

ERF 6119, MARINE DRIVE, NORTHCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: N LLOYD ON BEHALF OF TRUSTEES OF THE OLD HARBOUR HERMANUS

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a consent use in terms of Section 16(2)(o) to allow tourist facilities (museum purposes to accommodate a restaurant).

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) on or before **22 March 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Senior Town Planner, Ms. H van der Stoep** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 6119, MARINEWEG, NORTHCLIFF, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM VERGUNNINGSGEBRUIK: N LLOYD NAMENS TRUSTEES OF THE OLD HARBOUR HERMANUS

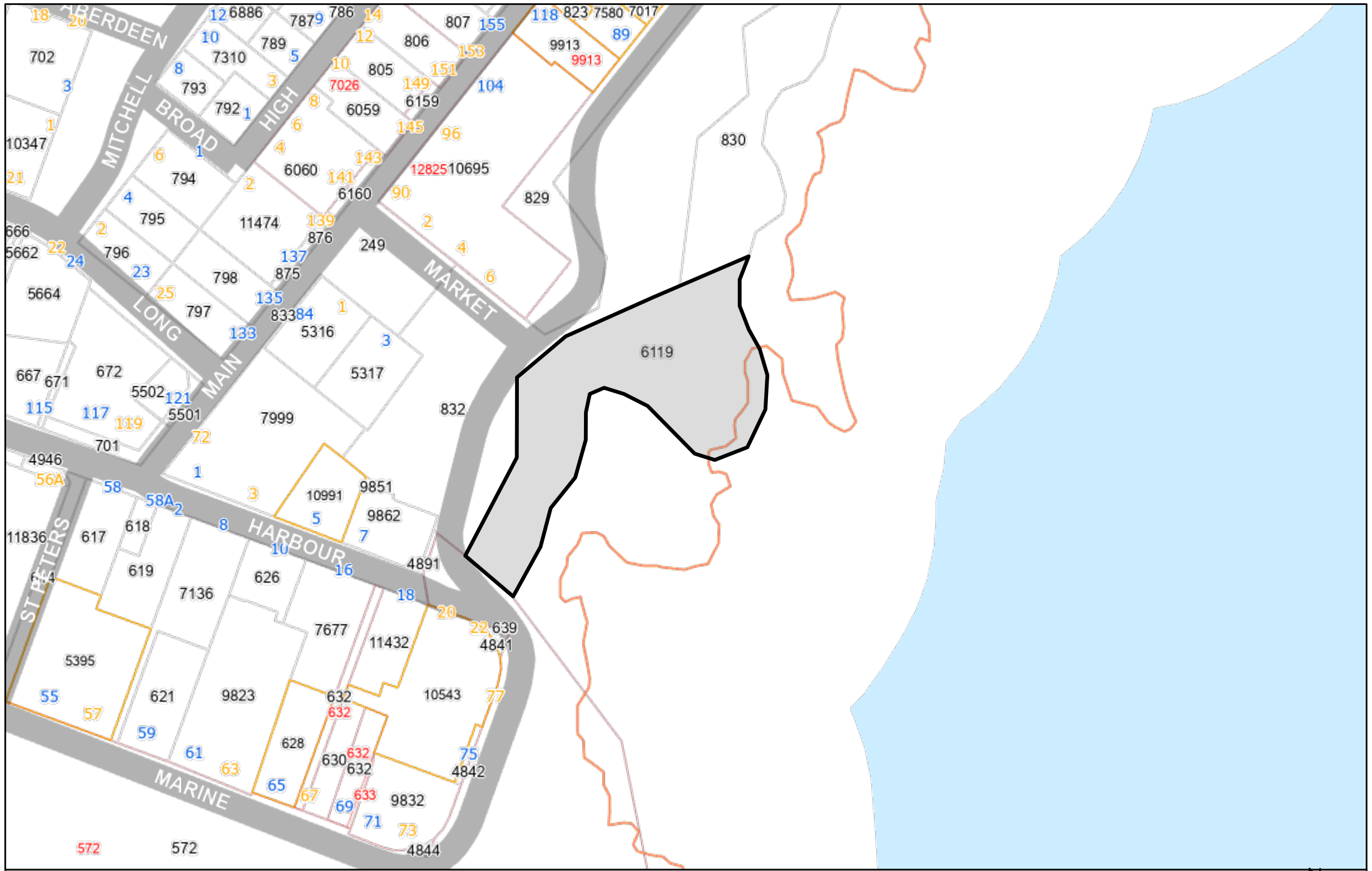
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om vergunningsgebruik ontvang is in terme van Artikel 16(2)(o) om toeristefasiliteit toe te laat (museumdoeleindes ten einde 'n restaurant te akkommodeer).

