

**ERF 65, TERN STREET, BIRKENHEAD (ROMANSBAAI BEACH & FYNBOS ESTATE), CALEDON DIVISION, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF AEF DE SMEDT & BEA DECOCK**

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for consent use in terms of Section 16(2)(o) of the By-Law, in order to operate a (4) four bedroom guesthouse on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Gansbaai Library, Main Road, Gansbaai. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) ([alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) on or before **Friday, 15 November 2024**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Senior Town Planner, Mr SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

**ERF 65, TERNSTRAAT, BIRKENHEAD (ROMANSBAAI BEACH & FYNBOS ESTATE), AFDELING CALEDON, OVERSTRAND MUNISIPALE AREA: AANSOEK OM VERGUNNINGSGEBRUIK: MNRE INTERACTIVE STAD -EN STREETKSBEPLANNING NAMENS AEF DE SMEDT & BEA DECOCK**

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is vir vergunningsgebruik ingevolge Artikel 16(2)(o) van die Verordening, om 'n (4) vier slaapkamer gastehuis op die eiendom te bedryf.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en by die Gansbaai Biblioteek, Hoofweg, Gansbaai. Enige skriftelike kommentaar moet ingevolge die bepalinge van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) ([alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) bereik voor of op **Vrydag, 15 November 2024**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Senior Stadsbeplanner, Mnr SW van der Merwe** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

**ISIZA 65, TERN STREET, BIRKENHEAD (ROMANSBAAI BEACH & FYNBOS ESTATE), ICANDELO LOMMANDLA WASECALEDON, KUMHLABA WOMMANDLA WOMASIPALA WASE-OVERSTRAND: ISICELO SOKUFUMANA IMVUME YOKUSEBENZISA: ABAKWA-INTERACTIVE TOWN & REGINAL PLANNING EGAMENI LIKA-AEF DE SMEDT & BEA DECOCK**

Kukhutshwa isaziso ngokusekelwe kwiCandelo 48 loMthetho Ohlonyelweyo ka-2020 Womasipala wase-Overstrand Ongokusetyenziswa Nokucetywa koMhlaba kaMasipala (uMthetho kaMasipala), ukuba kufunyenwe isicelo semvume yokusebenzisa ngokumayela neCandelo 16(2)(o) loMthetho kaMasipala ukuze kubekho indlu yabahambi enamagumbi amane (4) kwipropathi.

linkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini phakathi kwentsimbi ye8:00 neye16:30 kwiSebe: Izicwangciso zeDolophu, Paterson Street, Hermanus naseGansbaai Library, Main Road, Gansbaai. Naziphi na izimvo mazingeniswe kwaMasipala ngokwezibonelelo zeSoloty lama51 nelama52 loMthethwana osele uchazwe ngentla (16 Paterson Street, Hermanus / (f) 0283132093 / (e) ([alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) ngomhla okanye ngaphambi **komhla 15 EyeNkanga 2024**, uchaze igama lakho, idilesi neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zokuhlomla kwakho. Imibuzo ngefowuni ingabuzwa **kuMnu SW van der Merwe** kwa028-313 8900. UMasipala angala ukwamkela izimvo ezifunyenwe emva komhla wokuvala. Nabani na ongakwazi ukufunda nokubhala angandwendwela kwiSebe LeZicwangciso zeDolophu apho igosa likamasipala liza kumnceda afake izimvo zakhe ngokusemthethweni.

PROJECT

Erf 65 Birkenhead

TITLE

Locality Plan  
Local Context



Application Area



INTERACTIVE TOWN & REGIONAL PLANNING MAKES NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED, WITH REGARD TO THE ACCURACY, COMPLETENESS, OR RELIABILITY OF ANY INFORMATION, DATA, OR MATERIAL OR CONSEQUENTIAL DAMAGES IN CONNECTION WITH OR ARISING OUT OF THIS DATA. THE DATA REMAINS THE SOLE PROPERTY OF THE CLIENT AND MAY ONLY BE USED FOR THE PURPOSES SPECIFIED WITH THE PROGRAM WRITTEN APPROVAL OF THE CLIENT.

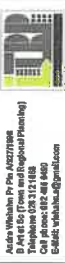
CLIENT

CREATED BY  
DATE  
2023/09/20

PROJECT NUMBER  
0001

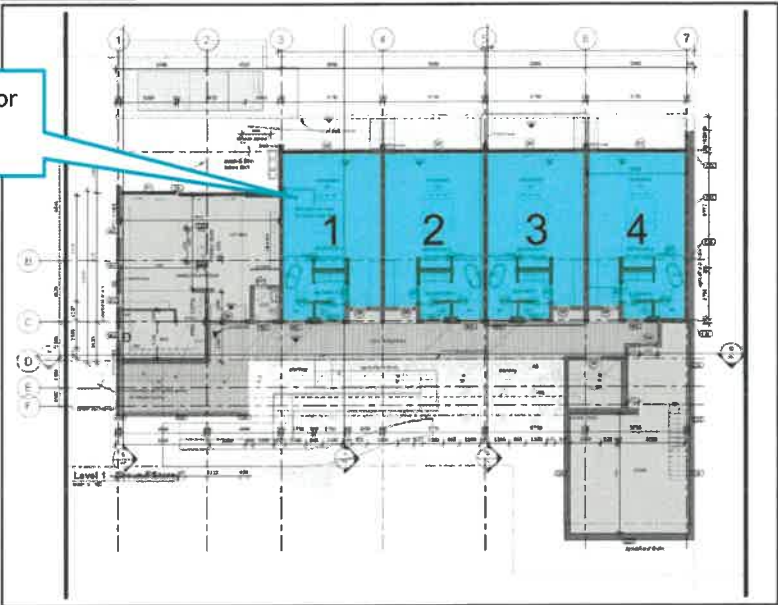
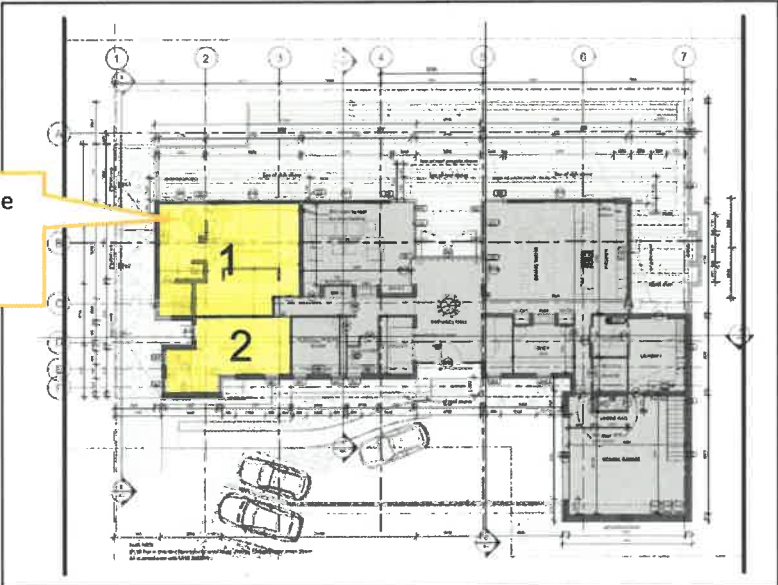
DRAWING NUMBER  
A01

InterActive Town & Regional Planning



Local Context  
A4 Scale 1 : 2000

## 1. Introduction

|   |   |
|---|---|
| <p><b>a. Brief</b></p> <p>Refer to <b>Annexure A</b> for the Power of Attorney.</p> | <p>Interactive Town and Regional Planning was appointed by the owner of the property, Bjorn Edwige Andre Decock &amp; Annick Eveline France De Smedt to prepare and submit an application for a <u>Consent use for a Guest House</u> in terms of Chapter IV, Section 16.2(o) of the Overstrand Amendment By-law on Municipal Land-use Planning, 2020.</p>   |
| <p><b>b. Background, Development Objective &amp; Application Proposal</b></p>       | <p>The property owner however wishes to use 4 of the existing rooms of the dwelling house for the purposes of lodging transient guests for compensation and meals served for the guests by the owner of the property. Subsequently an application is made for a consent use from the Overstrand Municipality for a guest house with the applicable permission of the Romansbaai Beach and Fynbos Estate Home Owners Association.</p> <p>The dwelling has 6 bedrooms. It is proposed to rent out up to 4 bedrooms with 2 bedrooms being exclusively for use by the owner or staff.</p> <p><b>Ground floor</b></p>  <p><b>First Floor</b></p>  |

