



ERF 5079, 3 GEELHOUT AVENUE, KLEINMOND: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: GA & TL BUYS

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for the following:

- **departure** in terms of Section 16(2)(b) to relax the eastern lateral building line from 2m to 1,5m to legalize the change of use of the existing covered patio to an enclosed sun patio and to relax the western lateral building line from 2m to 0,2m to accommodate an existing shade net carport.
- **departure** in terms of Section 16(2)(b) to exceed the 9m restriction of a building on one specific boundary to accommodate the existing shade net carport.
- **determination of an administrative penalty** in terms of Section 16(2)(q) for unauthorised land use as mentioned above.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Department: Town and Spatial Planning at 16 Paterson Street, Hermanus, and at the Kleinmond Library, 5th Avenue, Kleinmond. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **25 October 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Ms. H van der Stoep** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town and Spatial Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 5079, GEELHOUTLAAN 3, KLEINMOND: AANSOEK OM AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: GA & TL BUYS

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek soos volg ontvang is:

- **Afwyking** ingevolge Artikel 16(2)(b) om die oostelike syboulyn vanaf 2m na 1,5m te verslap om die gebruikverandering van die bestaande onderdakstoep na 'n ingeslote sonpatio te wettig en om die westelike syboulyn vanaf 2m na 0,2m te verslap om 'n bestaande skadunet motorafdak te akkommodeer.
- **Afwyking** ingevolge Artikel 16(2)(b) om die 9m beperking van 'n gebou op een spesifieke grens te oorskry om die bestaande skadunet motorafdak te akkommodeer.
- **Bepaling van 'n administratiewe boete** ingevolge Artikel 16(2)(q) vir ongemagtigde grondgebruik soos hierbo genoem.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning, Patersonstraat 16, Hermanus en die Kleinmond Biblioteek, 5de Laan, Kleinmond. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op **25 Oktober 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Me. H van der Stoep** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 5079, 3 GEELHOUT AVENUE, E-KLEINMOND: ISICELO SOPHAMBUKO NOKUMISELWA KWESOHLWAYO SOLAWULO: GA & TL BUYS

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokokuba isicelo sifunyenwe sokulandelayo:

- **Uphambuko** ngokwemiqathango yeCandelo 16(2)(b) ukunyenysiswa komda wesakhiwo osecaleni ongasempuma ukusuka kwi-2m ukuya kwi-1.5m ukuze kube semthethweni utshintsho losetyenziso lwe-patio ekhoyo egqunyiweyo ukuya kwi-patio yelanga ebiyelweyo nokunyenysiswa umda wesakhiwo osecaleni osentshona. ukusuka kwi-2m ukuya kwi-0,2m ukulungiselela indawo ekhoyo ye-khapoti.
- **Uphambuko** ngokwemiqathango yeCancelo 16(2)(b) ukugqitha kumda we-9m wesakhiwo kumda othile ukulungiselela indawo esele ikhona ye-khapoti.
- **Ukumiselwa kwesoahlwayo solawulo** ngokwemiqathango yeCandelo 16(2)(q) ngokusetyenziswa okungagunyaziswanga komhlaba njengoko kuchaziwe ngasentla.

