



**ERF 6416, 99 SONNEBLOM STREET, MOUNT PLEASANT, HERMANUS: APPLICATION FOR CONSENT USE: DESTINY AFTERCARE ON BEHALF OF A & C VLOTMAN**

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) for the Consent Use in terms of Section 16(2)(o) of the Bylaw in order to operate an aftercare facility to accommodate twenty (20) children.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) on or before **24 January 2025**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. B Minnaar** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

**ERF 6416, SONNEBLOMSTRAAT 99, MOUNT PLEASANT, HERMANUS: AANSOEK OM VERGUNNINGSGEBRUIK: DESTINY AFTERCARE NAMENS A & C VLOTMAN**

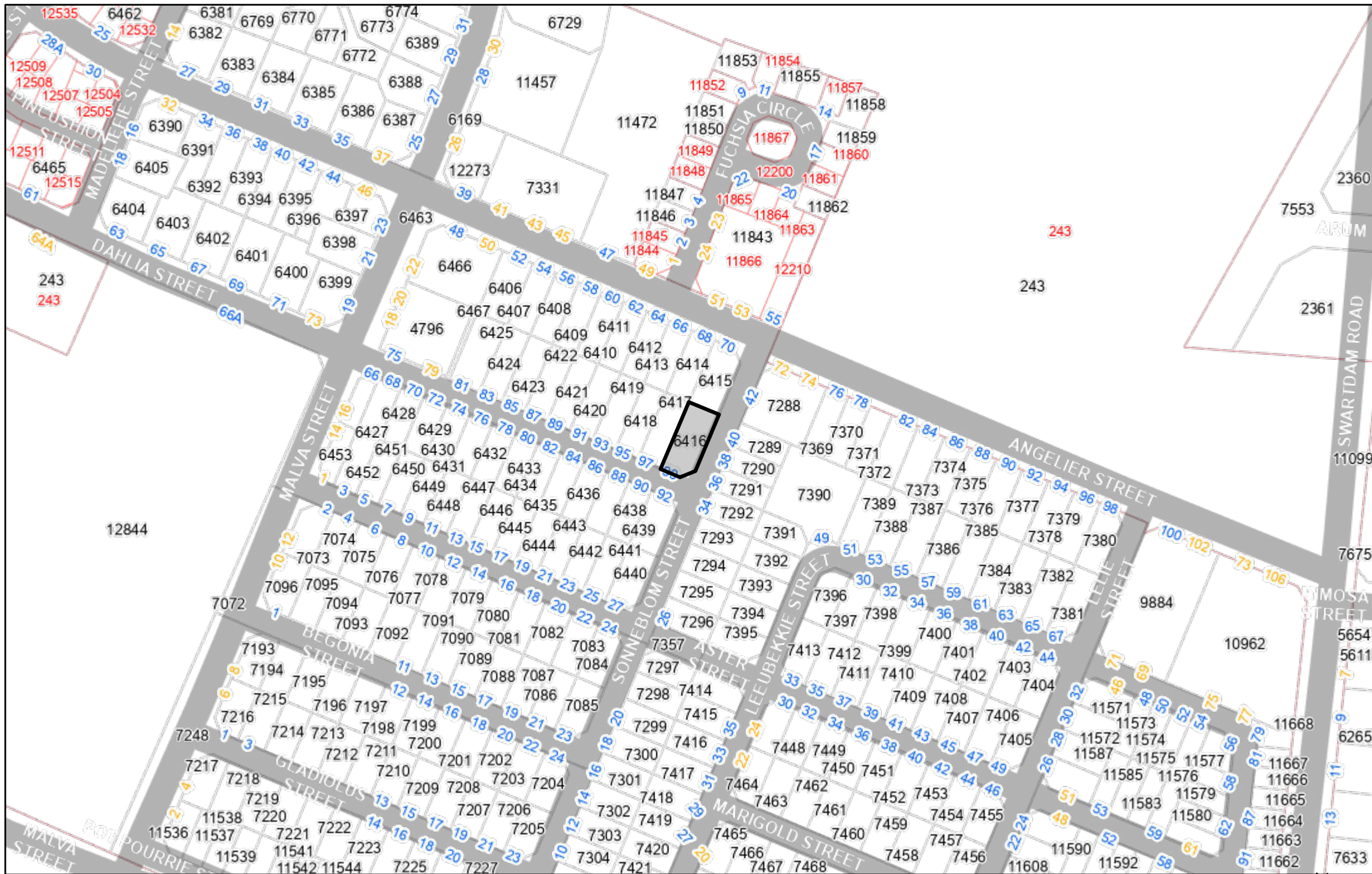
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) vir die Vergunningsgebruik ingevolge Artikel 16(2)(o) van die Verordening ten einde 'n nasorgfasiliteit te bedryf om twintig (20) kinders te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weekdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (e) [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) voor of op **24 Januarie 2025**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr. B. Minnaar** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