Rooms proposed for short term rental

Bedrooms for use by the property owners

**Figure 1: Building plan overlays**



| 2. The Application   |   |                               |  |  |                   |
|--|---|-------------------------------|--|--|-------------------|
| <p><b>a. Analysis: Title Deed</b></p> <p>Refer to Annexure D for the Conveyancer Certificate.</p>  | <p>The Conveyancer Amelia Galvin from Virtual Lawyers issued a certificate confirming that no title deed conditions exists that restricts the development proposal.</p>   |                               |  |  |                   |
| <p><b>b. Analysis: Development Criteria:</b></p> <p>The development parameters for Erf 65 Birkenhead, Overstrand as per the Overstrand Zoning Scheme Regulations, 2020, are summarised as follows:</p> | <p><b>Parameters</b></p>  | <p><b>Existing Zoning</b></p> | <p><b>Proposal</b></p>   | <p><b>Comments</b></p>                         |                   |
| <p><b>Zoning</b></p>   | <p>Residential Zone 1: Single Residential (SR1)</p>   |                               | <p>Residential Zone 1: Single Residential (SR1)</p>  | <p>Consistent</p>                              |                   |
| <p><b>Primary Uses</b></p>   | <p>Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self-catering</p>   |                               | <p>Dwelling house, guest rooms</p>   | <p>Consistent</p>                              |                   |
| <p><b>Consent Uses</b></p>   | <p>Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture</p>  |                               | <p>Guest house</p>   | <p><b>Application is for a consent use</b></p> |                   |
| <p><b>Coverage</b></p>   | <p>50%</p>  |                               | <p>13%</p>   | <p>Consistent</p>                              |                   |
| <p><b>Height</b></p>   | <p>8m for dwelling<br/>2.1m for boundary wall<br/>1m for filling</p>  |                               | <p>6m</p>  | <p>Consistent</p>                              |                   |
| <p><b>Building Lines</b></p>   | <p><b>Street</b></p>  | <p>4m</p>                     |  | <p>±37m</p>                                    | <p>Consistent</p> |
|  | <p><b>Side</b></p>  | <p>2m</p>                     |  | <p>3m</p>                                      | <p>Consistent</p> |
|  | <p><b>Rear</b></p>  | <p>2m</p>                     |  | <p>±23m</p>                                    | <p>Consistent</p> |
| <p><b>Parking</b></p>  | <p>Guest house: 2 bays per establishment plus 1 bay per guest bedroom &amp;<br/>2 additional bays for guests</p>  |                               | <p>Guest house: 2 bays per establishment plus 1 bay per bedroom &amp;<br/>2 additional bays for guests<br/>8 bays required<br/>8 bays provided</p> | <p>Consistent</p>                              |                   |
| <p><b>c. Definitions</b></p>   | <p><b>“guest house”</b> means a dwelling house or second dwelling unit which is used for the purpose of lodging transient guests for compensation; may provide meals for guests; is occupied by the owner or occupant or manager of the property, may include associated facilities which are only for the use of the bona fide guests and are not accessible to the general public but does not include a hotel, guest rooms, residential building or boarding house;</p> <p><b>“guest rooms”</b> means a limited number of rooms forming part of a dwelling house that are let to transient guests or lodgers, provided that the dominant use of the dwelling house/unit concerned shall remain the accommodation of a single family;</p> |                               |  |  |                   |
| <p><b>d. Application</b></p>   | <p>Application is hereby made in terms of the Overstrand Amendment By-law on Municipal Land-use Planning, 2020 for:</p> <ul style="list-style-type: none"> <li>Consent Use for a guest house in terms of Chapter IV, Section 16(2)(o).</li> </ul>   |                               |  |  |                   |



### 3. Contextual Site Information

**a. Property Description**

| Property          | Extent             | Title Deed | Registered Owner   |
|-------------------|--------------------|------------|--|
| Erf 65 Birkenhead | 3396m <sup>2</sup> | T6499/2021 | Bjorn Edwige Andre Decock & Annick Eveline France De Smedt |

Refer to Annexure E for the SG Diagrams, Annexure B for the Title Deed of Erf 65 Birkenhead

The following Surveyor General Plans reflect the application site:

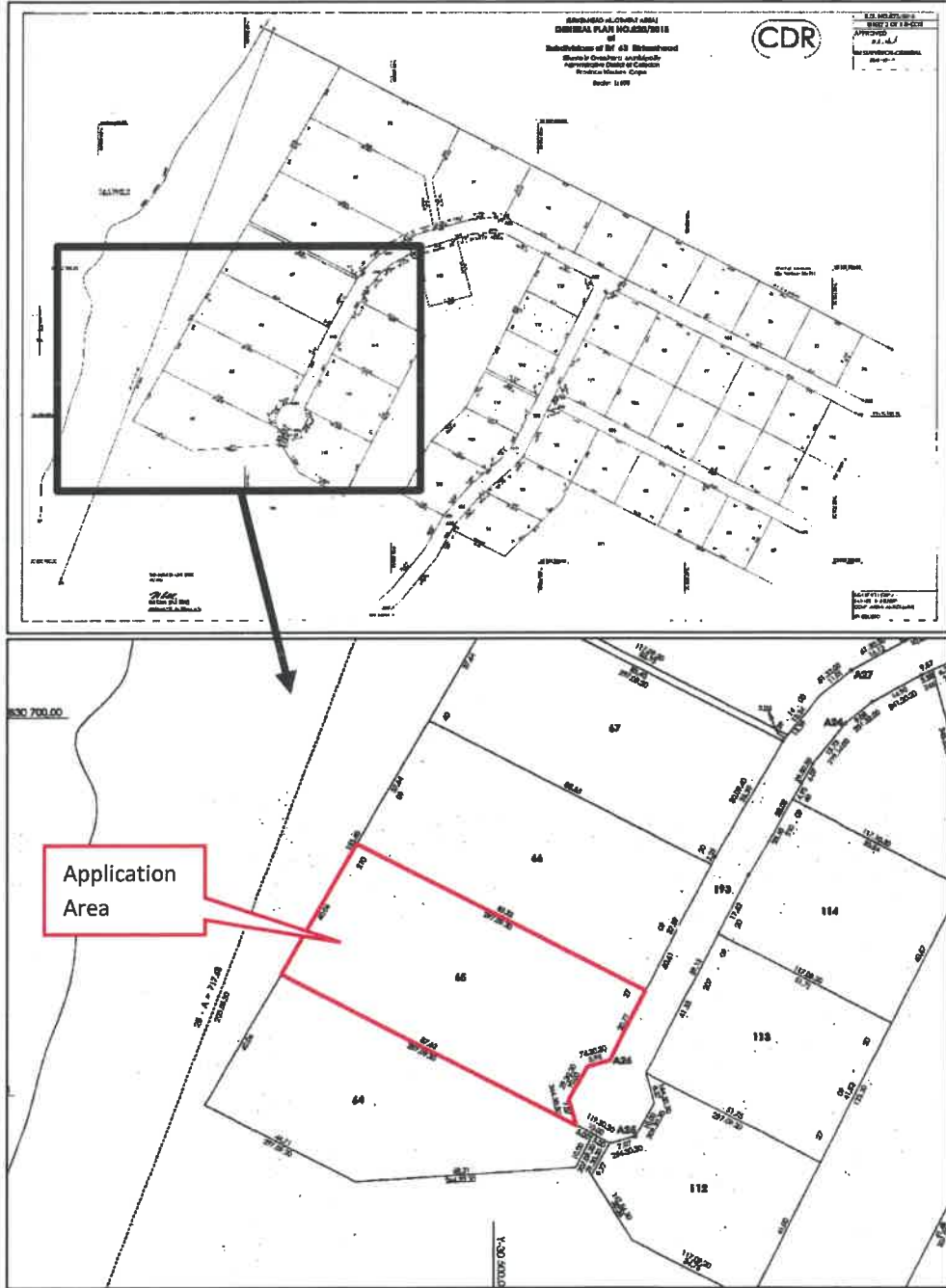


Figure 2: Extracts of the Surveyor General Plans of the application site



**b. Location:**

For the Locality Plans refer to Annexure F.

**Regional Context:**

Within the regional context, the application area is located within Romansbaai Beach and Fynbos Estate, which is located within Birkenhead, Gansbaai.

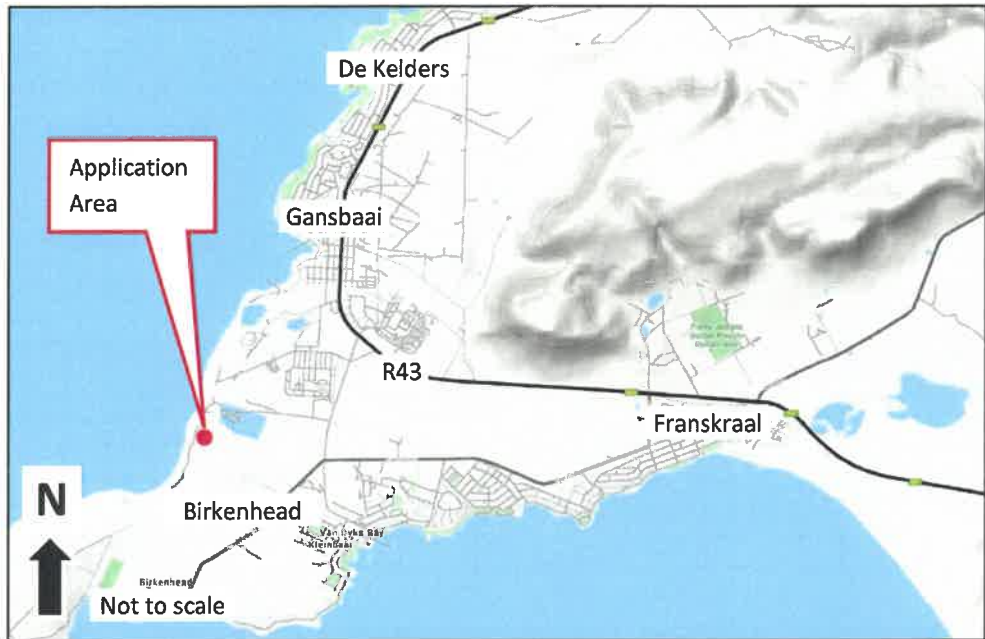


Figure 3: Locality Plan – Regional Context

**Local Context:**

Within the local context the application area is located at 65 Tern Street.



Figure 4: Locality Plan – Local Context



**c. Land Use:**

Refer to the Land Use Plan attached as **Annexure H**.