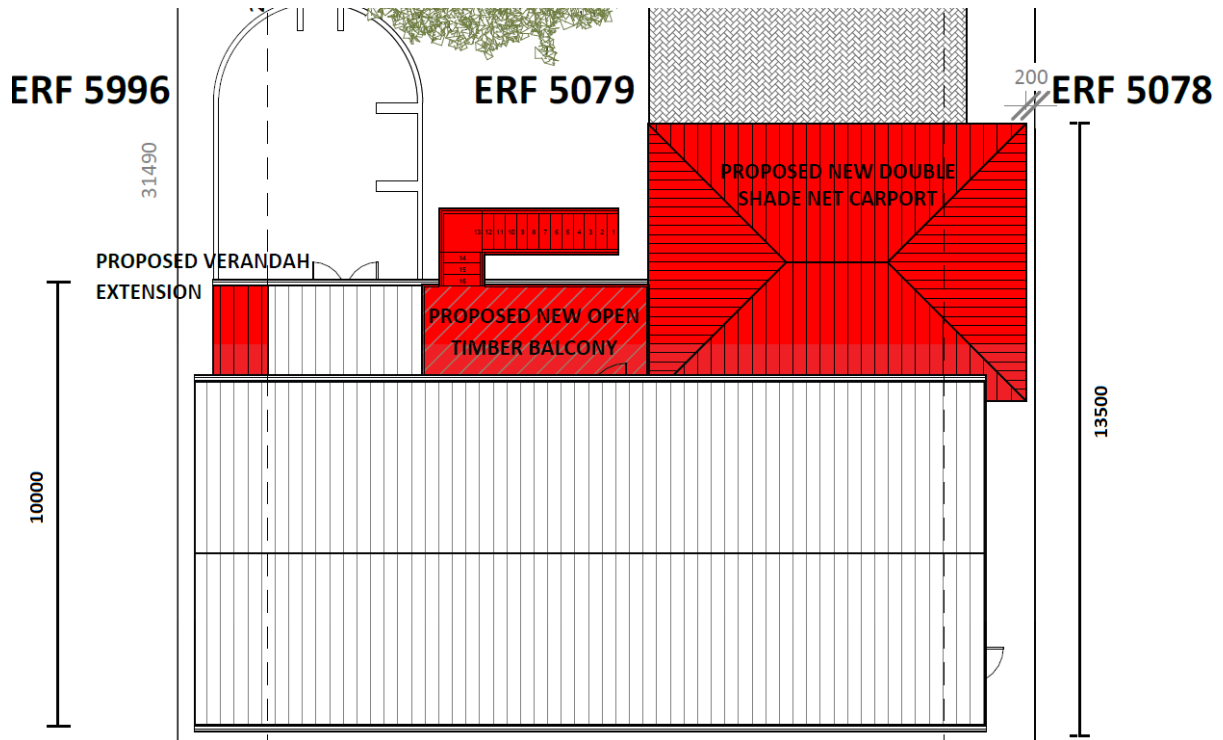
linkcukacha eziphelileyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kwee-yure-08:00 ne-16:30 kwiSebe: Town and Spatial Planning, 16 Paterson Street, Hermanus nakwiThala leeNcwadi laseKleinmond, 5th Avenue, e-Kleinmond. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kamasipala uxeliweyo zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla wama-**25 ku-Oktobha 2024**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungafonela **uNksk. H van der Stoep** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.

Tel: 028 313 8900 | Fax: 028 313 2093 | E-mail: loretta@overstrand.gov.za

PO Box 20 | **HERMANUS** 7200

www.overstrand.gov.za

Motivation Report to Overstand Municipality for Building Line Transgressions on ERF 5079 Kleinmond



REGISTERED OWNERS GA&TL
BUYS

1) Historic Approvals

The Overstrand Municipality approved the Private Dwelling with:

- 1.5 m building lines that was subsequently increased to 2m.
- the exclusion of the transgressions as referred to in paragraphs 4 &5 below.

2) Application

Transgression of the 9m Building Restriction alongside the eastern and western boundaries of Erf 5079 Kleinmond as referred to in paragraphs 4 &5 below.

3) Motivation for North- Western enclosed Sun Patio

After the Overstrand Approval of the covered patio was enclosed as a enclosed Patio.

The Enclosed Patio was required to:

1. Improve the habitable condition of the house.
2. To have the benefit of an enclosed sunroom for my elderly parents who resided with me.
3. This was very efficient to gain of additional living area.

The 9m building restriction alongside the western boundary is now 10m (1m transgression) as indicated on the Cover Page.

4) Motivation for Shade Net on the Northeastern Boundary

After the Overstrand Approval the existing building construction on the east boundary the Shade Net Carport in front of my existing Double Garage as indicated on the Cover Page.

The Shade Net Carport was required to:

- Protect my Caravan against direct Sun Light.
- My parent's Vehicle was permanently parked in my double garage, and I used the Shade Net to protect my vehicle.

The 9m building restriction alongside the western boundary is now 13m (4m transgression) as indicated on the Cover Page.

5) General Motivation

The accessibility of the property regarding the existing urban development, the main network, and infrastructure, as well as the effect on of additional traffic and the environment was not impacted at all.

It sound be noted that the accommodation density, historical architecture are clearly not impacted by the proposed development.

Street views and scenes are identical.

The potential for agriculture, conservation, mining, recreation, natural heritage, environmental management, air quality have not been impacted.

Given the above the benefit of proposed utilisation of land will consequently not have any impact on surrounding property owners.

The proposed development will clearly not result in any additional load on any municipal services or future need for additional municipal service given to extend and plan of the plan layout.