**ISIZA 6416, 99 SONNEBLOM STREET, MOUNT PLEASANT E HERMANUS: ISICELO SOKUSETYENZISWA KWEMVUME:DESTINY AFTERCARE EGAMENI LIKA A&C VLOTMAN**

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokusetyenziswa kwemvume ngokwemiqathango yeCandelo 16(2)(o) loMthetho kaMasipala ukuze isebenze indawo yogcino bantwana ukulungiselela abantwana abangamashumi amabini (20)

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxesha okusebenza phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: UCwangciso lweDolophu, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) ngomhla okanye ngaphambi komhla **24 Eyomqungu 2025**, uchaze igama lakho, idilesi kunye neenkukacha zoghagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMwangcisi weDolophu, **Umn. B Minnaar** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukufaka izimvo zakhe ngokusemthethweni.





Mount Pleasant - Hermanus  
Tel: 076 149 3805  
Email: destinyaftercare@gmail.com

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## **ERF 6416, C/O DAHLIA & SONNEBLOM STREET, MOUNT PLEASANT: MOTIVATION REPORT – APPLICATION FOR CONSENT USE**

### **1.) Background**

Mrs. & Mr. Vlotman, the owners of Erf 6416 Mount Pleasant would like to apply for consent use in order to accommodate a place of instruction (Destiny Aftercare) which situated on Erf 6416 Mount Pleasant. Erf 6416 located at the corner of Dahlia and Sonneblom Street and is 431m<sup>2</sup> in extent. The property is currently developed with a single dwelling, garage, an open pergola as well as a shade port and is held by Title Deed Number T000050856/2017.

### **2.) Application Details**

Application is made in terms of:

- ❖ Chapter 4, Section 16(2)(o) of the Overstrand Municipality's revised By-Law on Municipal Land Use Planning, 2020, for consent use for Erf 6416 Mount Pleasant in order to operate a day care centre to accommodate 20 children.

### 3.) GENERAL APPLICATION INFORMATION

#### **Property Description**

The property is situated on the corner of Dahlia and Sonneblom Street, Mount Pleasant and measure 431m<sup>2</sup> in extent. See locality map.

#### **Zoning**

Erf 6416 Mount Pleasant is zoned as Residential zone I: Single residential as indicated on the Overstrand Municipality Zoning Map.

#### **Land Use**

Erf 6416 Mount Pleasant is used for single residential purposes and most of the surrounding properties are also utilized as such. Properties located close to the subject property include churches, the Mount Pleasant Sport Grounds, a playpark as well as public open space. It is therefore evident that Erf 6416 Mount Pleasant is surrounded by mixed land uses. It is therefore the intend of the property owner to utilise a portion of the dwelling house as a day care centre (Destiny Aftercare).

#### **Title Deed**

Erf 6416 Mount Pleasant is held by Title Deed Number T000050856/2017 and there are no restrictive conditions contained in the title deed with regards to the consent use for a day care centre.

#### **Proposed Development**

- Chapter 4, Section 16(2)(o) of the Overstrand Municipality's revised By-Law on Municipal Land Use Planning, 2020, for consent use for Erf 6416 Mount Pleasant.