Erf 65 Birkenhead accommodates a residential dwelling on a single residential zoned erf which is proposed to be used also for a guest house. The surrounding erven are also single residential zoned erven with surrounding ecological corridors (Private Open Space) as indicated on the figure below. The application proposal is considered compatible with the land use of the area.

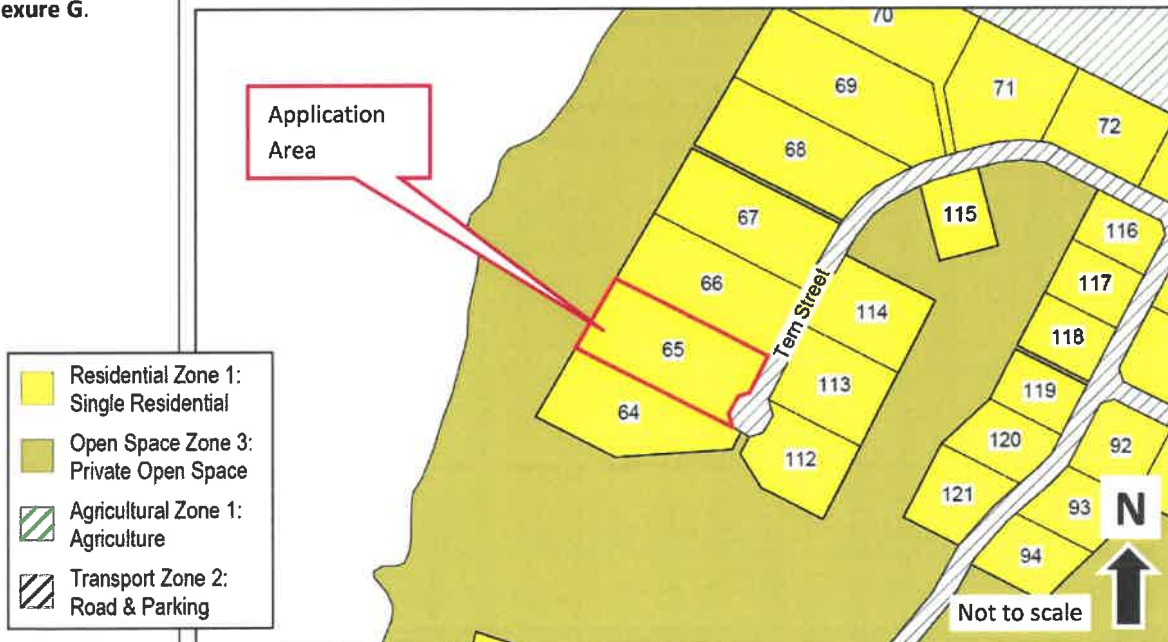


**Figure 5: Land use plan based on a 2023 satellite photo**

**d. Zoning:**

Refer to the zoning map attached as **Annexure G**.

The application area, Erf 65, Birkenhead is zoned Residential Zone 1: Single Residential. The surrounding properties are zoned Residential Zone 1: Single Residential as well and Open Space Zone 3: Private Open Space. No change in zoning is proposed. The application area's zoning is consistent with the zoning of the area.



**Figure 6: Overstrand online zoning viewer extract**



|  |   |
|--|---|
| <p>e. <b>Spatial Planning Policy</b></p> | <p>The following policy guidelines from the following relevant policy documents are <u>applicable</u> to the application area:</p> <ul style="list-style-type: none"> <li>• Overstrand Municipality Spatial Development Framework 2020</li> <li>• Overstrand Municipality Growth Management Strategy, 2010</li> </ul> <p><b>i. Overstrand Municipality Spatial Development Framework 2020</b></p> <p>The SDF is aimed at providing general direction to guide decision making on an ongoing basis, aiming at the creation of integrated, sustainable and habitable regions, cities, towns and residential areas.</p> <p><b>“Franskraal &amp; Birkenhead Status Quo</b></p> <p><i>The area is well known for its shark diving industry and is becoming an increasingly popular tourist, holiday, residential and retirement destination.</i></p> <p><b>2.5 OUR ECONOMY</b></p> <p><b>b) Growth in employment</b></p> <p><i>Employment growth for the Western Cape suggests that transport, finance, insurance, real estate and business services sectors as well as the transport, storage and communication sector had the highest growth of 2.9% per annum, followed by wholesale and retail trade, catering and accommodation (2.7% per annum).</i></p> <p><b>2.7.1 Regional Landscape and Land Use Activities</b></p> <p><i>Tourism is a major economic driver in the Overstrand and its popularity as a holiday destination results in a fourfold increase of its population over the holiday seasons. In addition to the pristine beaches dotting the coastline the Overstrand boasts of three Blue Flag beaches and a number of major tourism areas/attractions of national and international significance.</i></p> <p><i>Specialised shark cage diving boats leaves the Kleinbaai harbour of Gansbaai daily, so that adventure seekers can have close encounters with Great White sharks. The fertile Baardskeerdersbos valley, the fresh water caves at De Kelders, the Jackass penguins at Dyer’s Island and the renowned Shark Alley, in addition makes Gansbaai a uniquely attractive region within Overstrand Municipality.</i></p> <p><b>3.5 VIBRANT AND EXCITING URBAN AREAS</b></p> <p><b>Where we want to be in 2050</b></p> <p><i>In 2050, Overstrand is renowned as a region that harbours a variety and diverse range of attractive settlements. The combination of the region’s rich natural and cultural tourism attractions, integrated with quality built environments makes it an attractive tourism destination and well sought after area to live in.</i></p> <p><b>3.7 AN OVERSTRAND THAT ENABLES A PROSPEROUS AND DIVERSE ECONOMY</b></p> <p><i>The Overstrand builds on its reputation as being a world class tourism destination attracting increasing amounts of tourists to its prime locations and facilities. Tourists in addition to visitors and new skilled labourers are drawn to the Overstrand’s unique natural, heritage and cultural attributes and well-designed built environment, providing a consistent economic influx to the area.”</i></p> <p>The application area is within an urban development area, an Environmental Sensitive Development Area and a Coastal Protection Zone.</p> |
|--|---|



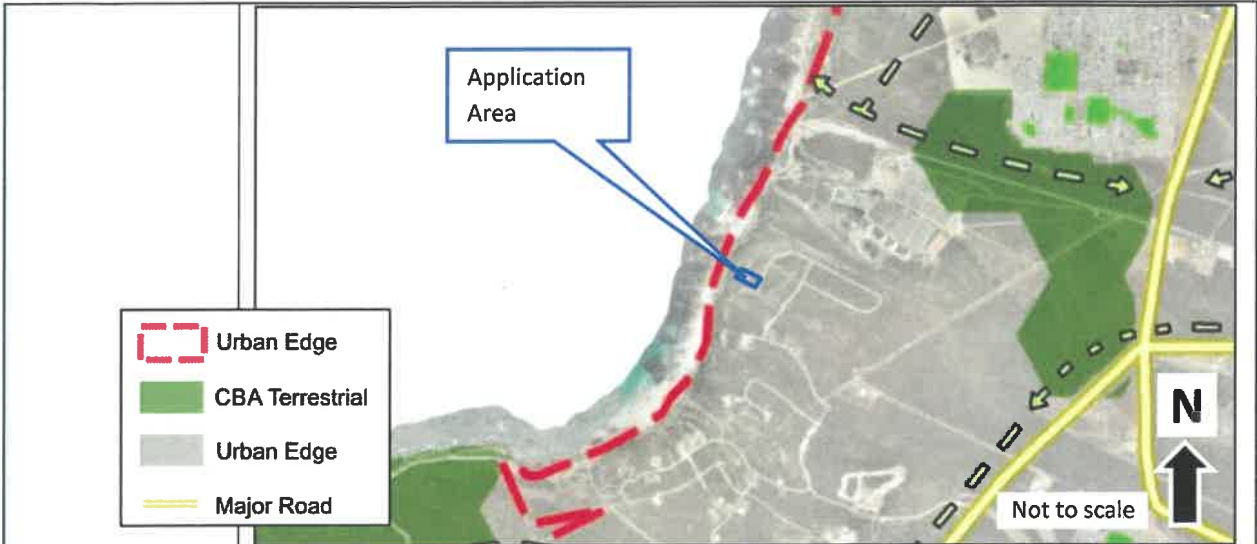


Figure 7: 2020 MSDF Spatial Proposal Birkenhead

The application proposal is considered consistent with the Overstrand Municipality Spatial Development Framework 2020.

ii. **Overstrand Municipality Growth Management Strategy, 2010**

The Overstrand Growth Management Strategy defines, explains, and uses densification as a growth management tool to positively redress and counteract the effects of urban sprawl to promote the longer-term sustainability of the Overstrand Municipality and its sub-regions environmental quality.

The application area is located within a “less than 10 Dwelling Units Per Hectare Densification Zone” as well as within an area demarcated for urban design guidelines as well as an integration link.