Re-zoning will accordingly not be a requirement given to extend and plan of the plan layout.

The planning principles are not a contravention or breach the Land Use Management Act or any other legislative requirement.

The proposed development will be sustainable with no negative impact on the land market as this will only enhance the property value of the said property, surroundings, and environment. The development will also have no environmental impact as only existing paved and tiled footprints are used for this extension.

Procedures further will be followed as suggested by the Planning Directorate.

PLANNING PRINCIPLES

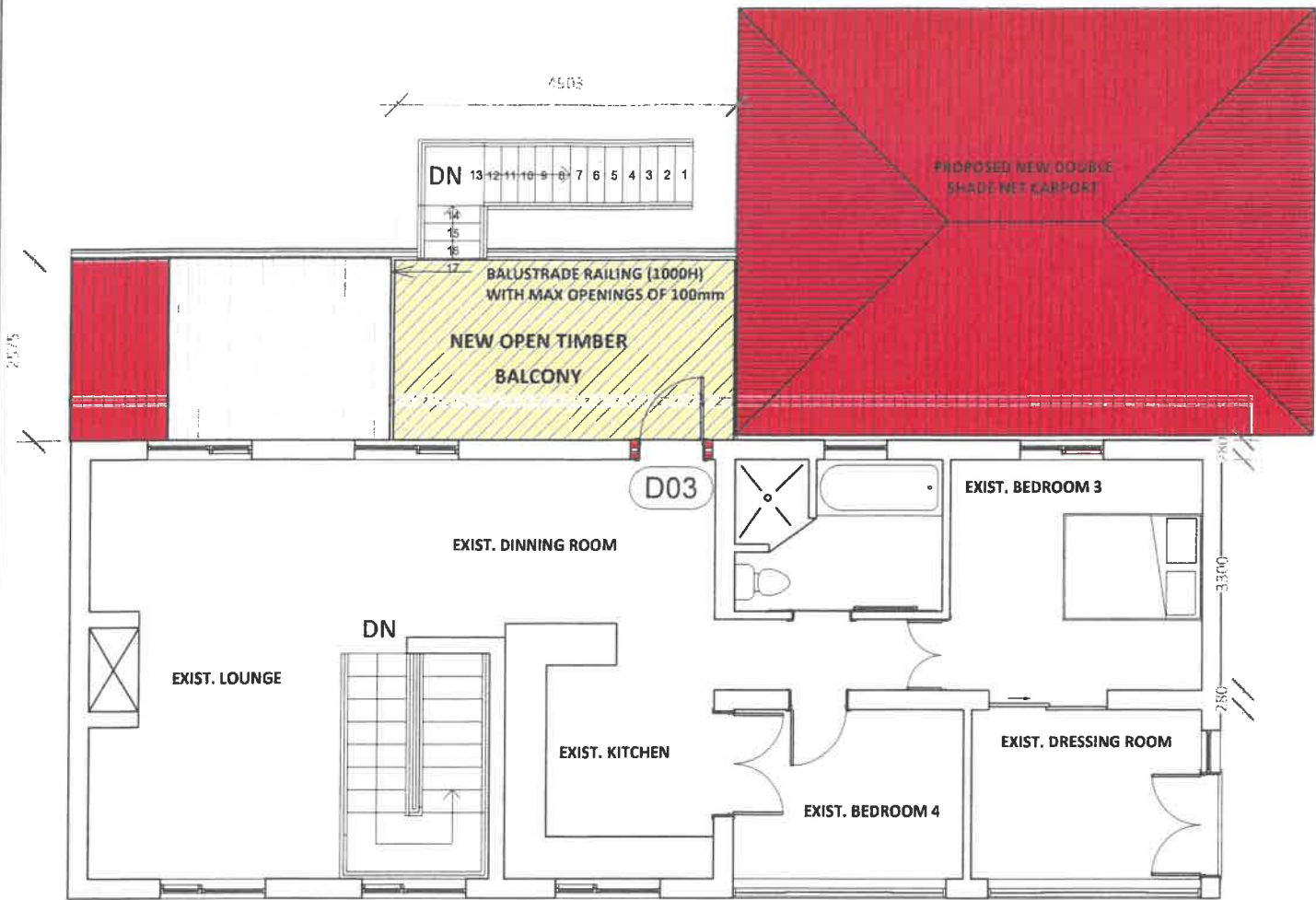
No impact on valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.No negative financial, social, economic or environmental impacts. Application procedures are efficient and streamlined.