#### **Proposed Consent Use: Day care centre**

The existing dwelling established on Erf 6416 Mount Pleasant is used for single residential purposes. Since a month ago, the property owner decided to utilise the property as a creche (accommodating 4 children) which is a primary land use right in terms of the Overstrand Municipality Land Use Scheme. Since operating this small venture, the property owner has been inundated with requests from parents to accommodate their children afterschool as a result of the parents working late with no one to care for them. The proposal to operate a day care has seems promising as a result of the afore-mentioned.

The existing dwelling has approved building plans for a single dwelling residential with a garage. To proposal to operate the day will utilise a small portion of the existing dwelling house to accommodate two (2) classrooms.

The site is situated along Sonneblom Street which is not a considered as a street with a high volume of traffic with a speed hump located across from the proposed site to reduce vehicular speed. The proposed stop-and-go will also be situated along Sonneblom Street with two parking bays allocated to the additional teacher / carer.

As of recent there has been a great demand for aftercare facilities within Mount Pleasant and surrounding neighbourhoods with twelve (12) learners already on the waiting list.

The property owner came into contact with the Town and Spatial Planning Department of the Overstrand Municipality to enquire about the proposed utilisation of the aftercare and was informed that an application is to be submitted to acquire the necessary land use rights.

No complaints have been received from any surrounding property owners with regards to the day care centre. The manager of the proposed aftercare is also the owner of the subject property, and she resides within the dwelling house, of which a portion of the house will be used to operate the aftercare.

The current zoning of Erf 6414 Mount Pleasant is Residential Zone 1: Single Residential which allows for day care centre as a consent use on such properties subject to compliance with certain criteria. As prescribed in the Overstrand Municipal Land Use Scheme Regulations, 2020 the primary right of the property does prevail as the rest of the dwelling is utilised for residential purposes.

Please refer to an abstract from the revised Overstrand Municipal Land Use Scheme Regulations, 2020 below:-

**Consent uses are:**

*“day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture”*

It is proposed that an application be submitted for consent use for a place of instruction (aftercare centre) that could accommodate 20 children in total. With reference to the attached plan indicating the internal layout of the dwelling, the dwelling can be described as follows:

- ✚ The repurposed bedroom is the first classroom with an en-suite bathroom that is being used for Grade 4-7 learners.



Figure 1: Classroom 1

- ✚ The living room is the second room that is being used for the Grade 1-3 learners.

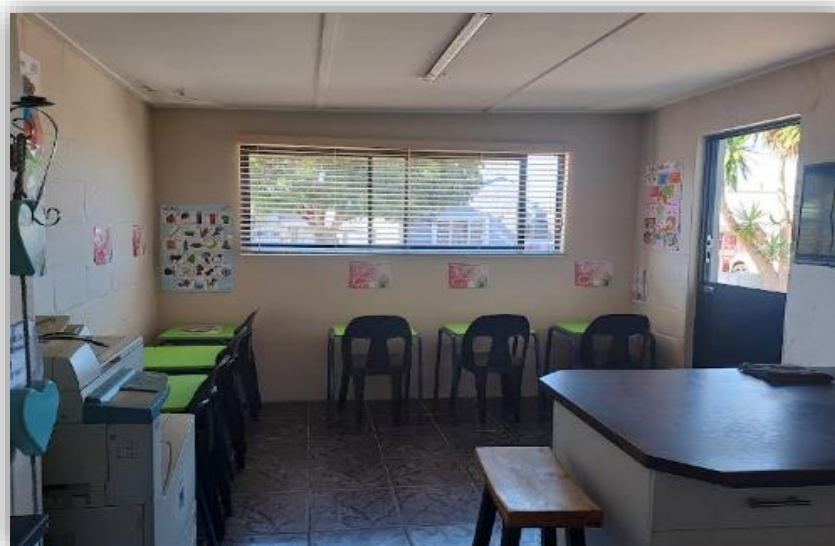


Figure 2: Classroom 2

- ✚ Toilet facilities utilized by the learners have also been provided to the satisfaction of the Health Department.