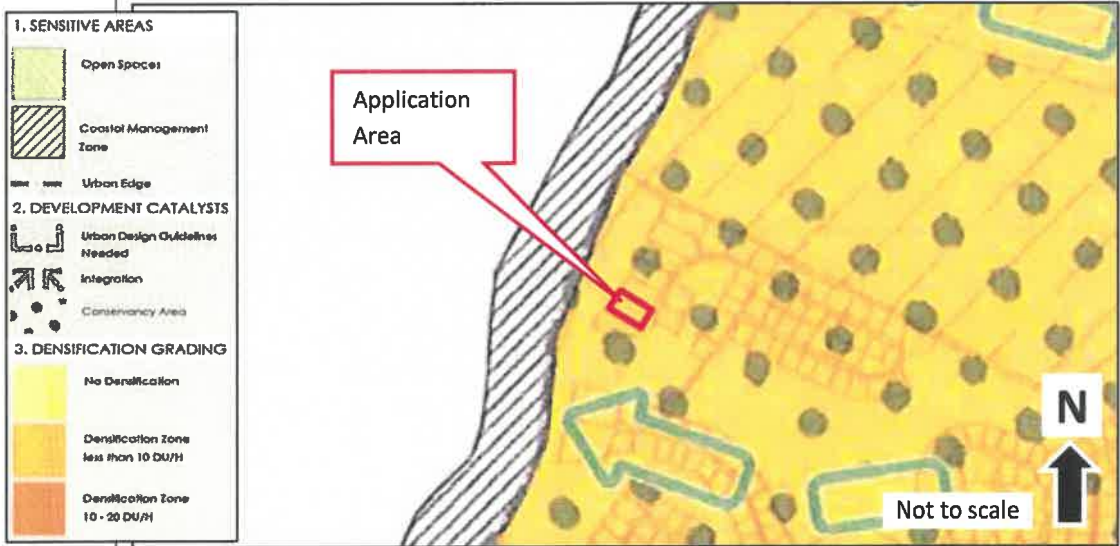


Figure 8: Extract from the Overstrand Municipality Growth Management Strategy, 2010

The application is, with cognisance of these proposals, considered consistent with the Overstrand Municipality Growth Management Strategy, 2010.



## 4. Motivation

### Motivation for the application:

Refer to Annexure I for the Site Plan.

#### a. Introduction & Background:

The application area consists of a six bedroom dwelling house within Romansbaai Beach and Fynbos Estate in Birkenhead. The existing zoning allows for two of the bedrooms to be rented out to transient guests.

#### b. Proposal

The objective of the application is to allow for the renting out of up to four of the six bedrooms to transient guests. The remaining two bedrooms are to be used for the owners of the property or staff.

Application is therefore for a consent use for a guest house.

The ground floor is mostly for use by the guests and the first floor is for use by the owners of the property. Meals are offered to guests as well.

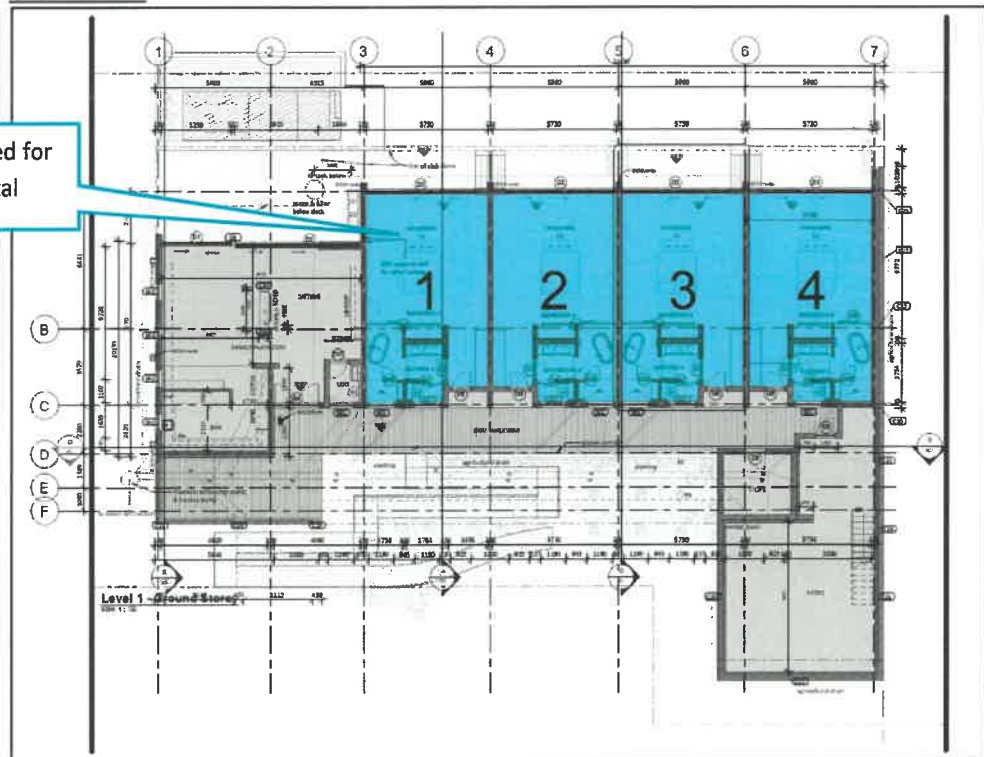
No change in structures are proposed. As a result there will be no increase in scale or intensification of land use. The scale of the dwelling is also consistent with other dwellings in the area. Romansbaai Beach and Fynbos Estate also has approximately six venues / guest houses that provides lodging to transient guests. The character of the area will therefore not be affected.

The property owner will be able to generate additional income by utilising unused rooms, thus improving spatial efficiency and creating additional value with existing resources. The application proposal also contributes to the tourism industry in the greater Gansbaai area and provides employment for guest house staff.

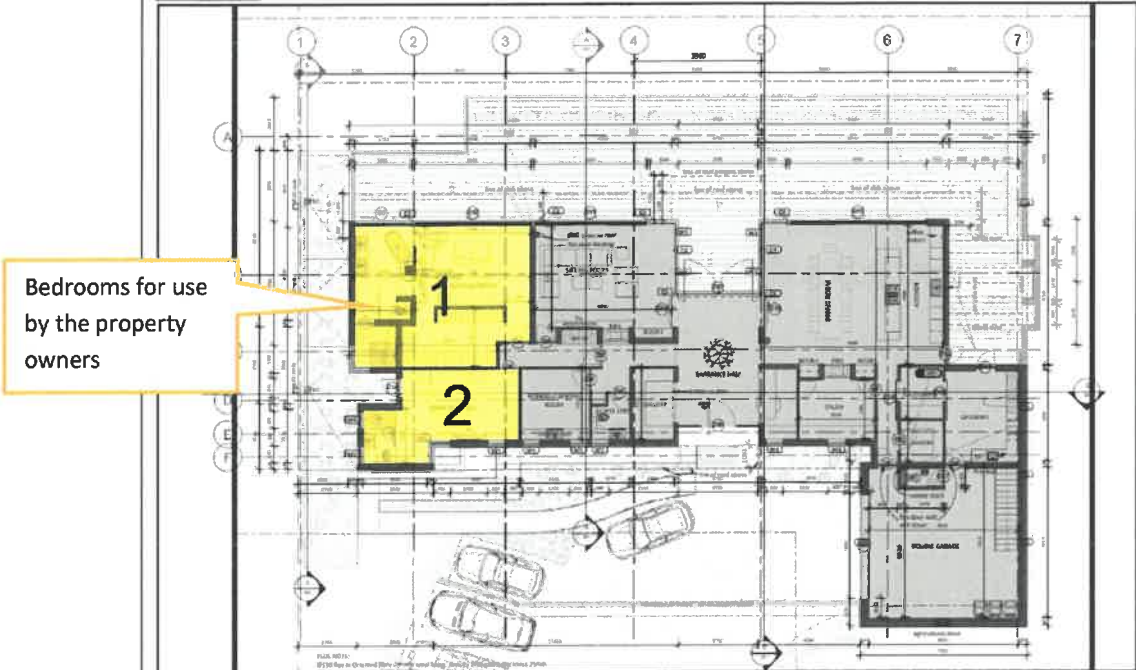
Eight parking bays are provided as per the 2020 approval, which complies with number of bays required by the zoning scheme and Romansbaai Design Guidelines.

#### Ground floor

Rooms proposed for short term rental



**First Floor**



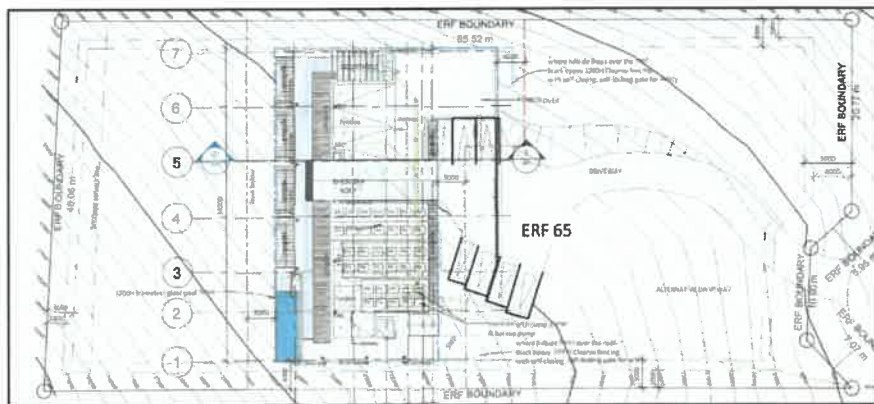
Bedrooms for use by the property owners

**Figure 9: Building plan overlays**



Application Area  
 Parking Bays

**Figure 10: Parking illustration on arial photo**



**Figure 11: Extract of the Site Plan approved in 2020**



**c. Desirability of the proposal**

The proposal is considered **desirable** for the following reasons:

- The application proposal creates income and employment and will contribute to the tourism industry of the area.
- The character of the area will remain unaffected and the proposal is consistent with the character of the area.
- The existing building will be used for the guest house, thus not increasing the scale of the structures on the property.
- The application proposal is consistent with the relevant policy documents.
- The application proposal complies with the zoning criteria including the parking requirement.