GA BUYS

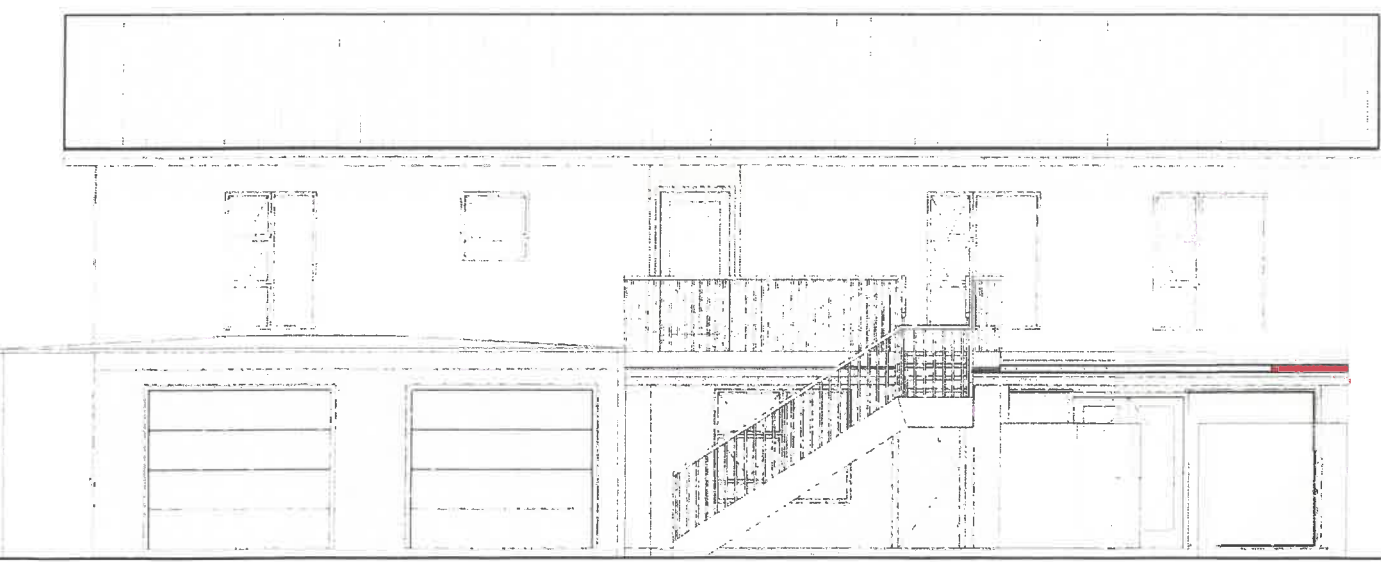
15 APRIL 2024

TL BUYS

15 APRIL 2024



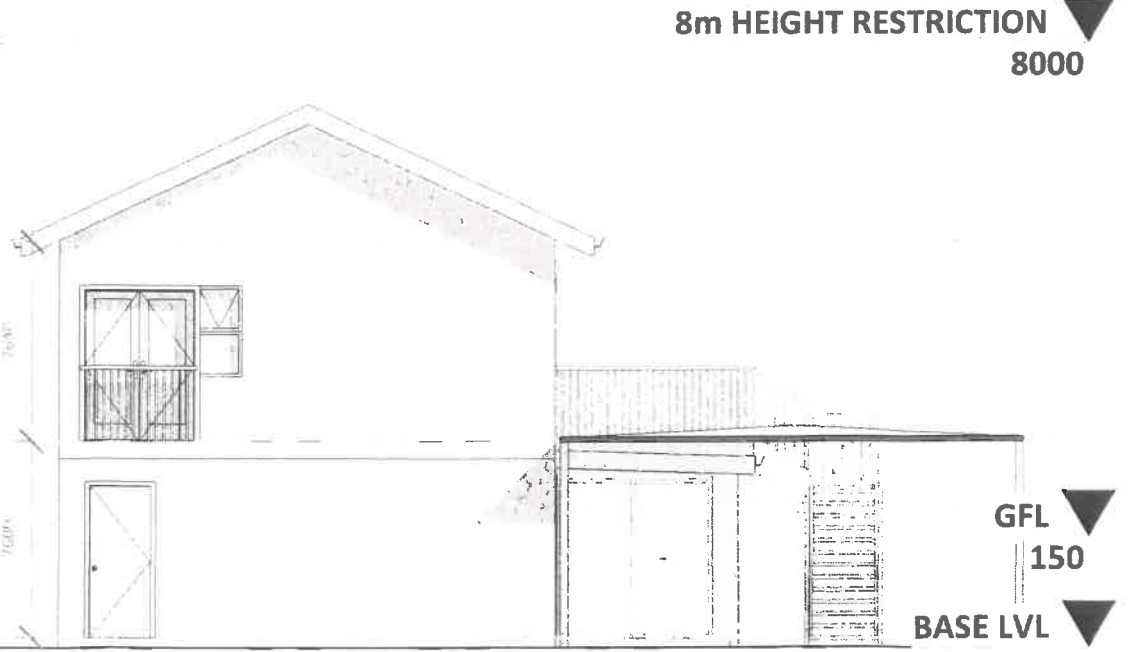
FIRST FLOOR PLAN
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

