is a hallmark of resilience.

Good administration

The OM has a credible track record of good administration regarding the method of public participation. Public participation forms an integral part of the land use planning process. The public participation process provides people who may be affected by the proposal with an opportunity to provide comment and to raise issues of concern about the proposal or make possible suggestions that may result in an enhanced outcome of which both parties benefit. Comments will be reviewed and considered after which it will be addressed accordingly.



12. EVALUATION

The proposal needs to be evaluated on the basis that the zoning is not proposed to change and that the zoning makes provision for tourist accommodation with the consent of the Overstrand Municipality.

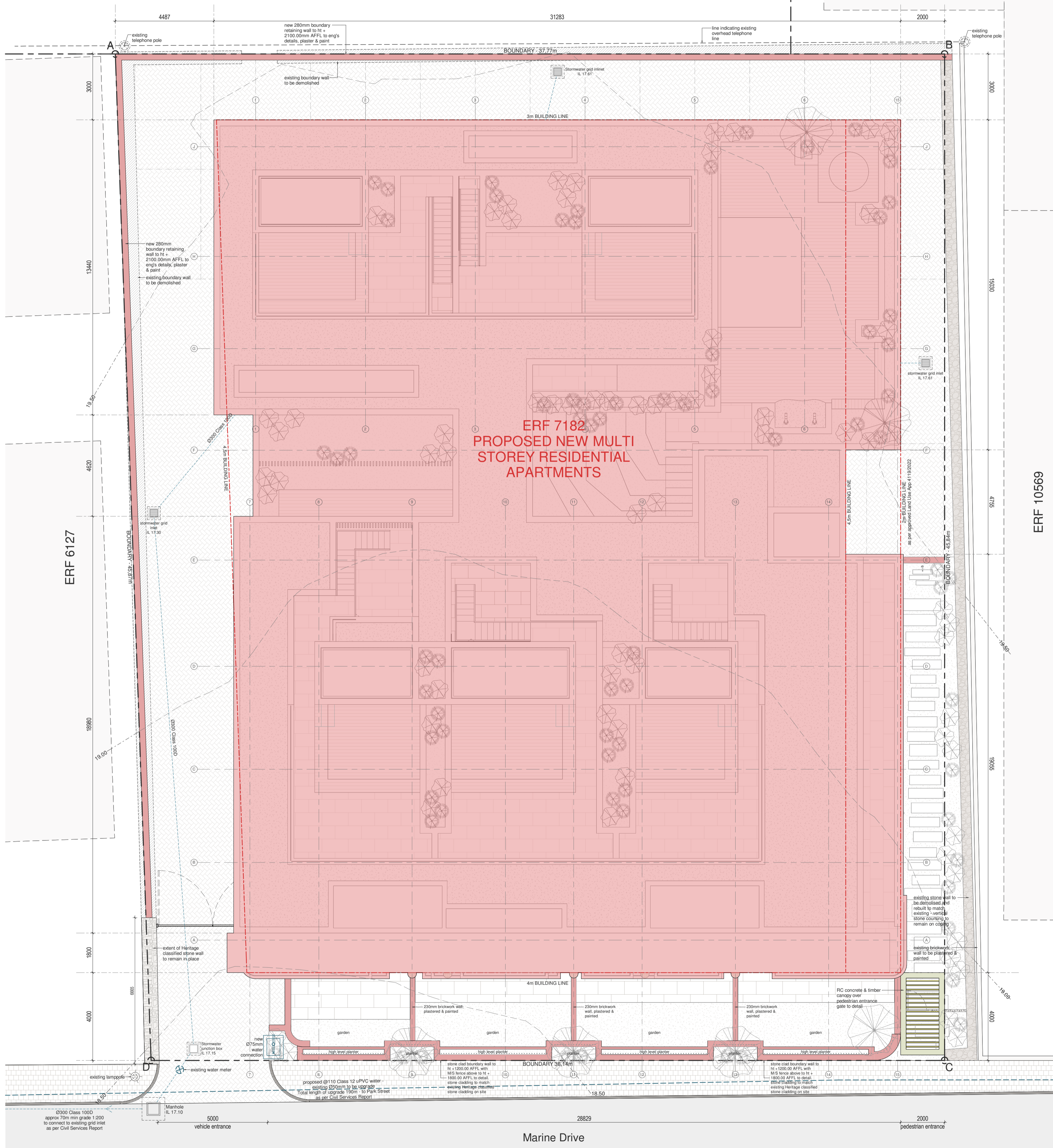
- Approval for 21 flats was received from the Overstrand Municipality at the end of 2023.
- No additional flats, persons or traffic are proposed.
- There is sufficient access and parking provided for the proposal.
- The body corporate conduct rules will apply to all residents, tenants and transient guests.
- The proposal is in character of the area where several short-term accommodations are already available and in operation.
- The proposal will create new economic opportunities for local residents; and
- The property does not have a negative impact on the environment or heritage of the area.
- The proposal is in line with the relevant policies and legislation as confirmed throughout this report.

The proposed use of tourist accommodation is not out of context with the surrounding area and is not seen as a proposal that is undesirable. Therefore, the proposal is not predicted to negatively affect the character of the area.

13. RECOMMENDATION

Based on the abovementioned motivation, it is recommended that the following be approved:

- 13.1 Consent Use** for a Tourist Accommodation on Erf 7182 Hermanus in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.



SITE INFORMATION		
Address:	39 Marine Drive, Hermanus	
Erf number:	7182	
Site Area:	1 677m ²	
Zoning:	General Residential Zone 3: Flats (GR3)	
Associated LUMS Application:	4119/2022	
PROPOSED DEVELOPMENT		
Number of Floors:	4 storey	
Number of Units:	21 Units	
Number of Parkings:	42 bays (21 tandems)	
DEVELOPMENT PARAMETERS		
Parameter	Allowed	Achieved
Floor Factor	3 (5031m ²)	1.87 (2680m ²)
Coverage	100%	68.5% (1150m ²)
Height	12.5m (4 storeys)	12.5m (4 storeys)
Open Space	10%	11.04%
Parking	2 Parking bays - 2/3 Bedrm Dwelling	42 bays (21 tandems)
BUILDING LINES		
Street building line - 4.0m	Street building line - 4.0m	
Side building line - 4.5m (6m set back for 4th floor from property boundary)	Side building line - 4.5m (2m set back for 4th floor from property boundary)	
Rear building line - 3m	Rear building line - 3m	

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REVISIONS		
REV.	DATE	DESCRIPTION


 Jonathan Jacobson (P-Arch 5736)
 2024 02 02

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- All levels shown are finished levels unless otherwise stated.
- All surface beds to be cast on well compacted and well consolidated filling.
- Depth of foundation trenches to be minimum 550mm below reduced ground level.
- All pipes and services to be minimum 450mm below reduced ground level.
- Substrate: 150mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer. NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
Stopped D.P.C with weepholes at 900 centers at floor level and above lintels.
New walls on floors to be in accordance with sng spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part K.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed on D.P.M or 25mm clean sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on DPM on min. 40mm screed to fall 1:60 to fullbore outlets on reinforced concrete slab to engineer's detail.

CHIMNEYS / FLUES:
All to 90mm dia above roads.

LIGHT GLAZING VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of finished floor level or in excess of 1000mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new pitched roof: plasterboard ceiling fixed to u-brusses with isotherm insulation. Ceilings to be rhinited & painted. Ceilings to comply with SANS 10400 part C & L.