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) voor of op **22 Maart 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Senior Stadsbeplanner, Me. H van der Stoep** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 6119, MARINE DRIVE, NORTHCLIFF, HERMANUS, UMMANDLA KAMASIPALA WASE-OVERSTRAND: ISICELO SEMVUME YOSETYENZISO: N LLOYD EGAMENI LEE-TRUSTEES OF THE OLD HARBOUR HERMANUS

Isaziso sinikwe ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokokuba isicelo sifunyenwe semvume yosetyenziso ngokwemiqathango yeCandelo 16(2)(o) yokuvumela ukusetyenziswa kwamaziko abakhankethi (iinjongo zemyuziyam ukulungiselelwa ulwakiho lwegumbi elithengisa ukutya elinendawo yokutyela).

linkcukacha ezipheleleyo eziphathelene nesindululo ziyafumaneka ukuba zihlolwe ngeentsuku zeveki phakathi kweyesi-8:00 ukuya kweye-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo zinakho ukungeniswa ngokuhambelana nezibonelelo zamaCandelo 51 nelama-52 loMthetho kaMasipala ochaziweyo kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) ngomhla okanye phambi komhla **22 eyoKwindla 2024**, uchaze igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla wakho kwisicelo kunye nezizathu zokunikwa kwezimvo. Imibuzo ngomnxeba inakho ukwenziwa ngokutsalela **kuMchwangcisi oPhezulu weDolophu, uNksk. H van der Stoep** kule nmbolo 028-313 8900. UMasipala unakho ukwala ukuzamkela izimvo ezifike emva komhla wokuvulwa. Nawuphi na umntu ongakwaziyo ukufunda nokubhala unakho ukutyelela iSebe loCwangciso lweDolophu apho igosa likamasipala linokubanceda ukuqulunqa izimvo zabo.



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20 September 2023

CONSENT USE APPLICATION

SITE DATA

Erf	6119 Northcliff
Address	Marine Drive, Hermanus
Owner	Hermanus Old Harbour Museum
Zoning	Open Space Zone 2: Public Open Space (OS2)

MOTIVATION REPORT

1. BACKGROUND

- The Board of Trustees of the Old Harbour Museum, wish to apply for consent use.
- The consent use application is for Tourist Facilities, for Museum purposes, in respect of a restaurant and liquor license.
- Erf 6119 Hermanus is 6412m² in extent and is held by Title Deed number T10445/1983.

2. APPLICATION DETAILS

Application is made in terms of:

- Chapter 12, Section 12.1.1 (b) of the Overstrand Municipality's By-Law on Municipal Land Use Planning, 2016, for consent use to accommodate Tourist Facilities, for Museum purposes, on Erf 6119.

3. DESIRABILITY

3.1 PROPERTY DESCRIPTION

The subject property is situated in the Old Harbour, Hermanus. Please refer to the enclosed locality plan. Erf 6119 Hermanus is 6412m² in extent and is situated in a Public Open Space.

3.2 ZONING

- Erf 6119 Hermanus is zoned Open Space Zone 2: Public Open Space (OS2) and is utilized as such. The surrounding properties are zoned for Business Zone 1: General Business Bulk Zone 1 and Transport Zone 2: Road and Parking.

Motivation Report

3.3 LAND USE

- There is an existing building on the subject property, currently being used for museum purposes.
- Land uses that surround the subject erf are primarily restaurants and businesses. Other land uses that are also found in the area are parking and roads.

3.4 PROPOSAL

Application is made in terms of :

- Chapter 12, Section 12.1.1 (b) of the Overstrand Municipality's By-Law on Municipal Land Use Planning, 2016, for consent use to accommodate Tourist Facilities, for Museum purposes, on Erf 6119.