**d. Planning Principles**

The application has also been analyzed for consistency with the planning principles prescribed by the Spatial Planning and Land Use Management Act, 2013 (SPLUMA) and also the Western Cape Land Use Planning Act, 2014 (LUPA) and the following conclusions were made:

- (i) **Spatial Justice** which refers to the need for redressing the past apartheid spatial development imbalances and aim for equity in the provision of access opportunities, facilities, services and land.

**Possible results of the development**

The application proposal concerns the use of an existing private property and will not impact on spatial justice.

The application is **consistent** with the principle of spatial justice.

- (ii) **Spatial Sustainability** which refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

**Possible results of the development**

The application proposal is for the use of an existing dwelling and will not impact on spatial sustainability.

The application is **consistent** with the principle of spatial sustainability.

- (iii) **Spatial Efficiency** which refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

**Possible results of the development**

The proposal improves the use of the property, therefore improving spatial efficiency.

The application is **consistent** with the efficiency principle.

- (iv) **Spatial Resilience** which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

**Possible results of the development**

The application proposal will generate additional income and create jobs which improves the ability to absorb shocks.

The application is **consistent** with the principle of spatial resilience.



(v) **Good Administration** which, in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

**Possible results of the development**

Consultative practices are being followed in this application as it is done in consultation with the Planning Department of the Municipality who will also advertise the application in such a manner as to enable the Government and the general public to participate in the eventual decision-making process.

The application is **consistent** with the principle of good administration.

## 5. Conclusion

Approval of the application allows for a significant improvement in functionality of the application area without having a negative effect on the character of the area. Furthermore, the application as motivated in this report is regarded **desirable** within its local context and well-integrated within the existing community land-use activities.

It is therefore recommended that the application **be approved** in terms of the Overstrand Amendment By-law on Municipal Land-use Planning, 2020, as follows:

- Consent Use for a guest house in terms of Chapter IV, Section 16(2)(o).





PROJECT

Erf 65 Birkenhead

TITLE

Zoning Plan

- Application Area
- Single Residential
- Private Open Space
- Agriculture
- Vacant

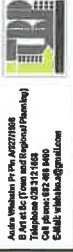


**NO GUARANTEE**  
 INTERACTIVE TOWN & REGIONAL PLANNING MAKES NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED, WITH REGARD TO THE DATA AND SHALL NOT BE LIABLE IN ANY EVENT FOR ANY LOSS OR DAMAGE OF ANY KIND, INCLUDING BUT NOT LIMITED TO, LOSS OF PROFITS, BUSINESS INTERRUPTION, LOSS OF DATA, OR ANY OTHER LOSS OR DAMAGE, WHETHER CAUSED BY THE SOFTWARE OR OTHERWISE, AND THE DATA REMAINS THE SOLE PROPERTY OF THE CLIENT AND MAY ONLY BE USED FOR THE PURPOSES OF A PROJECT WITH THE PRIOR WRITTEN APPROVAL OF THE CLIENT.

CLIENT

|                        |                       |                       |
|------------------------|-----------------------|-----------------------|
| DRAWN BY<br>AFC        | CHECKED BY<br>CMB     | DATE<br>2020/06/01    |
| SCALE (A4)<br>AS SHOWN | PROJECT NUMBER<br>001 | DRAWING NUMBER<br>A01 |

Interactive Town & Regional Planning



100, The Hub, 5th Fl, 14707000  
 8 Kaitake (Down and George Streets)  
 Auckland 1021 1483  
 Call: 09 488 4880  
 Email: [info@itrp.co.nz](mailto:info@itrp.co.nz)



Zoning  
 A4 Scale 1 : 2000

PROJECT  
Erf 65 Birkenhead

TITLE  
Zoning Plan

**Application Area**

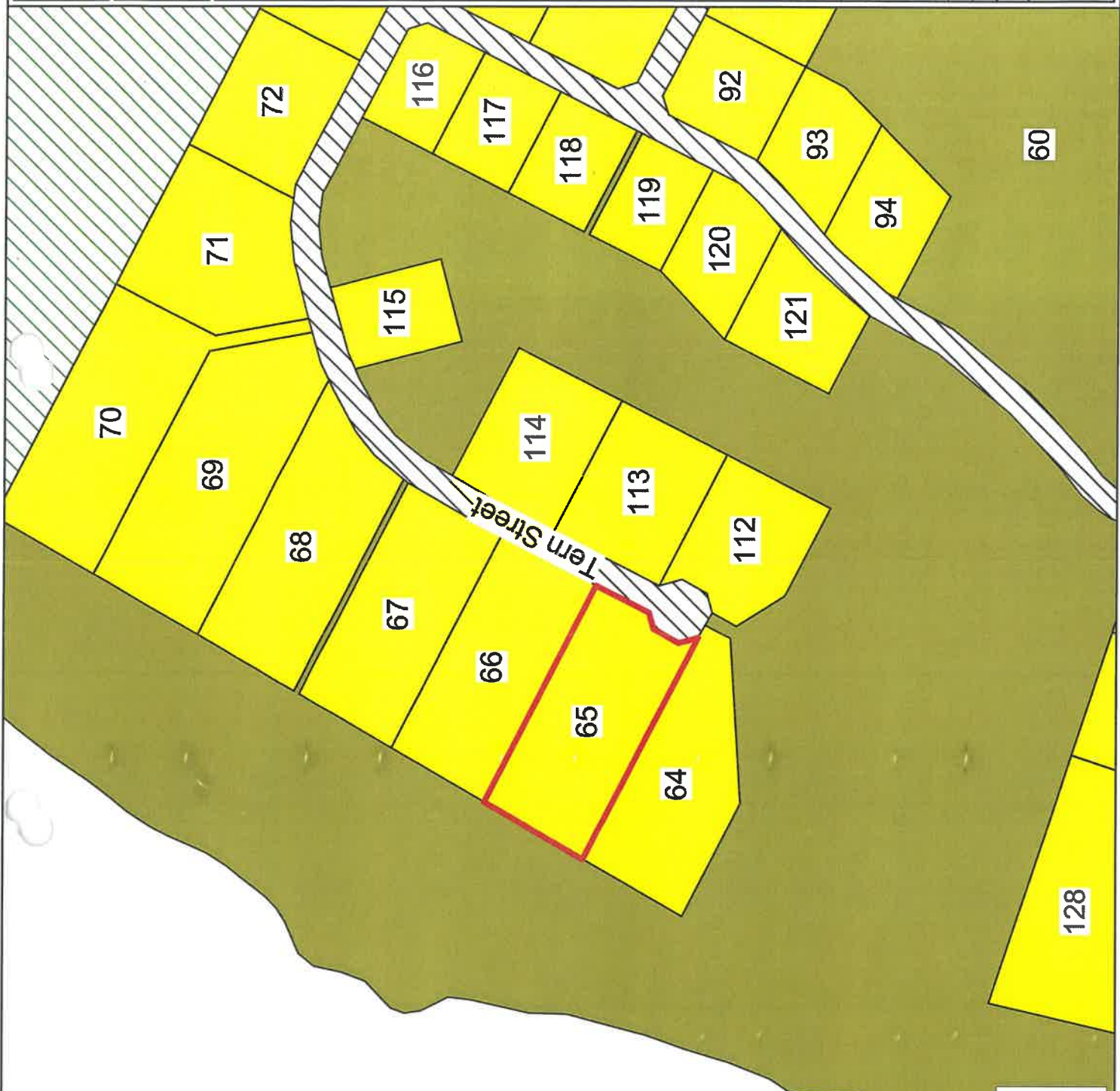
- Residential Zone 1: Single Residential
- Open Space Zone 3: Private Open Space
- Agricultural Zone 1: Agriculture
- Transport Zone 2: Road & Parking



INTERACTIVE TOWN & REGIONAL PLANNING MAKES NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED, WITH REGARD TO THE DATA AND SHALL NOT BE LIABLE IN ANY EVENT FOR ANY LOSS OR DAMAGE, INCLUDING UNFORESEEN CHANGES IN CONNECTION WITH OR ARISING FROM THE USE OF THIS INFORMATION. THE SOLE PROPERTY OF THE CLIENT AND MAY ONLY BE USED FOR THE PURPOSES OF A PROJECT WITH THE PRIOR WRITTEN APPROVAL OF THE CLIENT.

|                          |                       |                       |
|--------------------------|-----------------------|-----------------------|
| DRAWN BY<br>Author       | CHECKED BY<br>Checker | DATE<br>2020/05/20    |
| SCALE (R.A.)<br>As Shown | PROJECT NUMBER<br>001 | DRAWING NUMBER<br>A01 |

**Interactive Town & Regional Planning**  
 Auckland  
 100 Waiwaka Pk Way, Auckland  
 Telephone: 09 231 1188  
 Cell Phone: 09 488 0488  
 Email: [info@itrp.co.nz](mailto:info@itrp.co.nz)