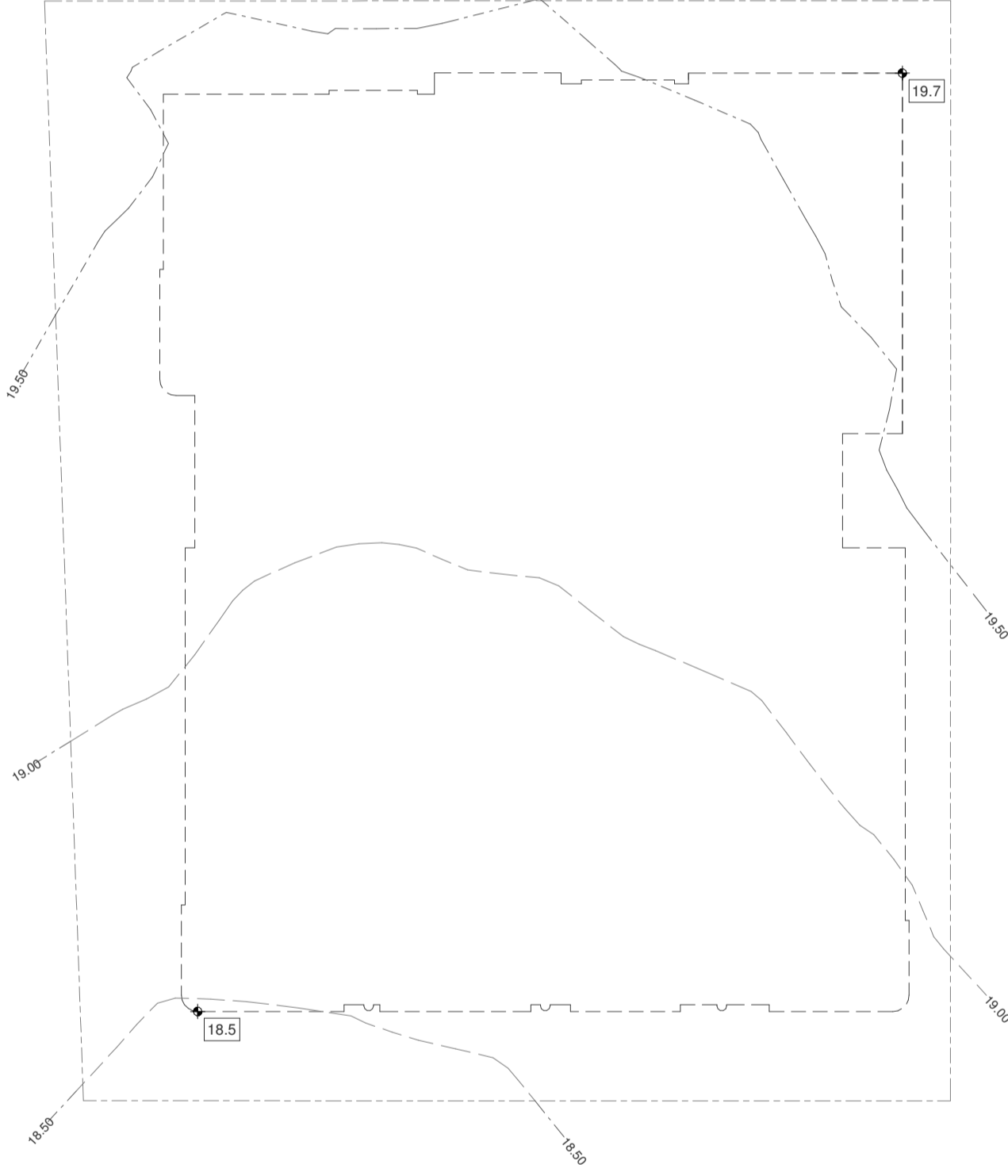
ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 650mm & max 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

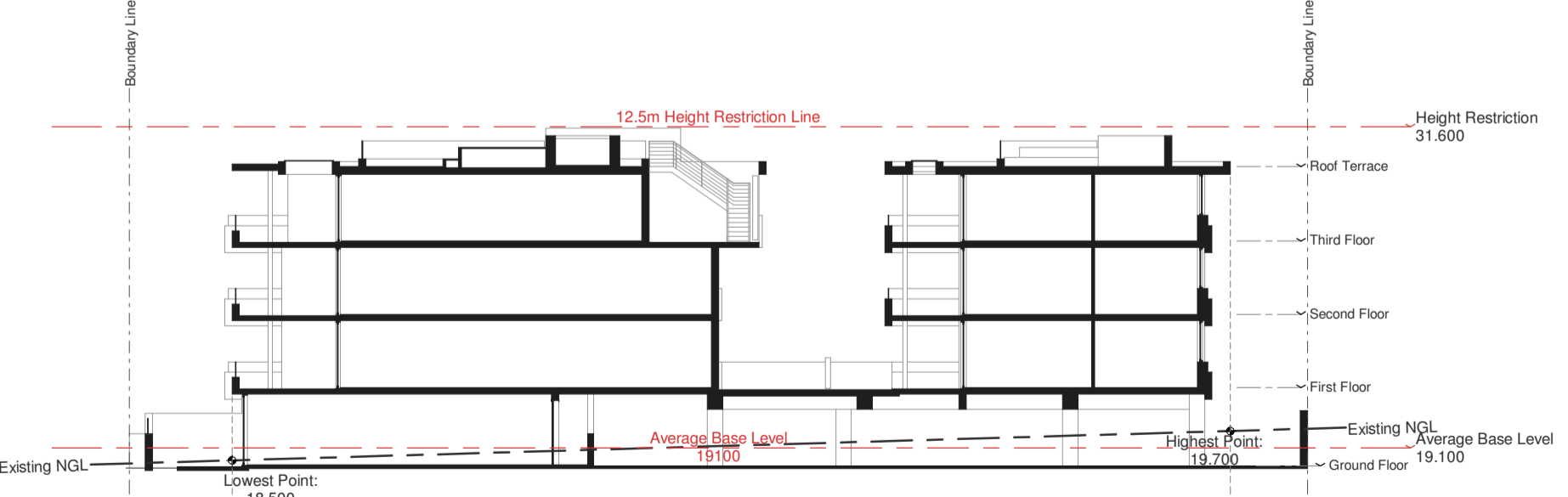
HOT WATER PIPES:
250mm water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipes.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/unmodified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of stub stack and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø PVC and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø PVC.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as indicated.
New roof to receive new rafterzirk gutters and downpipes to discharge as per drawings.



Average Base Level Calculation	
(Lowest Point + Highest Point) / 2	= Average Base Level
18.5 + 19.7	= 38.2 / 2
	= 19.1
AVERAGE BASE LEVEL: 19.1	
Permissible Height	
Average Base Level + 12.5m	
19.1 + 12.5m	= 31.6 Level



Base Level Calculation
1 : 250

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PROJECT
 New Multi Storey Residential
 Apartment building for Sunny Seas
 Properties on Erf 7182, Hermanus
 (39 Marine Drive, Hermanus)

DRAWING TITLE
 Site Plan

Council Submission

DATE	SCALE
2024 02 02	As indicated @ A1
PROJECT NO.	DRAWING NO.
M2201	C3000
	REV. NO.

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REVISIONS

REV.	DATE	DESCRIPTION

Jonathan Jacobson
Jonathan Jacobson (Pr Arch 5736)
2024 02 02

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5. All levels shown are finished levels unless otherwise stated.
6. All surface beds to be cast on well compacted and well consolidated filling.
7. Depth of foundation trenches to be minimum 550mm below reduced ground level.
8. All pipes and services to be minimum 450mm below reduced ground level.
9. Substrate 15mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer.
NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
Stipped D.P.C with weepholes at 900 centers at floor level and above lintels.
New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part K.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed of D.P.M or 25mm clean sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on D.P.M on min. 40mm screed to fall 1:60 to full bore outlets on reinforced concrete slab to engineer's details.

CEILING FINISHES:
All to 20mm min. 25mm above voids.
LIGHT GLAZING VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of the finished floor level or in excess of 1000mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new pitched roof: plasterboard ceiling fixed to u-brusses with isoform insulation. Ceilings to be finished & painted. Ceilings to comply with SANS 10400 part C & L.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 950mm & max 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm HDPE water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipe.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/unmodified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of stack studs and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branches to be min. 200mm below any ready branch into any stack.
All soil pipes beneath floor slabs to be enclosed in concrete. All round.
All S.P. to be 110 Ø P.V.C and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø P.V.C.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as indicated.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.

METROPOLIS

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registration no. 5736

PROJECT
New Multi Storey Residential
Apartment building for Sunny Seas
Properties on Erf 7182, Hermanus
(39 Marine Drive, Hermanus)