- Electrician to ensure that conduettes are installed in the floor before final cement is cast.
- 9. PLUMBER & SEWERAGE**
 - Plumber to be registered & final water pressure test to be accompanied by a certificate of completion.
 - Plumber to ensure that all wastepipes & sewer pipes are fitted with proper rodding & inspection eyes as well as ventilation pipes.
 - All fittings to have re-seal traps.
 - Waste pipes to be fully accessible along their entire length for cleaning & repairs.
 - 110mm uPVC sewer pipe with min. 1:60 fall.
- 10. BRICKWORK**
 - Imperial brickwork to be in stretcher bond - unless specified as other, with proper key left for plastering.
 - DPC to all walls.
 - Damp proof course to be min 150mm above ground floor level.
 - External walls to have 50mm cavity with a min. of 6 butterfly ties or approximate equivalent /m².
 - 6 top courses to be beamfilled.
 - Cavities to be beamfilled to DPC level.
- 11. LINTOLS**
 - Max. span 3000mm, precast to approval. Great spans to be R.I. concrete.
 - Precast lintols to be extended min 230mm beyond openings.
 - Lintols to be laid in accordance with manufacture's specifications.
- 12. PLASTER & PAINT**
 - Exterior walls to be smooth plastered (except where otherwise specified) with one coat & internal walls bagged to a smooth finish. Stone cladding on certain walls as per owner.
 - Colour: To comply with owner's approved colour chart.
- 13. AIRBRICKS**
 - Large volumes to have multiple airbricks or as required by owner.
- 14. WINDOWS & DOORS**
 - Aluminum windows & doors supplied by client.
 - Area of glass to be min. 10% of floor area & half openable.
 - Glazing in excess of 1m² or within 300mm above FFL to be in safety glass.
 - 30 Minute fire rated door between building & any non-habitable areas.
- 15. DRAINAGE**
 - Gully rims to be not less 150mm above finished surroundings GFL & not more than 150mm below the crown of the lowest trap of any sanitary fixture.
 - No drainage to be covered until checked by the local authority inspector.
 - Drainage within driveways or under buildings to be adequately protected.
 - Drainage less than 300mm cover to be adequately protected.