Zoning  
A4 Scale 1 : 2000



**NOTES:**

1. CONTENT AND SCOPE OF REPRODUCTION OF THIS DRAWING IS LIMITED TO THE PROJECT AND SITE SPECIFIC INFORMATION.
2. QUALITY OF ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE INSTRUCTIONS OF THE ARCHITECT AND TO BE SETTING OUT BY THE WORKER, ALL EXTERNAL AND INTERNAL WALLS WITH WHERE RELEVANT, TO BE FINISHED, INCLUDING TERRACE, ETC.
3. DIMENSIONS OF ALL ELEMENTS TO BE SETTING OUT BY THE WORKER TO BE IN ACCORDANCE WITH THE DIMENSIONS ON SITE AND TO CHECK THE SAME AGAINST THE DRAWING PRIOR TO THE START OF WORK.
4. CONTRACTOR TO LOCATE AND IDENTIFY EXISTING SERVICES AND TO BE RESPONSIBLE FOR THE PROTECTION THROUGHOUT THE DURATION OF WORK.
5. EACH FLOOR LEVEL SHALL HAVE A LEVEL CALL EXTERNAL WALLS AT DOOR OR OTHER OPENINGS IN EXTERNAL WALLS, CARRY WALLS AT EXTERIOR WALLS AND INTERNAL WALLS TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO STARTING ANY WORK THEREON.

| REVISIONS |      |             |
|-----------|------|-------------|
| No        | Date | Description |
|           |      |             |
|           |      |             |
|           |      |             |

DATE

ARCHITECT SIGNATURE

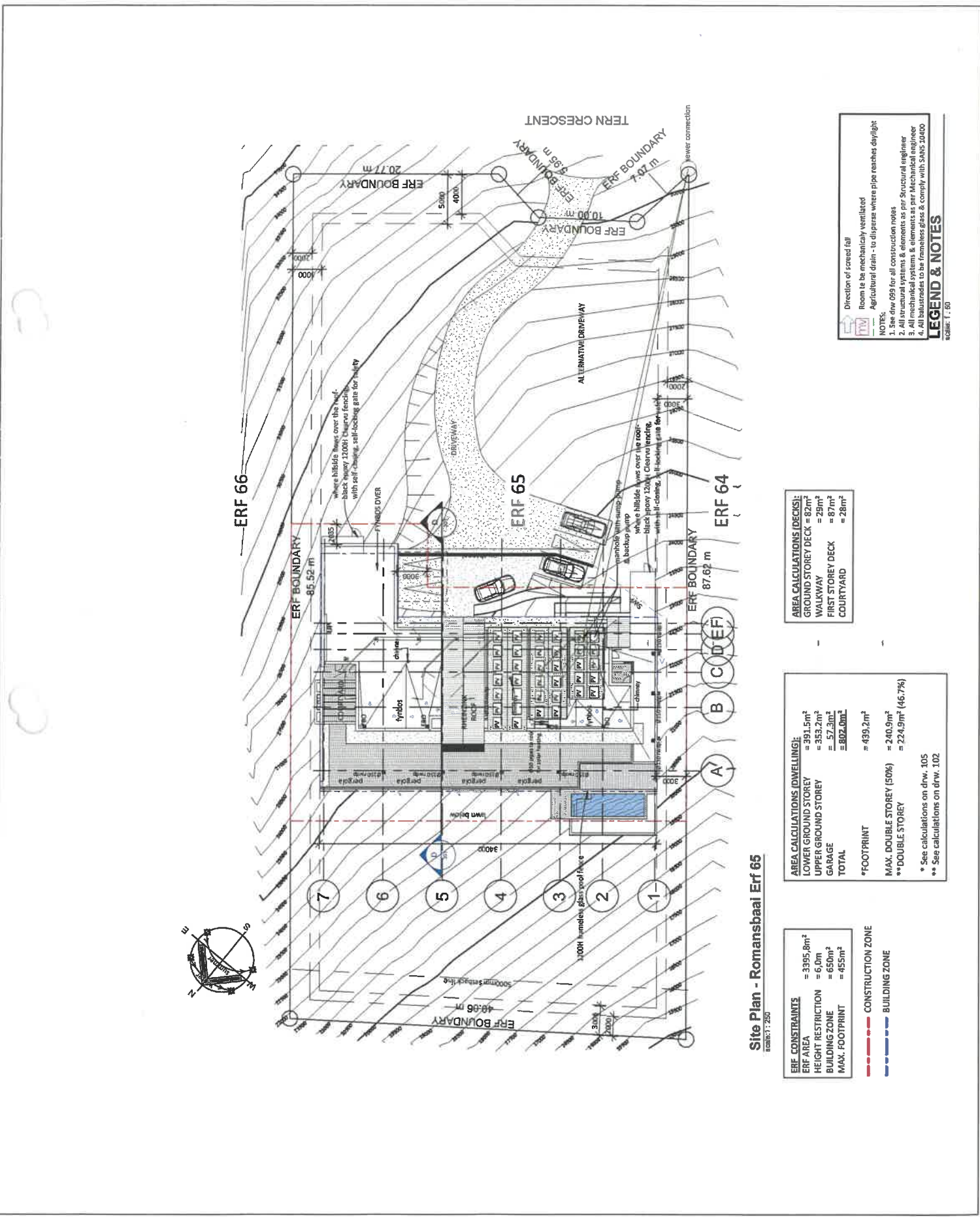
DATE

CLIENT SIGNATURE

**PROPOSED NEW RESIDENCE FOR BJORN DE COCK AND ANNICK DE SMEDT, ON ERF 65, ROMANSBAAL, BIRKENHEAD, GANSBAAI**

Scale on A2: As Indicated

Revision: 19-013 - 100



**Site Plan - Romansbaal Erf 65**  
Scale: 1:250

**ERE CONSTRAINTS**

|                    |                        |
|--------------------|------------------------|
| ERE AREA           | = 3395,8m <sup>2</sup> |
| HEIGHT RESTRICTION | = 6,0m                 |
| BUILDING ZONE      | = 650m <sup>2</sup>    |
| MAX. FOOTPRINT     | = 455m <sup>2</sup>    |

**CONSTRUCTION ZONE**

**BUILDING ZONE**

**AREA CALCULATIONS (DWELLING):**

|                     |                       |
|---------------------|-----------------------|
| LOWER GROUND STOREY | = 391,5m <sup>2</sup> |
| UPPER GROUND STOREY | = 353,2m <sup>2</sup> |
| GARAGE              | = 57,3m <sup>2</sup>  |
| TOTAL               | = 802,0m <sup>2</sup> |

**\*FOOTPRINT** = 439,2m<sup>2</sup>

**MAX. DOUBLE STOREY (50%)** = 240,9m<sup>2</sup>

**\*\*DOUBLE STOREY** = 224,9m<sup>2</sup> (46,7%)

\* See calculations on drw. 105  
\*\* See calculations on drw. 102

**AREA CALCULATIONS (DECKS):**

|                    |                    |
|--------------------|--------------------|
| GROUND STOREY DECK | = 82m <sup>2</sup> |
| WALKWAY            | = 29m <sup>2</sup> |
| FIRST STOREY DECK  | = 87m <sup>2</sup> |
| COURTYARD          | = 28m <sup>2</sup> |

**LEGEND & NOTES**  
Scale: 1:50

Direction of sward fall

Room to be mechanically ventilated

Agricultural drain - to disperse where pipe reaches daylight

**NOTES:**

1. See drw 099 for all construction notes
2. Structural systems & elements as per Structural engineer
3. All calculations as per Mechanical engineer
4. All balustrades to be frameless glass & comply with SANS 3000

**NOTES:**

1. CONTRACT AND BEST OF REPRESENTATION OF THIS DRAWING IS LIMITED TO THE SPECIFIC WORK AND SHALL NOT BE USED FOR ANY OTHER PURPOSES.
2. QUANTITY OF ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE CONTRACT SHALL BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES AND OTHER RELEVANT AGENCIES TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES AND OTHER RELEVANT AGENCIES TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES AND OTHER RELEVANT AGENCIES TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES AND OTHER RELEVANT AGENCIES TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
6. CONTRACTOR TO LOCATE AND IDENTIFY EXISTING SERVICES AND UTILITIES AND TO PROVIDE PROTECTIVE MEASURES THROUGHOUT THE DURATION OF WORK.
7. CONTRACTOR TO PROVIDE ALL NECESSARY MATERIALS AND LABOUR TO COMPLETE THE WORK AND TO MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SERVICES.
8. ANY DISCREPANCIES BETWEEN DRAWINGS ARE TO BE RESOLVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
9. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
10. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT PRIOR TO IMPLEMENTATION.