DRAWING TITLE
Ground Floor Plan

Council Submission

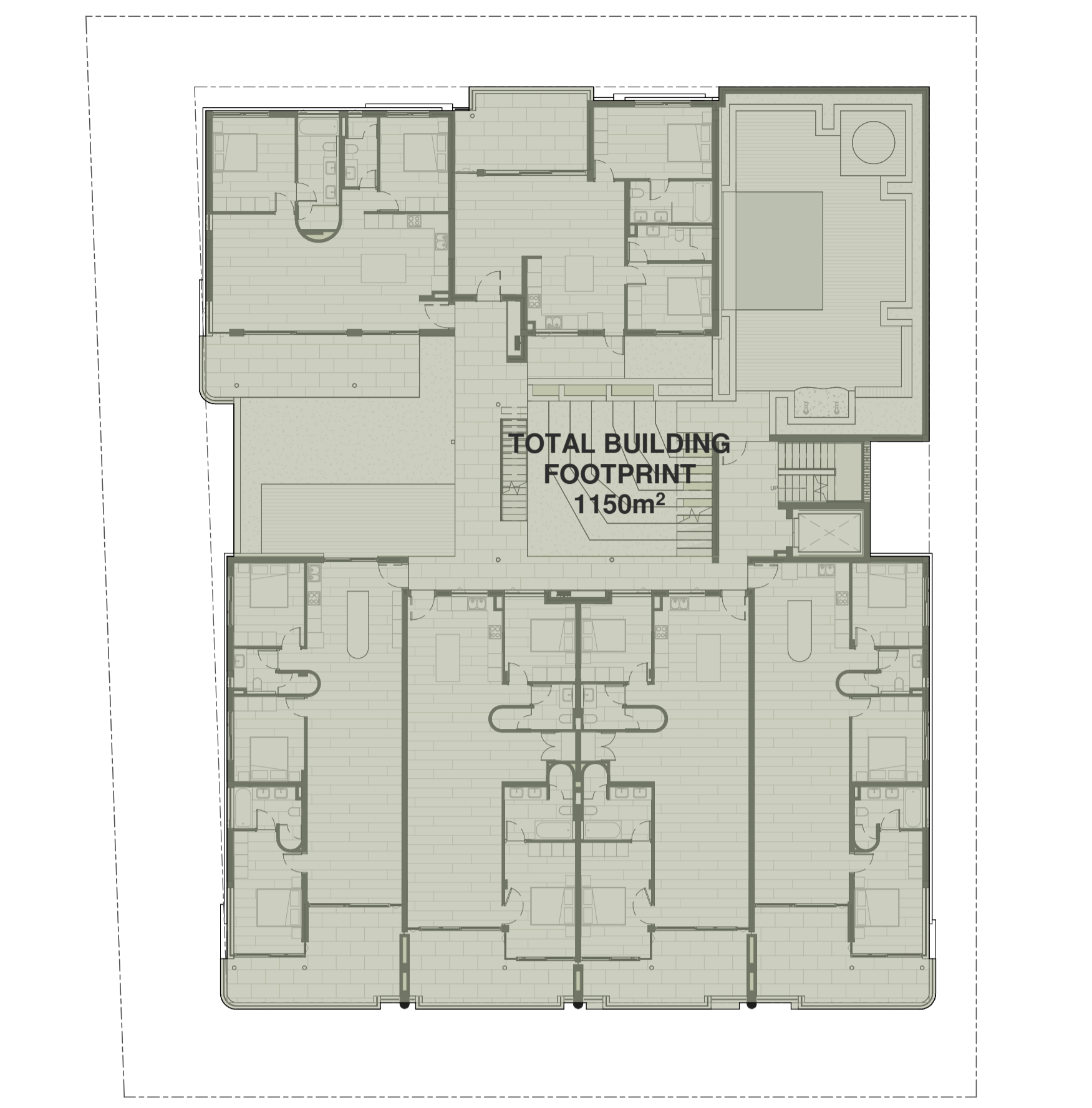
DATE
2024 02 02

SCALE
As indicated @
A1

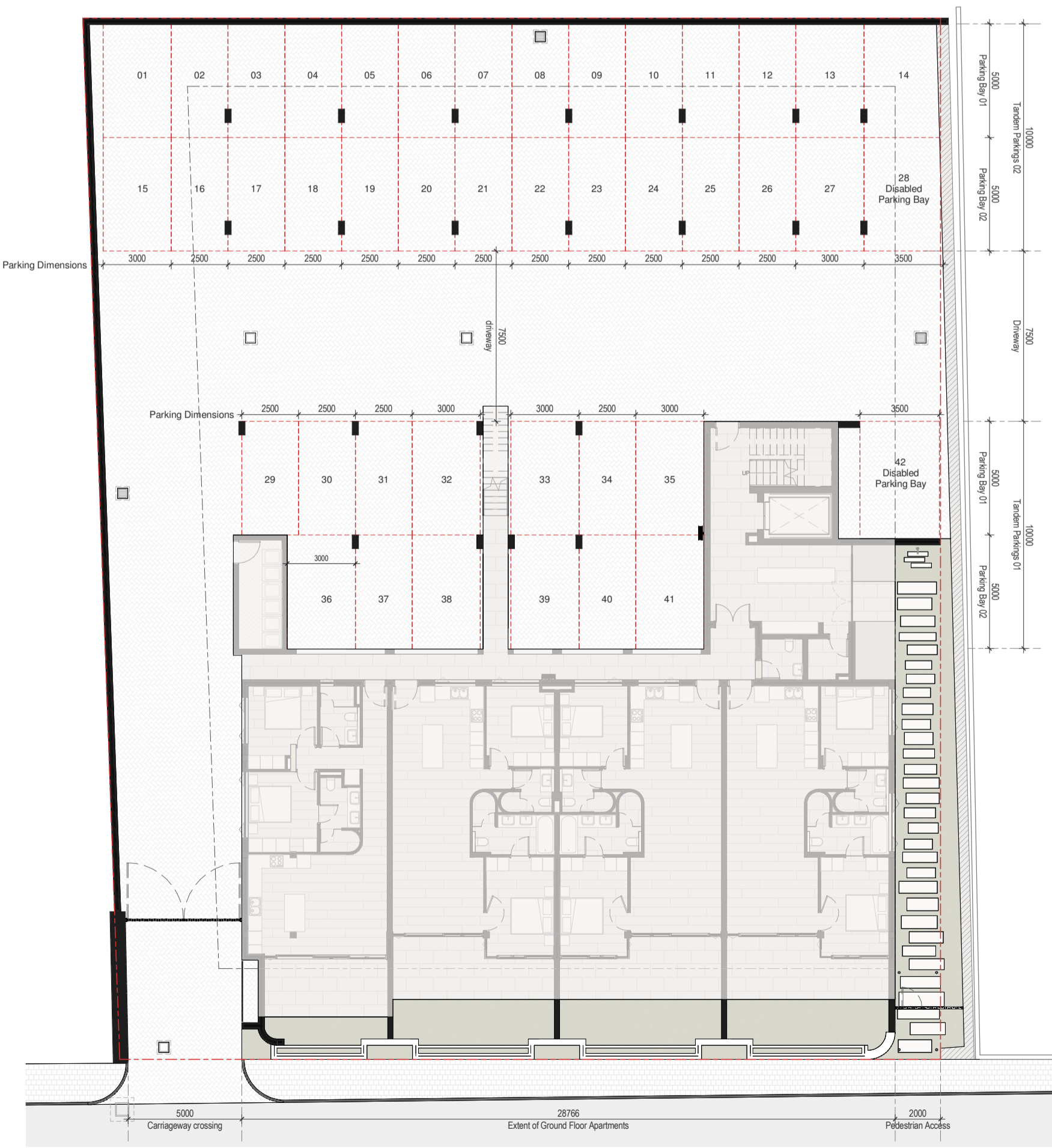
PROJECT NO.
M2201

DRAWING NO.
C3001

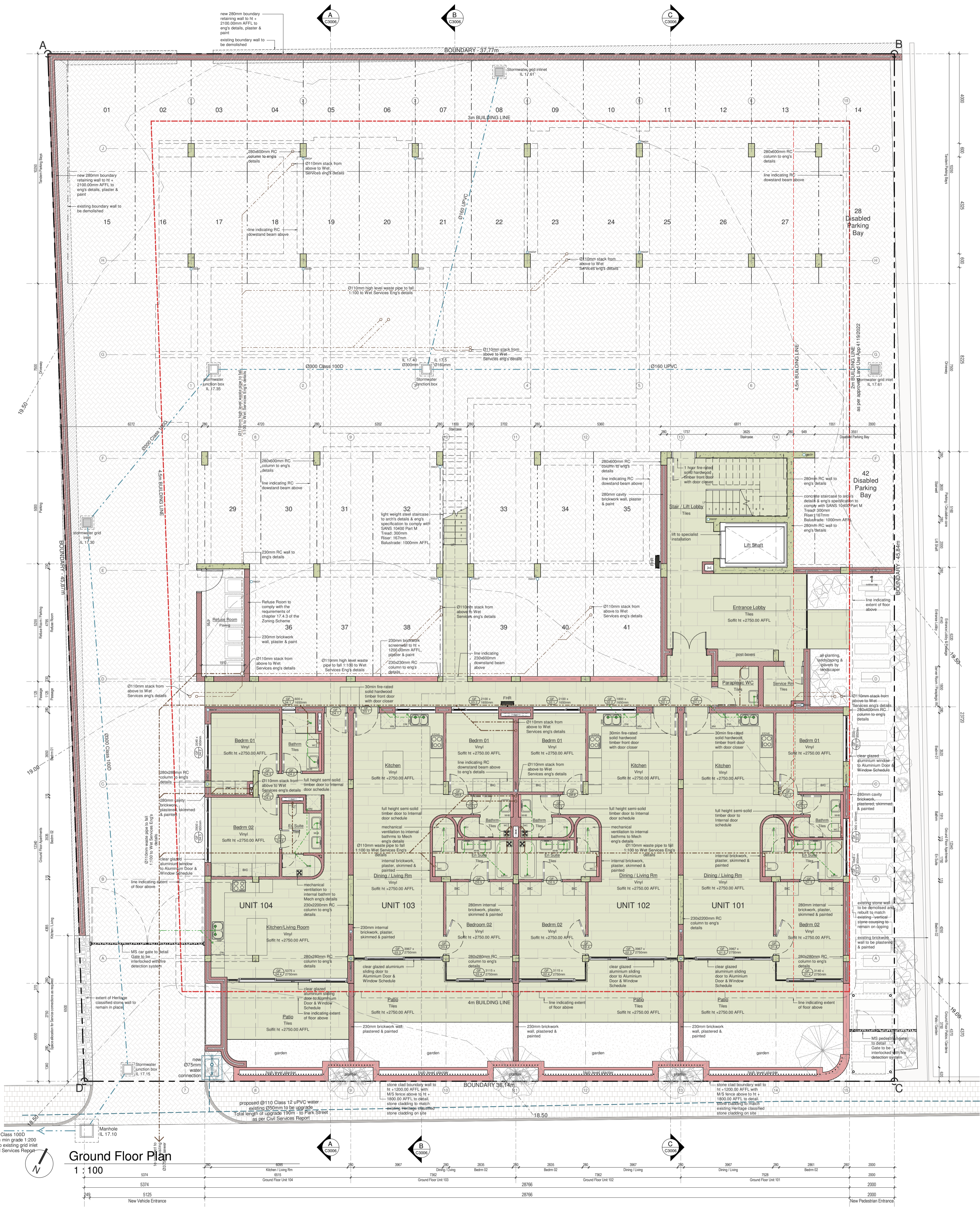
REV. NO.