With reference to the above, the existing dwelling has been adapted to make provision for two (2) classrooms. Learners from the age of 7 to 13 years are being cared for at the day care facility. The children are divided into suitable age groups into the 2 classrooms, as depicted on the enclosed internal layout plan where they would take part in activities in the afternoon.

**The current demography of the learners attending the aftercare can be tables as follows:**

AGE GROUP	GRADE	NUMBER OF LEARNERS
7 years	Grade 1	2
8 years	Grade 2	1
9 years	Grade 3	1
11 years	Grade 5	0

**4) ECONOMIC IMPACT**

The proposed aftercare facility will have a positive impact on the economy of the area. By allowing the aforementioned for the subject property, it diversifies the land uses on the subject property and affords the owners the opportunity to generate additional income that would be re-invested in the area.

The proposed day care centre will create employment opportunities which in today's economy is scarce.

**5) SENSE OF PLACE**

It is the intent of the property owners to protect the sense of place of the area. The impact on the social wellbeing of the adjacent property owners will be minimal. The daycare centre has a well-structured program and routines which will be continuously and actively managed. The children will have full time supervision.

**6) PLANNING PRINCIPLES**

In terms of Chapter VI of the Spatial Planning and Land Use Management Act, 2013 the following Planning Principles have been applied to the application site:

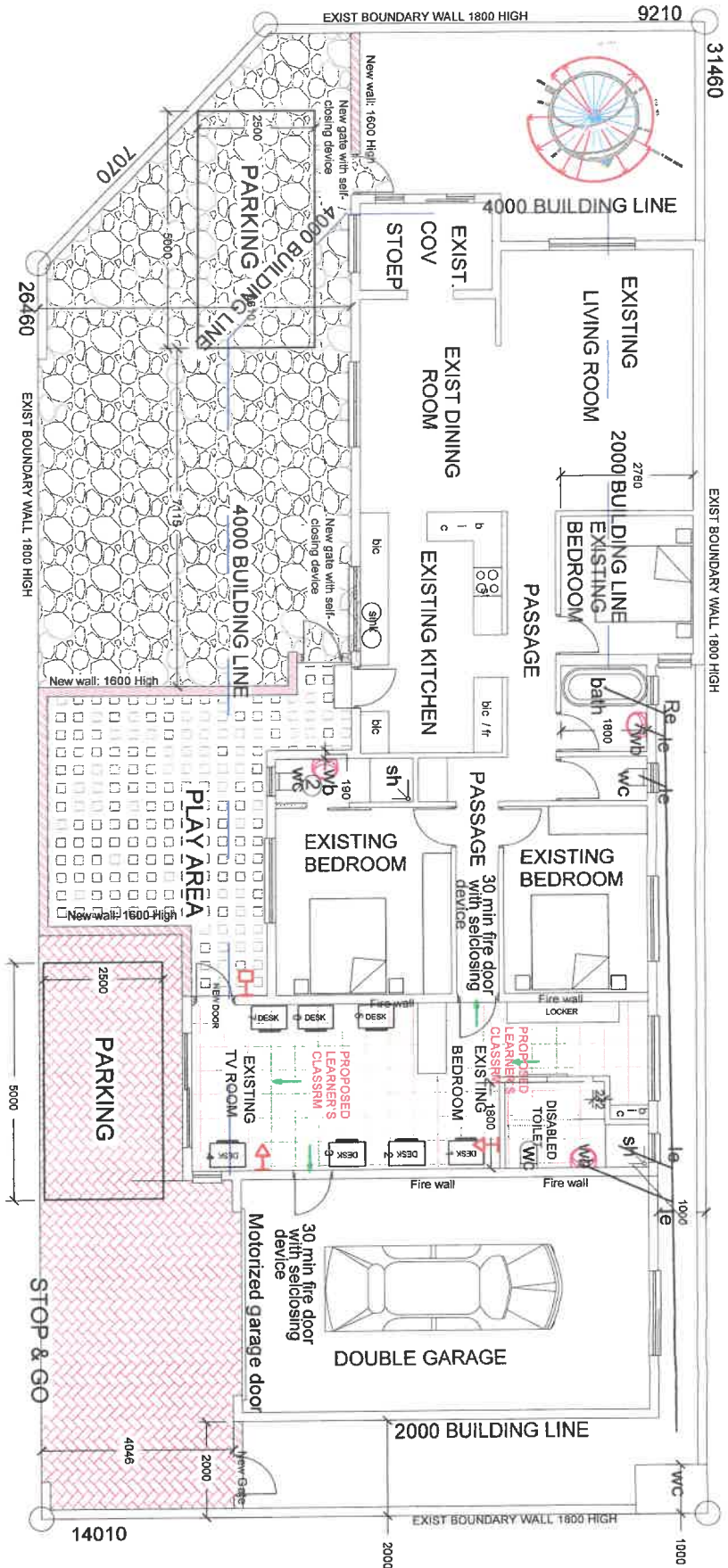
- 1) Spatial Justice - The aftercare facility will be equitably available for children. The application proposal is consistent with the principle of spatial justice.
- 2) Spatial Sustainability - The proposal is for a use of an existing developed property and will not impact on any sensitive areas. The application proposal is consistent with the principle of spatial sustainability.
- 3) Efficiency - The aftercare facility is well located in terms of distances to travel since it is in close proximity to the primary school in Mount Pleasant. The application proposal is consistent with the efficiency principle.
- 4) Spatial Resilience - The proposal is for a use of an existing property and will not impact on spatial resilience. The application proposal is consistent with the principle of spatial resilience.