**REVISIONS**

| No | Date | Description | By |
|----|------|-------------|----|
|    |      |             |    |



**DM**

**DENIS MAAS**  
 LICENSED ARCHITECT  
 INTERIOR  
 DESIGNER

DATE: \_\_\_\_\_  
 ARCHITECT SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_  
 CLIENT SIGNATURE: \_\_\_\_\_

15, 16 & 17 DE WITTE WEG, 1017 CA AMSTERDAM, THE NETHERLANDS  
 TEL: +31 (0) 20 610 0000 FAX: +31 (0) 20 610 0001  
 WWW.DENISMAASARCHITECTURE.COM

**PROPOSED NEW RESIDENCE FOR BJORN DE COCK AND ANNICK DE SWEDT, ON ERF 65, ROMANSBAAI, BIRKENHEAD, GANSSBAAI**

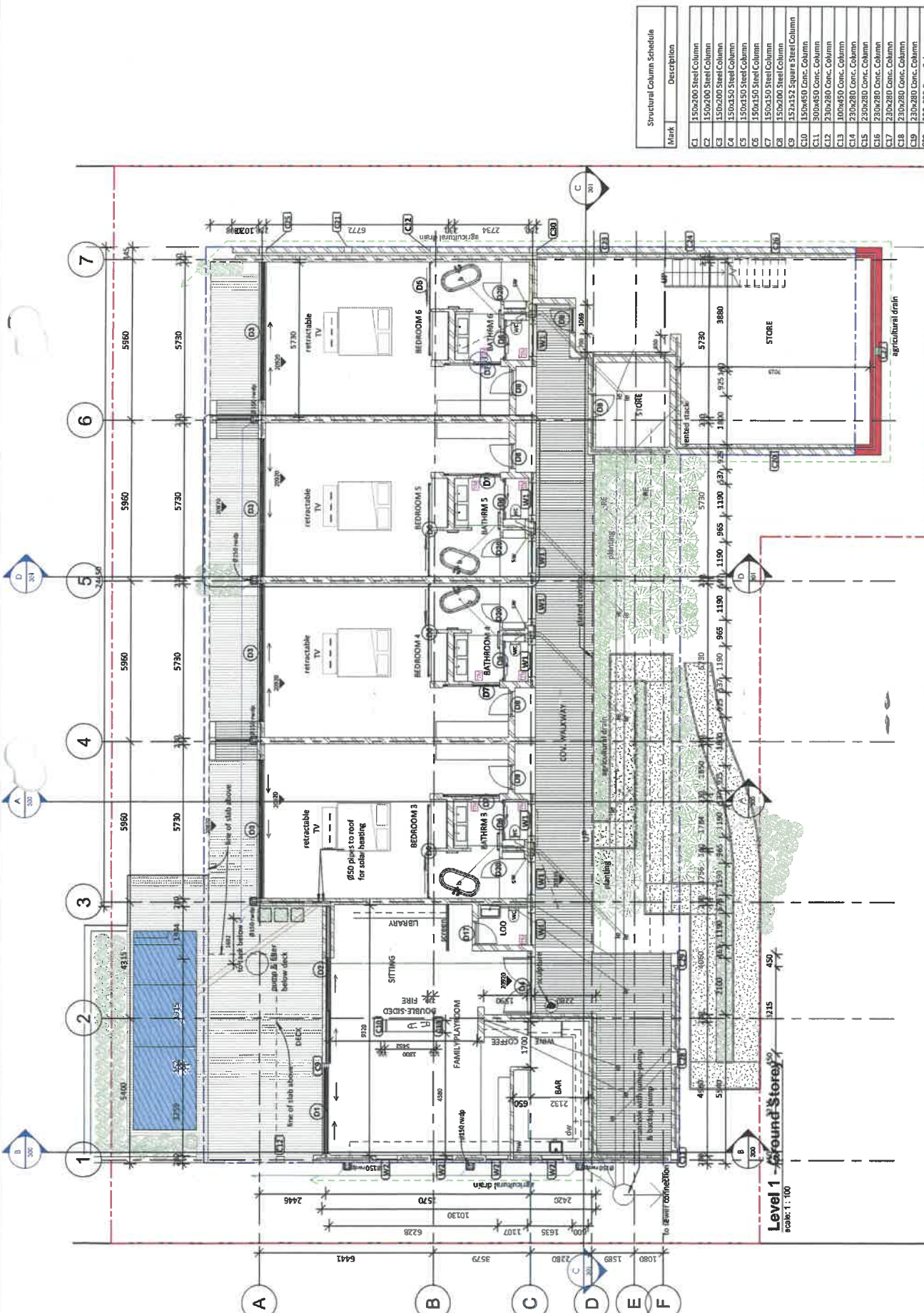
**LEVEL 1 - GROUND STOREY**

Scale on A2:  
 As indicated

Drawn by:  
 B. Rell

Drawing No.  
 19-013 - 200

Revision:



**Structural Columns Schedule**

| Mark | Description          |
|------|----------------------|
| C1   | 150x200 Steel Column |
| C2   | 150x200 Steel Column |
| C3   | 150x200 Steel Column |
| C4   | 150x150 Steel Column |
| C5   | 150x150 Steel Column |
| C6   | 150x150 Steel Column |
| C7   | 150x150 Steel Column |
| C8   | 150x200 Steel Column |
| C9   | 150x150 Steel Column |
| C10  | 150x150 Steel Column |
| C11  | 300x450 Conc. Column |
| C12  | 300x450 Conc. Column |
| C13  | 300x450 Conc. Column |
| C14  | 300x450 Conc. Column |
| C15  | 300x450 Conc. Column |
| C16  | 300x450 Conc. Column |
| C17  | 300x450 Conc. Column |
| C18  | 300x450 Conc. Column |
| C19  | 300x450 Conc. Column |
| C20  | 300x450 Conc. Column |
| C21  | 300x450 Conc. Column |
| C22  | 300x450 Conc. Column |
| C23  | 300x450 Conc. Column |
| C24  | 300x450 Conc. Column |
| C25  | 300x450 Conc. Column |
| C26  | 300x450 Conc. Column |
| C27  | 300x450 Conc. Column |
| C28  | 300x450 Conc. Column |
| C29  | 300x450 Conc. Column |
| C30  | 300x450 Conc. Column |

**LEGEND & NOTES**

Scale: 1:100

Direction of screen fall  
 Room to be mechanically ventilated  
 Agricultural drain - to disperse where pipe reaches daylight

**NOTES:**

1. See draw 099 for all construction notes
2. All structural systems & elements as per Structural engineer
3. All mechanical systems & elements as per Mechanical engineer
4. All balustrades to be framed in glass & comply with SANS 10400

**LEGEND & NOTES**

--- CONSTRUCTION ZONE  
 --- BUILDING ZONE

**NOTES:**

1. COPYRIGHT AND RIGHT OF REPRODUCTION OF THIS DRAWING IS RESERVED BY DENIS MAAS ARCHITECT.
2. QUALITY OF ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE REQUIREMENTS OF THE CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF ALL WORK AND FOR THE CORRECT POSITIONING OF ALL STRUCTURAL ELEMENTS AND FINISHES WITHIN THE TOLERANCES SPECIFIED IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE AND CHECK THE SAME AGAINST THE DIMENSIONS ON THE DRAWINGS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO COMMENCING WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO COMMENCING WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO COMMENCING WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO COMMENCING WORK.

| No | Date | Description | By |
|----|------|-------------|----|
|    |      |             |    |

DATE

ARCHITECT SIGNATURE

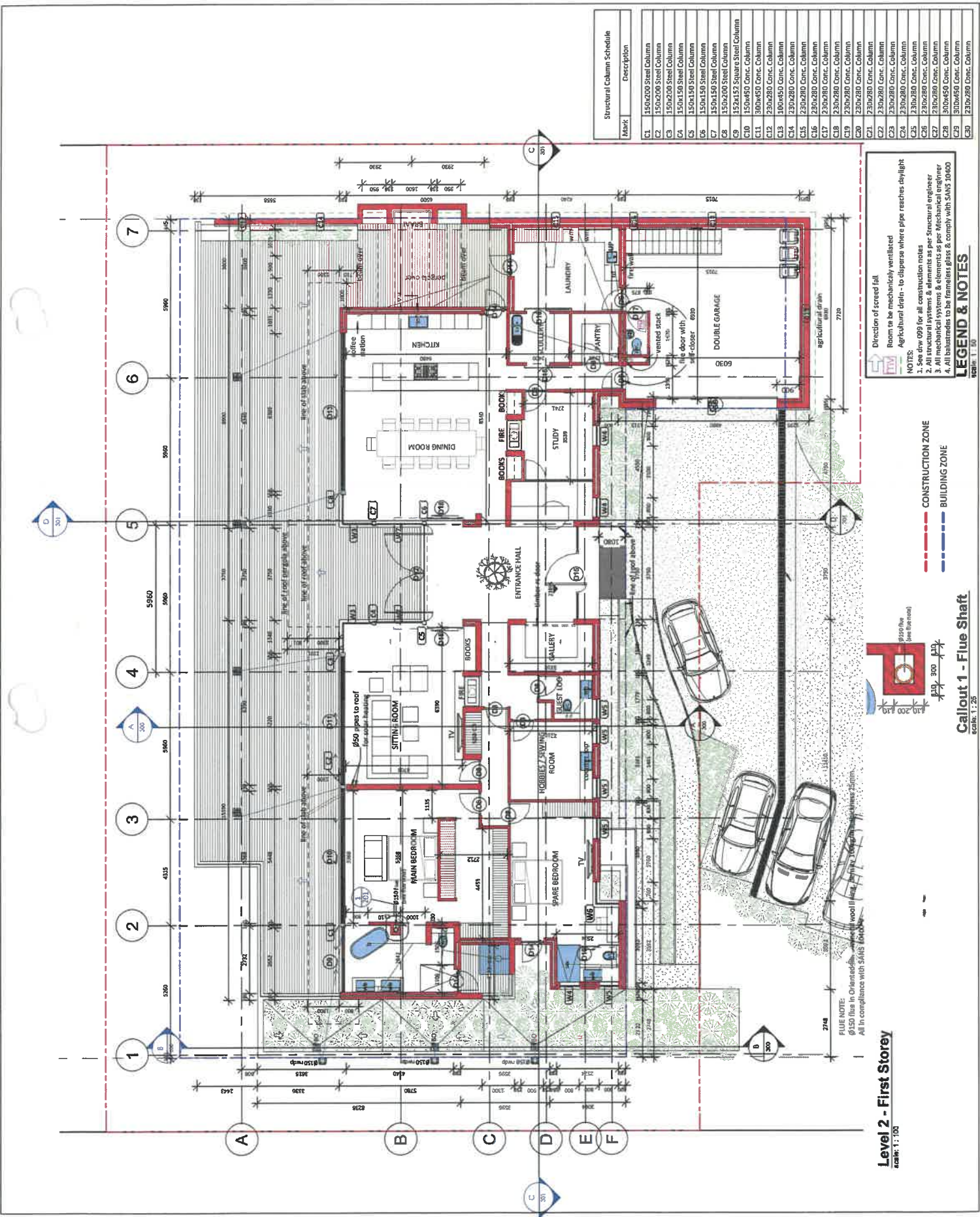
DATE

CLIENT SIGNATURE

**PROPOSED NEW RESIDENCE FOR BJORN DE COCK AND ANNICK DE SMIEDT, ON ERFF 65, ROMANSBAAI, BIRKENHEAD, GANSBAAI**

LEVEL 2 - FIRST STOREY

Drawn by: B. Rell  
Scale on A2: As indicated  
Drawing No. 19-013 - 201  
Revision:



| Mark | Description                 |
|------|-----------------------------|
| C1   | 150x200 Steel Column        |
| C2   | 150x200 Steel Column        |
| C3   | 150x200 Steel Column        |
| C4   | 150x150 Steel Column        |
| C5   | 150x150 Steel Column        |
| C6   | 150x150 Steel Column        |
| C7   | 150x150 Steel Column        |
| C8   | 150x200 Steel Column        |
| C9   | 152x153 Square Steel Column |
| C10  | 150x950 Conc. Column        |
| C11  | 150x950 Conc. Column        |
| C12  | 150x950 Conc. Column        |
| C13  | 150x950 Conc. Column        |
| C14  | 150x950 Conc. Column        |
| C15  | 150x950 Conc. Column        |
| C16  | 150x950 Conc. Column        |
| C17  | 150x950 Conc. Column        |
| C18  | 150x950 Conc. Column        |
| C19  | 150x950 Conc. Column        |
| C20  | 150x950 Conc. Column        |
| C21  | 150x950 Conc. Column        |
| C22  | 150x950 Conc. Column        |
| C23  | 150x950 Conc. Column        |
| C24  | 150x950 Conc. Column        |
| C25  | 150x950 Conc. Column        |
| C26  | 150x950 Conc. Column        |
| C27  | 150x950 Conc. Column        |
| C28  | 150x950 Conc. Column        |
| C29  | 150x950 Conc. Column        |
| C30  | 150x950 Conc. Column        |

**LEGEND & NOTES**

Direction of spread fall

Room to be mechanically ventilated

Appl. kitchen drain - to disperse where pipe reaches daylight

1. See draw 099 for all construction notes

2. All structural systems & elements as per Structural engineer

3. All mechanical systems & elements as per Mechanical engineer

4. All balustrades to be frameless glass & comply with SANS 10400

CONSTRUCTION ZONE

BUILDING ZONE



**Level 2 - First Storey**


Scale: 1:100

**NOTES:**

1. COPYRIGHT AND RIGHT OF REPRODUCTION OF THIS DRAWING IS RESERVED BY THE ARCHITECT.
2. QUALITY OF ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE SPECIFICATIONS AND STANDARDS OF THE CONTRACT.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING, POSITIONING AND ALIGNMENT OF ALL STRUCTURAL ELEMENTS AND PARTICULAR REFERENCE TO DIMENSIONS, BUILDING LINES, ETC. WHERE RELEVANT.
4. VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE AND TO CHECK THE SAME AGAINST THE CONTRACT DOCUMENTS.
5. CONTRACTOR TO ENSURE THAT ALL DETAILS SHOWN ON THIS DRAWING ARE COMPLIED WITH LOCAL AUTHORITY BY-LAWS AND REGULATIONS.
6. CONTRACTOR TO LOCATE AND VERIFY EXISTING SERVICES (ELECTRICITY, WATER, GAS, ETC.) BEFORE COMMENCING ANY WORK.
7. EACH FLOOR LEVEL, BEAM LEVEL AND TO ALL WINDOW/DOORWAY TO HAVE CEILING OR FLOOR FINISHES TO BE SET TO THE SAME LEVEL AS INDICATED ON THE DRAWING.
8. ANY CHANGES TO BE MADE BETWEEN DRAWINGS ARE TO BE MADE BY A REVISION AND NOT BY A NOTE.
9. ALL DRAWINGS MUST BE SCALED AND USE FINISHED WORK IN HAND.

**REVISIONS**

| No | Date | Description | By |
|----|------|-------------|----|
|    |      |             |    |



DATE \_\_\_\_\_  
ARCHITECT SIGNATURE \_\_\_\_\_

**DENIS MAAS**  
URFESTUURARCHITECT  
BUREAU  
GROENINGEN

DATE \_\_\_\_\_  
CLIENT SIGNATURE \_\_\_\_\_

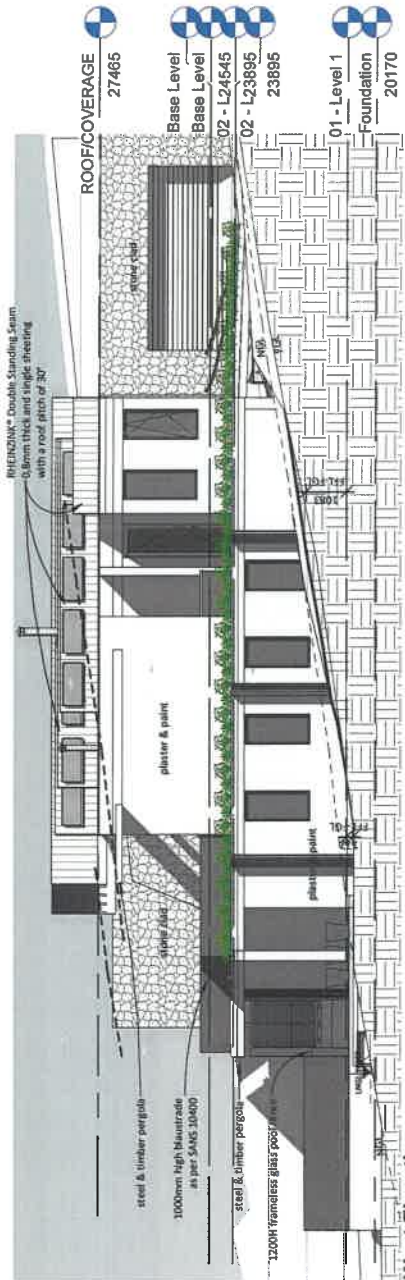
**PROPOSED NEW RESIDENCE FOR  
BJORN DE COCK AND ANNICK DE  
SMEDT, ON ERF 65, ROMANSBAAI,  
BIRKENHEAD, GANSEBAAI**

**ELEVATIONS**

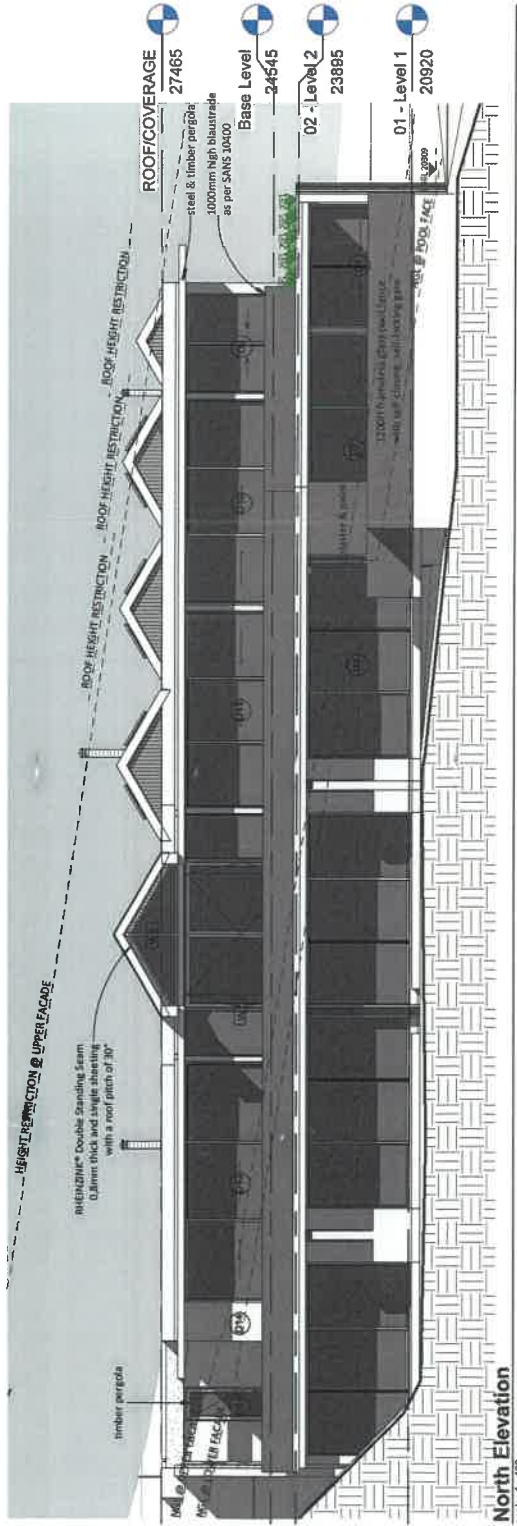
|                             |                         |
|-----------------------------|-------------------------|
| Drawn by:<br>B. Reil        | Scale on A2:<br>1 : 100 |
| Drawing No.<br>19-013 - 400 | Revision:               |



**South Elevation**  
scale: 1 : 100



**West Elevation**  
scale: 1 : 100



**North Elevation**  
scale: 1 : 100