2 Coverage Calculation
1 : 200



3 Parking Requirements
1 : 200



Ground Floor Plan
1 : 100

REVISIONS

REV.	DATE	DESCRIPTION
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 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate: 150mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
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All to comply with SANS 10400 part D.

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Waterproofing and drainage as per specialist details.

FLOORS:
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SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on D.P.M on min. 40mm screed to fall 1:60 to full bore outlets on reinforced concrete slab to engineer's details.

CEILING:
All ceilings to be 25mm gypsum board.
Waterproofing and drainage as per specialist details.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.
STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 900mm & max. 1000mm.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm water pipe with min. 25mm R1 insulation.
DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipes.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/modified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of slab stacks and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branch to be min. 200mm below any ready branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SP's to be 110 Ø P.V.C and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø P.V.C.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as indicated.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.

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PROJECT
New Multi Storey Residential Apartment building for Sunny Seas Properties on Erf 7182, Hermanus (39 Marine Drive, Hermanus)

DRAWING TITLE
First Floor Plan

Council Submission

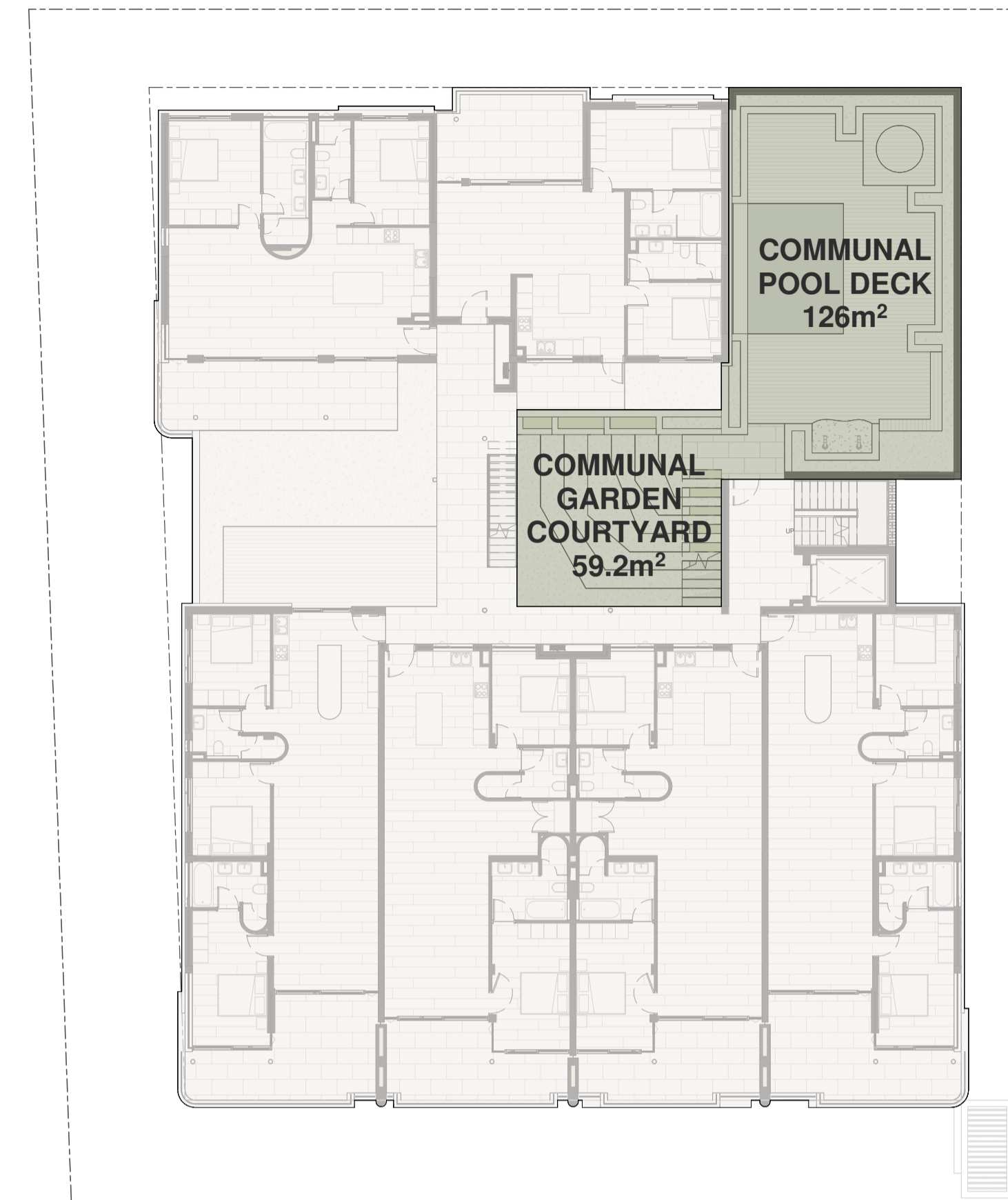
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2024 02 02

SCALE
As indicated @ A1

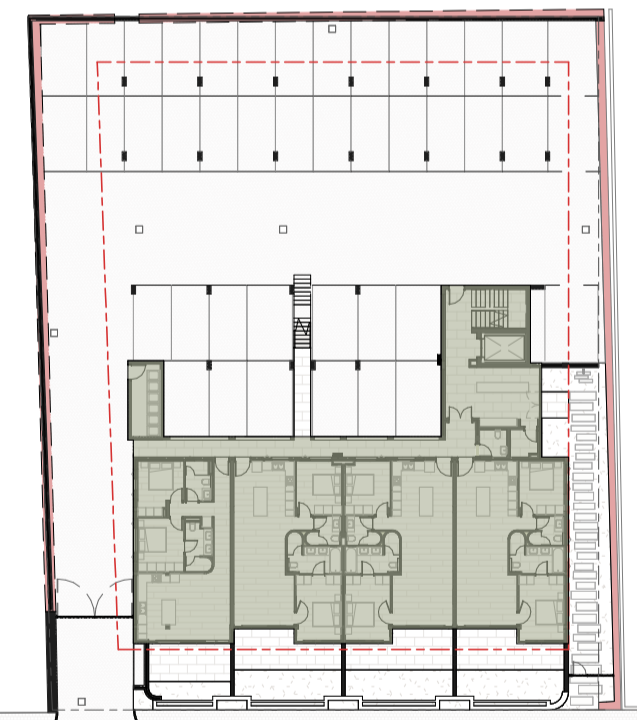
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M2201

DRAWING NO.
C3002

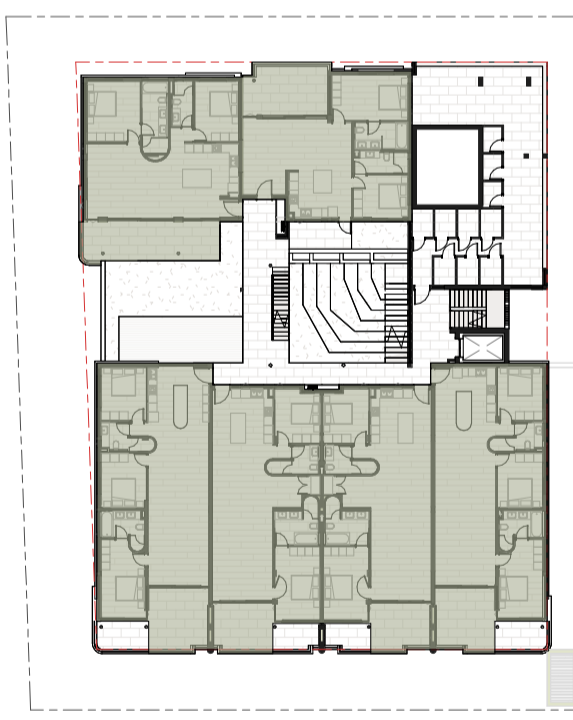
REV. NO.