The Board of Trustees of The Erf 6119, Old Harbour Museum, wish to lease the subject property for a new restaurant and liquor license.

The proposed restaurant will be conducted within an existing building with minimal impact on historic fabric. The proposed scope of work includes minor internal alterations and lightweight external hardwood decking.

As the proposed alterations are internal, the total coverage is not affected.

The initiative will be very beneficial to the Old Harbour Museum by attracting tourists and locals alike to the Old Harbour and showcasing this important historic site.

“(The Hermanus Old Harbour) is an iconic landmark contributing to the scenic setting of Hermanus. (It is) one of the most widely recognised and recorded historic settings in the country.”

“(It is) A fine and rare surviving example of historical fishing industry technology (the complex as a system including winches, boat ramps, fish gutting tables, ‘bokkom’ drying racks etc.)”

Source: Public Participation document June 2009: HERMANUS, Overstrand Heritage

It will generate much needed cashflow for the exhibition upgrade and the maintenance of museum infrastructure.

It will give insight and exposure of tourists and locals to the historic foundations of cultural and commercial Hermanus.

3.5 ACCESS

Erf 6119 Hermanus gains access from the Cliff Path and various steps leading from the Promenade. No additional access to the site will be required.

Motivation Report

3.6 SERVICES

All services on the subject property already exist. Additional services are not required and therefore will not have a negative impact on existing services that are provided by the Overstrand Municipality.

3.7 TITLE DEED

The Title Deed T10445/1983 Item B (a) stipulates that the erection of a building/s to be used exclusively for Museum purposes. The proposed restaurant is relevant to the original purpose of the subject building and is integral with regard to the maintenance and upkeep of the building and Old Harbour Museum.

3.8 FORWARD PLANNING

Overstrand Municipal Wide Spatial Development Framework

The primary Open Space Zone 2: Public Open Space (OS2) use of the property will be retained. The application is for consent use to accommodate a new restaurant.

Overstrand Growth Management Strategy

The zoning of the subject property will remain unchanged (Open Space Zone 2: Public Open Space (OS2) and therefore the proposed application falls within the existing land use planning strategies for the Hermanus area.

3.9 OTHER RELEVANT LEGISLATION FOR CONSIDERATION OF THE APPLICATION

3.9.1 HERITAGE VALUE

In terms of the Overstrand Heritage Survey Report (2009) the property's current status under the National Heritage Resources Act is:

Provincial Heritage site with approved grading: 2 (Suggested Grading :1)

The Old Harbour is preserved as a maritime museum. It includes the old boat winch, tables for cleaning fish etc. The subject building forms part of the Fishermen's sheds along the pathway to the harbour that have been rebuilt circa 1986 (on the existing foundations) and incorporated into the museum.

As the proposed restaurant will be conducted within the existing building with minimal impact on the historic fabric it is evident that the proposed consent use will not have a negative impact on the heritage value of the subject property or the greater Hermanus area

3.9.2 IMPACT ON THE BIOPHYSICAL ENVIRONMENT

The proposed consent use does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998)

Motivation Report

3.10 PLANNING PRINCIPALS

The planning principals of Spatial Justice, Spatial Sustainability, Efficiency, Spatial Resilience and Good administration of this application can be described as follows:

Spatial Justice: Spatial Justice is not applicable to this application.

Spatial Sustainability: The proposed consent will not have a negative impact on the current character and land values of the surrounding erven. The proposed restaurant will bring together important resources to give locals and visitors to Hermanus a unique

experience within the authentic environs of the Old Harbour and will contribute positively to the Old Harbour Museum and Hermanus in general

Efficiency: The proposed consent use will ensure optimal use of services.

Spatial Resilience: Spatial Resilience is not applicable to this application.

Good administration: The proposed restaurant follows the procedures as set out by the Municipality.

3.11 CONCLUSION

It would be appreciated if the Overstrand Municipality would consider the application favourably for the consent use applicable to Erf 6119, Hermanus.

The previous successful consent use application (October 2018) for an Abalone Tastery has proven itself to be viable commercially and has been very successful in drawing locals and tourists and showcasing the cultural and physical history of Hermanus and the Western Cape.

Another restaurant venue sited in existing buildings will further enhance this previous initiative and unlock essential funding for the further development of museum activities.

NICOLETTE LLOYD

End