- 5) Good Administration – The Municipality follows a good administrative process by following the necessary public participation processes. The application proposal is consistent with the principle of good administration.

## Conclusion

The application can be supported for your favourable evaluation. The opinion is held that this application will have no negative impact on the land values, privacy, built environment and character of the area.

# DAHLIA STREET



FIRE HOUSE REEL  
 A water supply incorporating a fire hose reel and a spray-type nozzle that comply with EN 671-1 shall also be available on the premises, but shall be located outside the filling enclosure. Where the water supply is restricted, the local authority shall be consulted.

4kg Dry - Chemical - type Fire Extinguisher  
 Dry-chemical-type fire extinguishers shall comply with the requirements of SANS 1910. Their classification, use and maintenance shall be in accordance with SANS 10125.

## SONNEBLOW STREET

SITE/LAYOUT PLAN : 1 : 100

**CAP-LON DESIGNS**  
 P.A.D.  
 phone: 478 4780  
 fax: 478 4782  
 tel: (029) 315 1856  
 (084) 906 1055  
 e-mail: cad@caplondesigns.com  
 reg. no.: D 0593

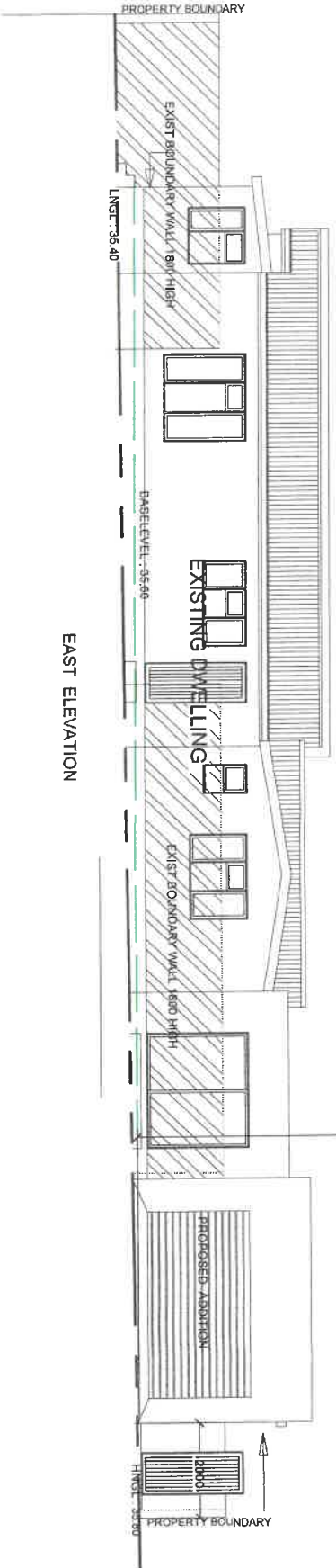
**HOUSE VLOTMAN**  
 PLOT NO. 6418  
 MT PLEASANT