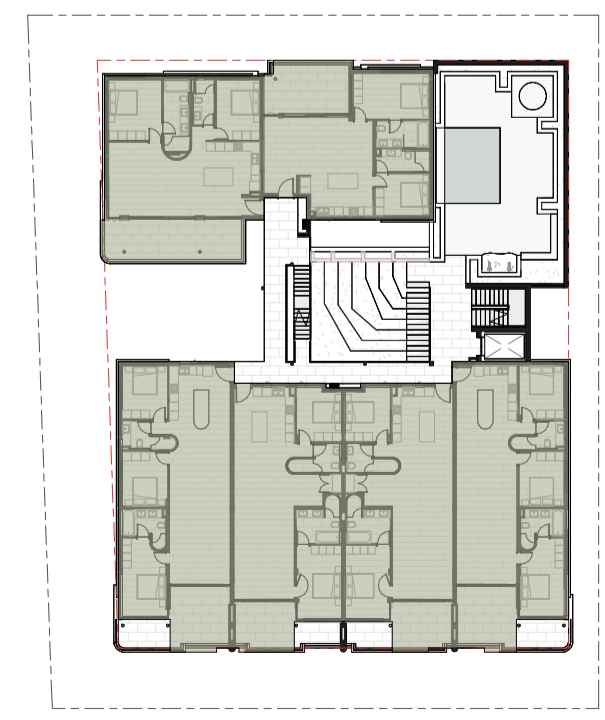
2 Communal Space Calculation
1 : 200



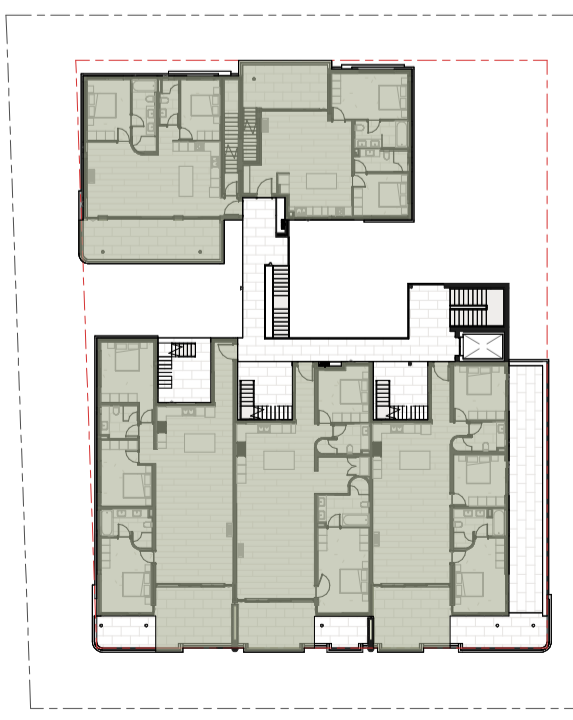
Ground Floor Area: 455m²



First Floor Area: 758m²

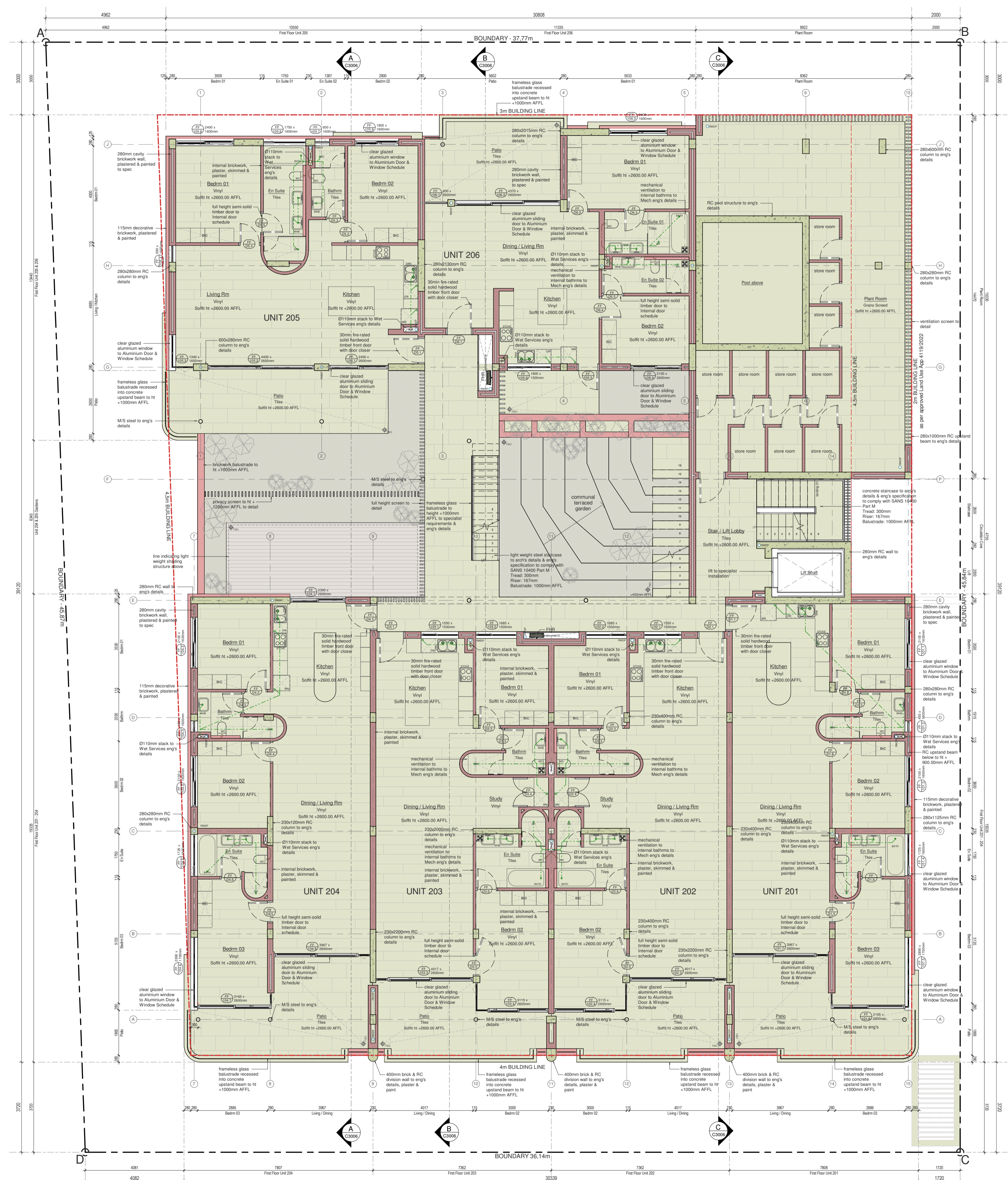


Second Floor Area: 761m²



Third Floor Area: 706m²

Total Floor Area of Building: 2680m²



First Floor Plan
1 : 100

REVISIONS

REV.	DATE	DESCRIPTION
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Jonathan Jacobson
Jonathan Jacobson (Pr.Arch 5736)
2024 02 02

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 - All surface beds to be cast on well compacted and well consolidated filling.
 - Depth of foundation trenches to be minimum 550mm below reduced ground level.
 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate: 15mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed by structural engineer. NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part K.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed of D.P.M or 25mm clear sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on DPM on min. 40mm screed on reinforced concrete to engineer's detail.

CHIMNEYS / FLUES:
All to be in min. 100mm dia. waste pipes.
ROOFING:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 900mm & max. 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm HDPE water pipe with min. 25mm R1 insulation.
DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipes.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/unmodified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of slab stack and soil pipes to have 600mm radius to bend.
Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø PVC and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø PVC.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

CEILING:
Below the new pitched roof: plasterboard ceiling fixed to u-brusses with isotherm insulation. Ceilings to be fire-rated & painted. Ceilings to comply with SANS 10400 part C & L.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 900mm & max. 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm HDPE water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipes.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/unmodified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of slab stack and soil pipes to have 600mm radius to bend.
Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø PVC and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø PVC.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as detailed.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.

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PROJECT
New Multi Storey Residential
Apartment building for Sunny Seas
Properties on Erf 7182, Hermanus
(39 Marine Drive, Hermanus)

DRAWING TITLE
Second Floor Plan

Council Submission

DATE
2024 02 02

SCALE
1 : 100 @ A1

PROJECT NO.
M2201

DRAWING NO.
C3003

REV. NO.



Second Floor Plan
1 : 100

REVISIONS

REV.	DATE	DESCRIPTION
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Jonathan Jacobson
Jonathan Jacobson (Pr. Arch 5736)
2024 02 02

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 - Contractors must verify all dimensions and levels on site before commencing work. Any discrepancies must be reported to the architect before work is put in hand.
 - All levels shown are finished levels unless otherwise stated.
 - All surfaces to be cast on well compacted and well consolidated filling.
 - Depth of foundation trenches to be minimum 500mm below reduced ground level.
 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate: 150mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer. NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls. Stopped D.P.C with weepholes at 500 centers at floor level and above lintels. New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part K.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed on D.P.M or 25mm clean sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on DPM on min. 40mm screed to fall 1:60 to full bore outlets on reinforced concrete slab to engineer's details.

CHIMNEYS / FLUES:
All to 50mm. 1m above roof.
ROOF GLAZING / VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of the finished floor level or in excess of 1000mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new pitched roof, plasterboard ceiling fixed to u.b.russes with isoform insulation. Ceilings to be fire-rated & painted. Ceilings to comply with SANS 10400 part C & L.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 900mm dia. max 1000mm AFPL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Pumpout to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipe.
New urinals to get 50mm dia. soil pipe.
New wc's to get 110mm dia. soil pipe.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/modified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of stub stack and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branches to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø P.V.C and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø P.V.C.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as detailed.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.

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PROJECT
New Multi Storey Residential Apartment building for Sunny Seas Properties on Erf 7182, Hermanus (39 Marine Drive, Hermanus)

DRAWING TITLE
Third Floor Plan

Council Submission

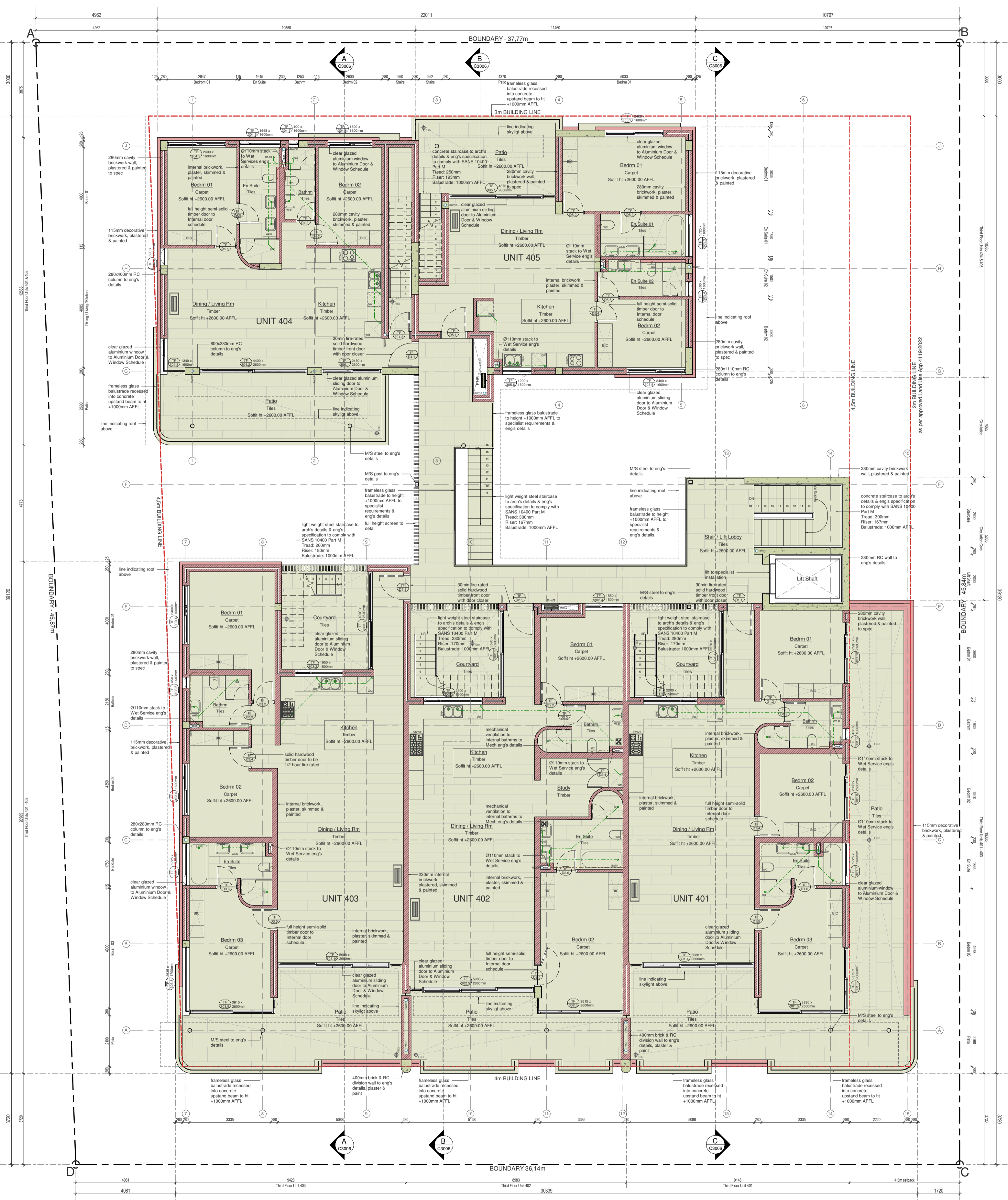
DATE
2024 02 02

SCALE
1 : 100 @ A1

PROJECT NO.
M2201

DRAWING NO.
C3004

REV. NO.



Third Floor Plan
1 : 100

REVISIONS

REV.	DATE	DESCRIPTION
------	------	-------------

Jonathan
Jonathan Jacobson (P Arch 5736)
2024 02 02

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 - All levels shown are finished levels unless otherwise stated.
 - All surface beds to be cast on well compacted and well consolidated filling.
 - Depth of foundation trenches to be minimum 500mm below reduced ground level.
 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate: 15mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer.
NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
Stipped D.P.C with weepholes at 900 centers at floor level and above lintels.
New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part K.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed on D.P.M or 20mm clean sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on DPM on min. 40mm screed to fall 1:60 to full bore outlets on reinforced concrete DPM to engineer's details.

CHIMNEYS / FLUES:
All to 30mm. 1m above roofs.
LIGHT GLAZED VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of the finished floor level or in excess of 1000mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new pitched roof: plasterboard ceiling fixed to u-braces with isotherm insulation. Ceilings to be fire-rated & painted. Ceilings to comply with SANS 10400 part C & L.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 900mm & max. 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipes.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/modified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of slab stack and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø P.V.C and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø P.V.C.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as detailed.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.

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PROJECT

New Multi Storey Residential Apartment building for Sunny Seas Properties on Erf 7182, Hermanus (39 Marine Drive, Hermanus)

DRAWING TITLE

Roof Plan

Council Submission

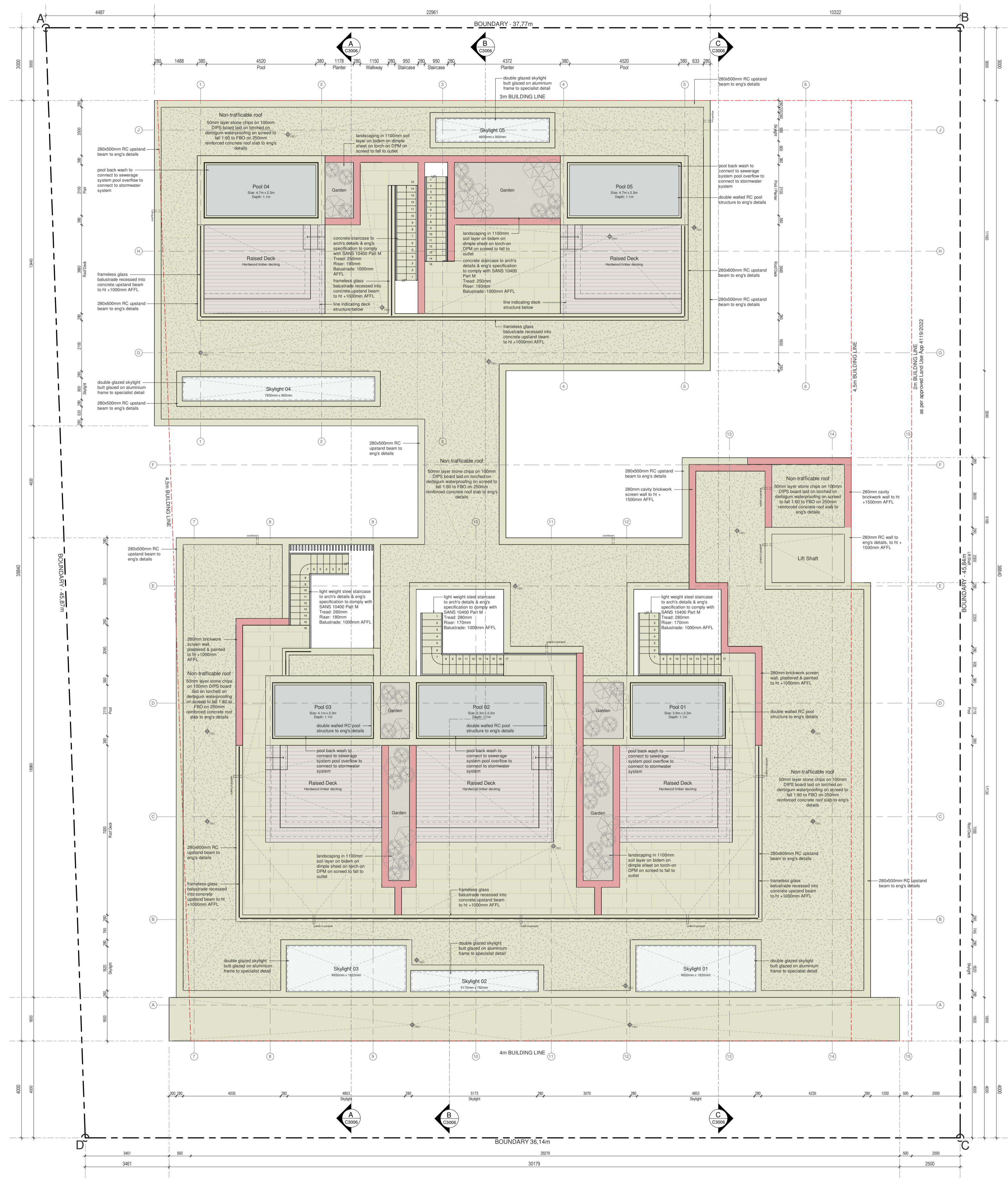
DATE: 2024 02 02

SCALE: 1 : 100 @ A1

PROJECT NO. M2201

DRAWING NO. C3005

REV. NO.



Roof Plan
1 : 100

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REVISIONS

REV.	DATE	DESCRIPTION

Jonathan Jacobson
Jonathan Jacobson (Pr Arch 5736)
2024 02 02

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 - All levels shown are finished levels unless otherwise stated.
 - All surface beds to be cast on well compacted and well consolidated filling.
 - Depth of foundation trenches to be minimum 500mm below reduced ground level.
 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate: 50mm minimum above floor level with max. 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer. NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
Stopped D.P.C with vapour barrier at 900 centres at floor level and above lintels. New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part C.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed on D.P.M or 25mm clean sand bedding on well compacted earth or in whole without authors consent.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on min. 40mm screed on reinforced concrete slab or reinforced concrete slab to engineer's detail.