ALTERATIONS

DATE: 2024/08/31  
 AUG 14 CA 1:100

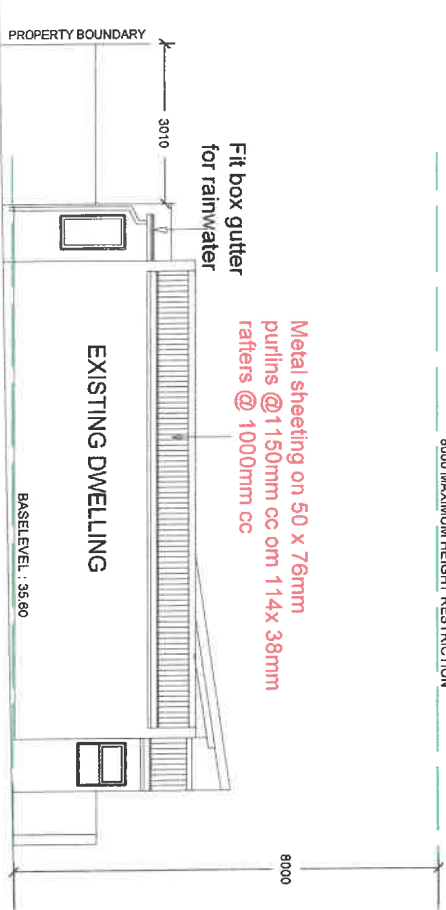


8000 MAXIMUM HEIGHT RESTRICTION



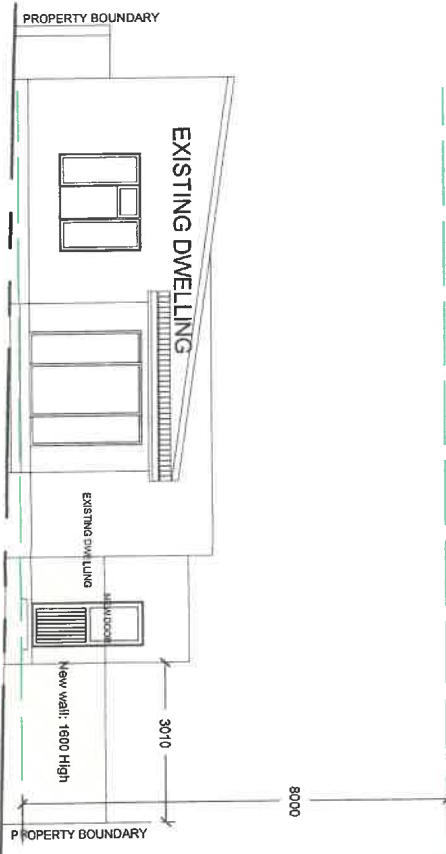
EAST ELEVATION

8000 MAXIMUM HEIGHT RESTRICTION



NORTH ELEVATION

8000 MAXIMUM HEIGHT RESTRICTION



SOUTH ELEVATION

Meta sheeting on 50 x 76mm purlins @ 1150mm cc om 114x 38mm rafters @ 1000mm cc

Fit box gutter for rainwater

CAP-LON DESIGNS

PAD

plan # 478  
drawn 7/202  
date 1/28/2024  
email cad@caplondesigns.com  
tel 09883  
pdp no 09883

HOUSE VLOTMAN  
PLOTNO 6416  
MT PLEASANT

ALTERATIONS

date 2024/08/30  
day 14  
CA  
1:100