CIMMERIES / FINISHES:
All to 50mm. 1m above roads.
LIGHT GLAZING / VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of the finished floor level or in excess of 1000mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new glazed roof, plasterboard ceiling fixed to u-braces with isoform insulation. Ceiling to be fire rated & painted. Ceiling to comply with SANS 10400 part C & L.

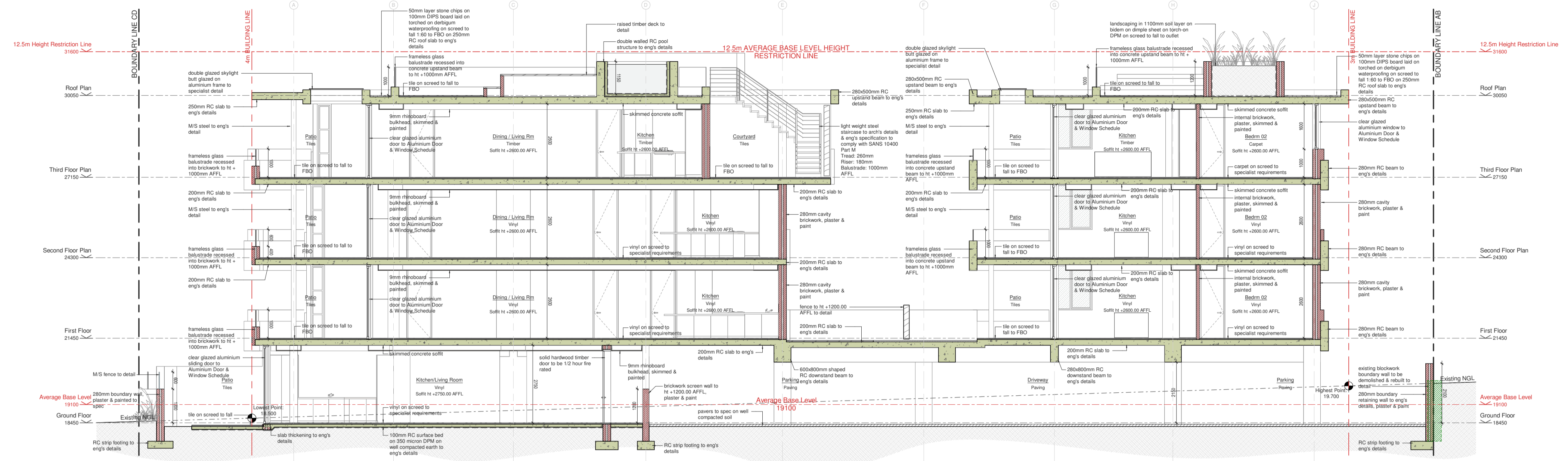
ROOFS:
27mm roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 650mm & max 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

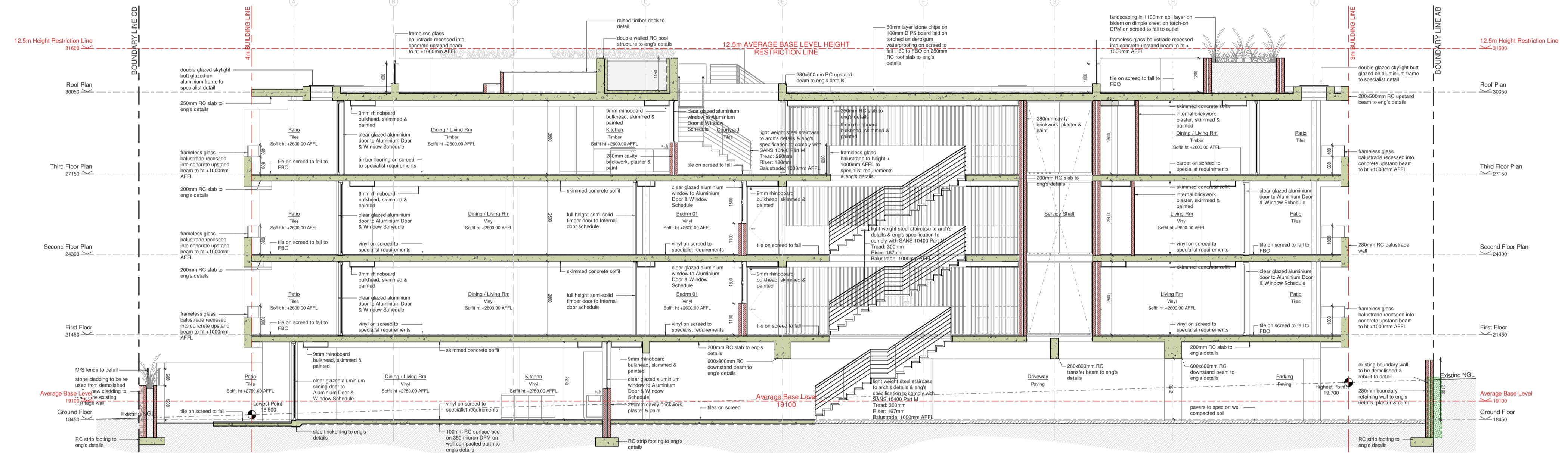
HOT WATER PIPES:
250mm water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and replaced, points and connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipe.
New urinals to get 50mm dia. soil pipe.
New wc's to get 110mm dia. soil pipe.
All new plumbing pipes to fall at min. 1:80 to ex. sewer pipe.
New/modernised bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of slab stacks and soil pipes to have 600mm radius to bend.
Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 x 0 PVC and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50, 0 PVC.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All sub-vent stacks to be fitted with non - return valves.

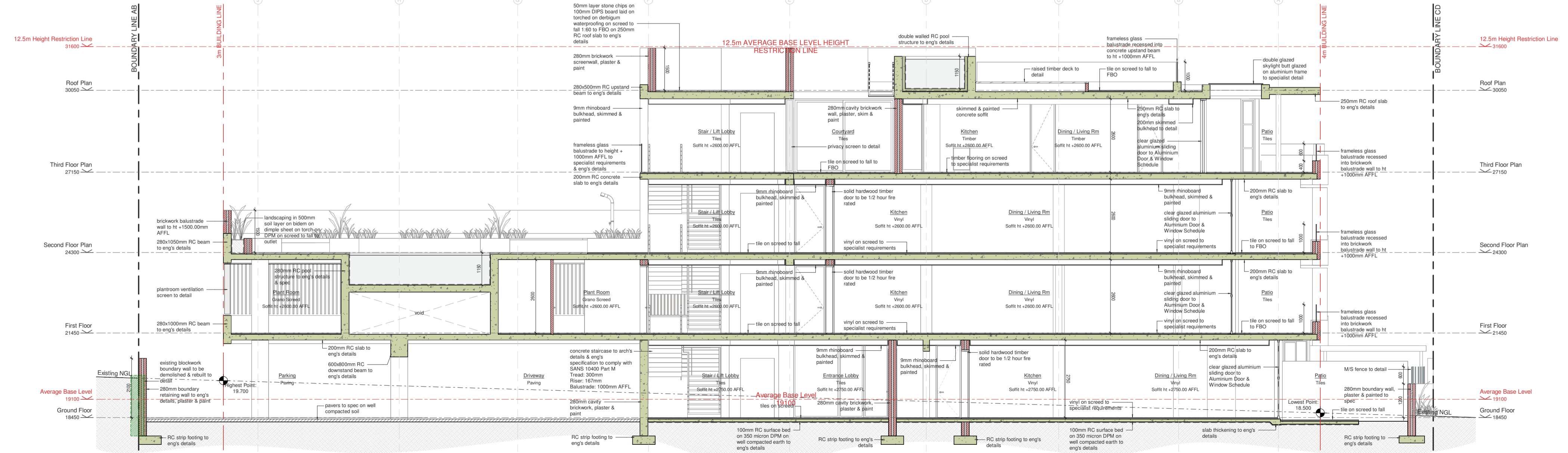
STORMWATER DRAINAGE:
Stormwater drainage as existing.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.



Section AA
1:100



Section BB
1:100



Section CC
1:100

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PROJECT
New Multi Storey Residential
Apartment building for Sunny Seas
Properties on Er 7182, Hermanus
(39 Marine Drive, Hermanus)

DRAWING TITLE
Sections

Council Submission

DATE
2024 02 02

SCALE
1:100 @ A1

PROJECT NO.
M2201

DRAWING NO.
C3006

REV. NO.

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REVISIONS

REV.	DATE	DESCRIPTION
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Jonathan Jacobson
Jonathan Jacobson (Pr Arch 5736)
2024 02 02

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 - All levels shown are finished levels unless otherwise stated.
 - All surface beds to be cast on well compacted and well consolidated filling.
 - Depth of foundation trenches to be minimum 550mm below reduced ground level.
 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate 150mm minimum above floor level with max 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer.
NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
Stipped D.P.C with weepholes at 900 centers at floor level and above lintels.
New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part D.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per Eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed on D.P.M or 25mm clear sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on DPM on min. 40mm screed to fall 1:60 to full-bore outlets on reinforced concrete slab to engineer's details.

CHIMNEYS / FLUES:
All to 30 min. 1m above roofs
LIGHT GLAZING / VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of the finished floor level or in excess of 1500mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new pitched roof, plasterboard ceiling fixed to u-brusses with isotherm insulation. Ceilings to be rhinolited & painted. Ceilings to comply with SANS 10400 part C & L.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 950mm & max 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250mm water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be closed.
Pump to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipes.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min. 1:60 to ex. sewer pipe.
New/remodeled bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of stub stack and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø PVC and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø PVC.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non - return valves.

STORMWATER DRAINAGE:
Stormwater drainage as detailed.
New roof to receive new rainwater gutters and downpipes to discharge as per drawings.

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PROJECT
New Multi Storey Residential Apartment building for Sunny Seas Properties on Erf 7182, Hermanus (39 Marine Drive, Hermanus)

DRAWING TITLE
Elevations 01

Council Submission

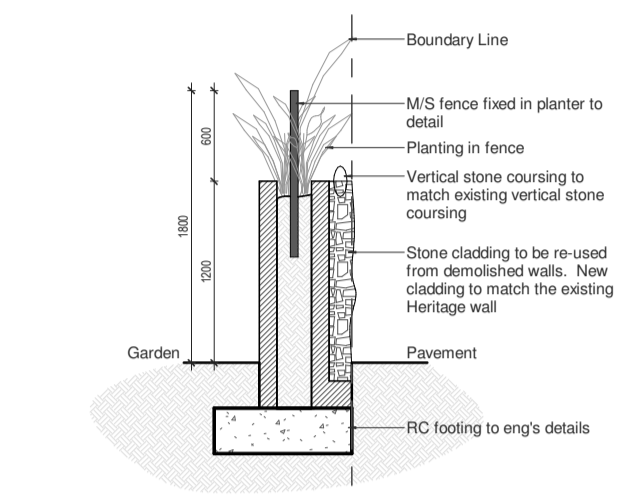
DATE	SCALE
2024 02 02	As indicated @ A1

PROJECT NO.	DRAWING NO.
M2201	C3007

REV. NO.



① South East Elevation (Street View)
1 : 100



Street Boundary Wall Detail
1 : 50



② South West Elevation
1 : 100

REVISIONS

REV.	DATE	DESCRIPTION
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Jonathan
Jonathan Jacobson (Pr Arch 5736)
2024 02 02

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 - All levels shown are finished levels unless otherwise stated.
 - All surface beds to be cast on well compacted and well consolidated filling.
 - Depth of foundation trenches to be minimum 550mm below reduced ground level.
 - All pipes and services to be minimum 450mm below reduced ground level.
 - Substrate 15mm minimum above floor level with max 100mm openings.

FOUNDATIONS:
All footings and surface beds to be in accordance with geotechnical and structural engineer's requirements.
All foundations to retaining walls to be designed to suit by structural engineer.
NO FOOTINGS TO PROJECT BEYOND ANY SITE BOUNDARY.

WALL CONSTRUCTION:
All external walls to be 250mm cavity walls.
Stepped D.P.C with weepholes at 900 centers at floor level and above lintels.
New walls on floors to be in accordance with eng. spec.
All internal walls (new & existing) to be smooth plastered & painted. All colours to be checked by architect using colour samples on site.
All boundary walls max. 1.8m high on street boundary.
All to comply with SANS 10400 part K.
All to comply with SANS 10400 part D.

RETAINING WALLS:
All retaining walls as per eng's details.
Waterproofing and drainage as per specialist details.

FLOORS:
SURFACE BEDS: Floor finish as indicated on min. 40mm screed on min. 100mm concrete surface bed on D.P.M or 25mm clean sand bedding on well compacted earth or fill compacted in 150mm thick layers.
SUSPENDED FLOORS: Floor finish as indicated on screed on min. 40mm screed on reinforced concrete to engineer's detail.
BALCONIES: Floor finish as indicated on screed on DPM on min. 40mm screed to fall 1:60 to full bore outlets on reinforced concrete slab to engineer's details.

CHIMNEYS / FLUES:
All to 30 min. 1m above roads.
LIGHT GLAZING / VENTILATION:
Windows to exceed 0.2 or 10% of room floor area with 5% min. to be operable. Glazing within 500mm of the finished floor level or in excess of 1000mm to be safety glazing.

WINDOWS & DOORS:
Existing glazing and frames per the window and door schedule, to be carefully removed and replaced with double glazed sections. Frames to be powercoated in colour to later spec.
D.P.C around all doors and windows.
All glazing to comply with SANS 10400 part N.

CEILING:
Below the new pitched roof: plasterboard ceiling fixed to u-trusses with isotherm insulation. Ceilings to be fire-rated & painted. Ceilings to comply with SANS 10400 part C & L.

ROOFS:
New roof as per drawings. Waterproofing and drainage as per details.

STAIRS:
All to be in compliance with SANS 10400 part D & M.
Handrails min. 650mm & max 1000mm AFFL.
Tread min. (250mm); Riser max. (200mm)

HOT WATER PIPES:
250TR water pipe with min. 25mm R1 insulation.

DRAINAGE:
Where existing fittings are to be demolished and not replaced, points & connections to be checked.
Plumber to inspect ex. fittings and replace plumbing where necessary.
New sinks to get 50mm dia. waste pipe.
New urinals to get 50mm dia. soil pipes.
New wc's to get 110mm dia. soil pipes.
All new plumbing pipes to fall at min 1:60 to ex. sewer pipe.
New/unmodified bathrooms to connect into existing stacks which connect to municipal sewer connection.
All new work to comply with SANS 10400.
Foot of slab stack and soil pipes to have 600mm radius to bend.
All bends and junctions to have access eye readily accessible for cleaning. Any soil branch to be min. 200mm below any waste branch into any stack.
All soil pipes beneath floor slabs to be encased in conc. all round.
All SPS to be 110 Ø P.V.C and to be encased in concrete where passing under the building.
All bends and junctions to be provided with access / inspection eyes. All waste pipes to be 50 Ø P.V.C.
All sanitary fittings to be provided with reset traps and to be accessible for maintenance and repair.
All stub vent stacks to be fitted with non-return valves.

STORMWATER DRAINAGE:
Stormwater drainage as existing.
New roof to receive new rafter/rafter gutters and downpipes to discharge as per drawings.

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PROJECT
New Multi Storey Residential
Apartment building for Sunny Seas
Properties on Erf 7182, Hermanus
(39 Marine Drive, Hermanus)

DRAWING TITLE
Elevations 02

Council Submission

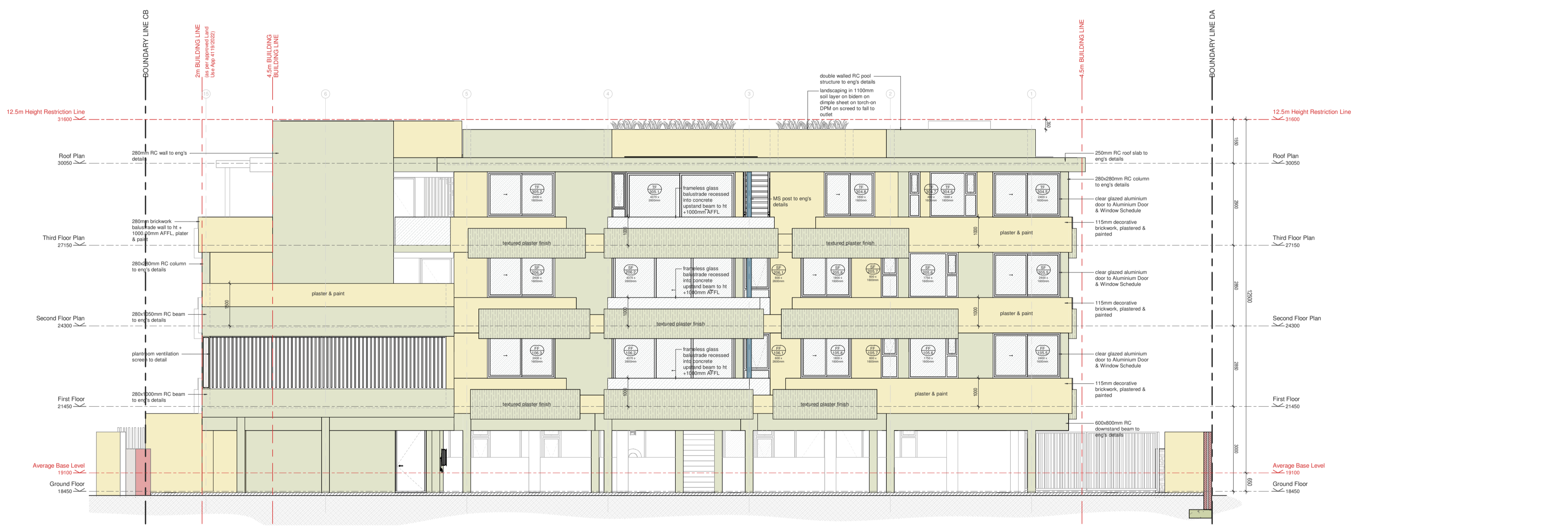
DATE	SCALE
2024 02 02	1 : 100 @ A1

PROJECT NO.	DRAWING NO.
M2201	C3008

REV. NO.



1 North East Elevation
1 : 100



2 North West Elevation
1 : 100