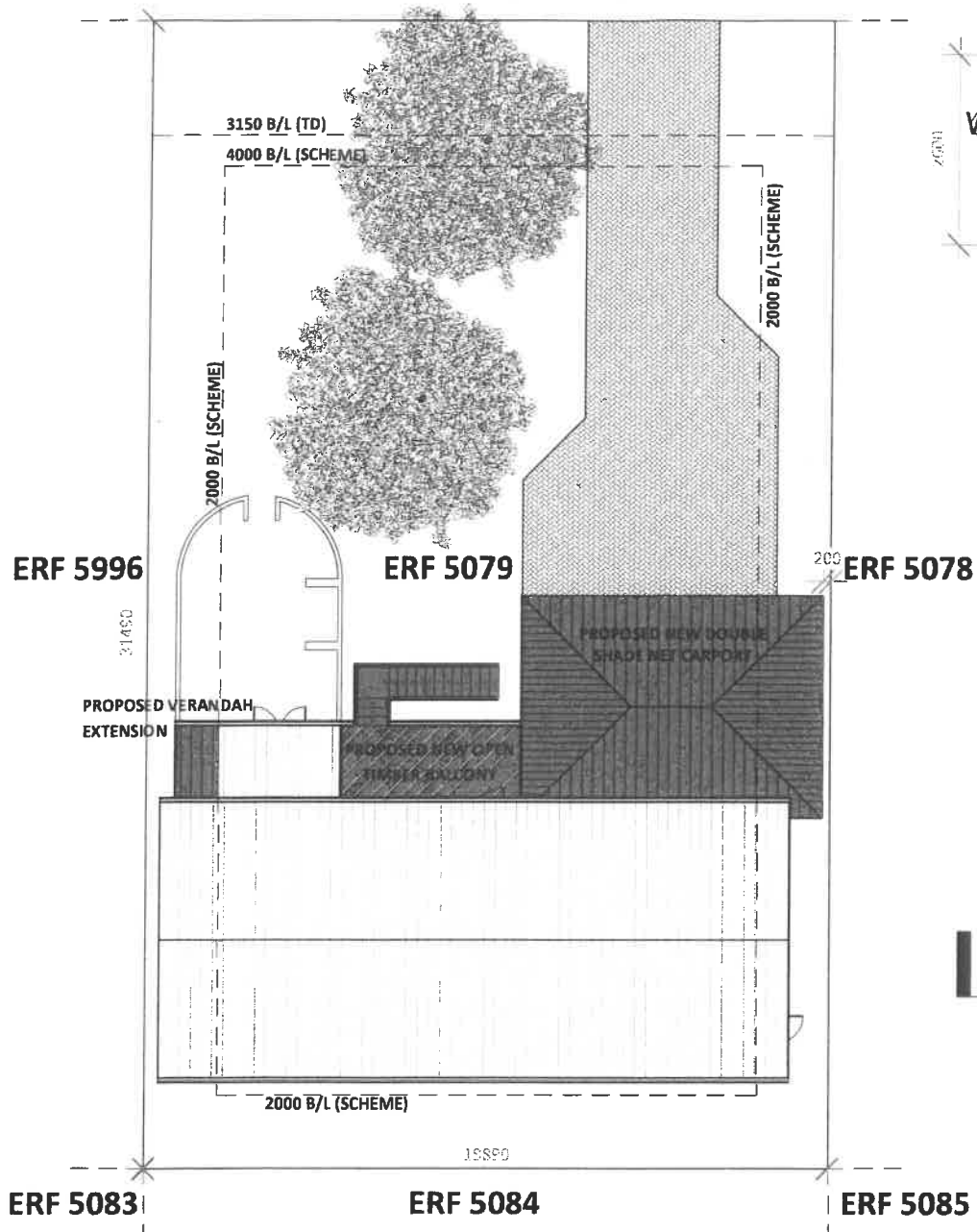
SACAP Reg. No. PAD21 20
 Architectural Drafting Services
 082 410-5564 / (028) 271-3143
 daniel.jyz@ontwerp-atel.je.co.za

BUYS
 ERF 5079
 3 GEELHOUT AVENUE,
 KLEINMOND

PROFESSIONAL ARCHITECTURAL
 DRAUGHTSPERSON
DANIÉL JACOBUS VAN ZYL
 15:58 PM (Africa/Johannesburg) on 10 Aug 2022

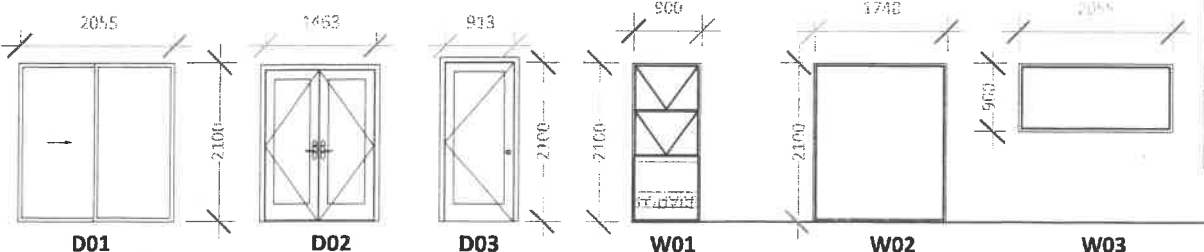
FIRST FLOOR / ELEVATIONS		002
PROJECT NUMBER	231106	
DATE	2023-11-30	
DRAWN BY	JCK	
REVISION	DjvZ	
SCALE	1 : 100	

3 GEELHOUT AVE



SITE & ROOF PLAN

SCALE 1:200

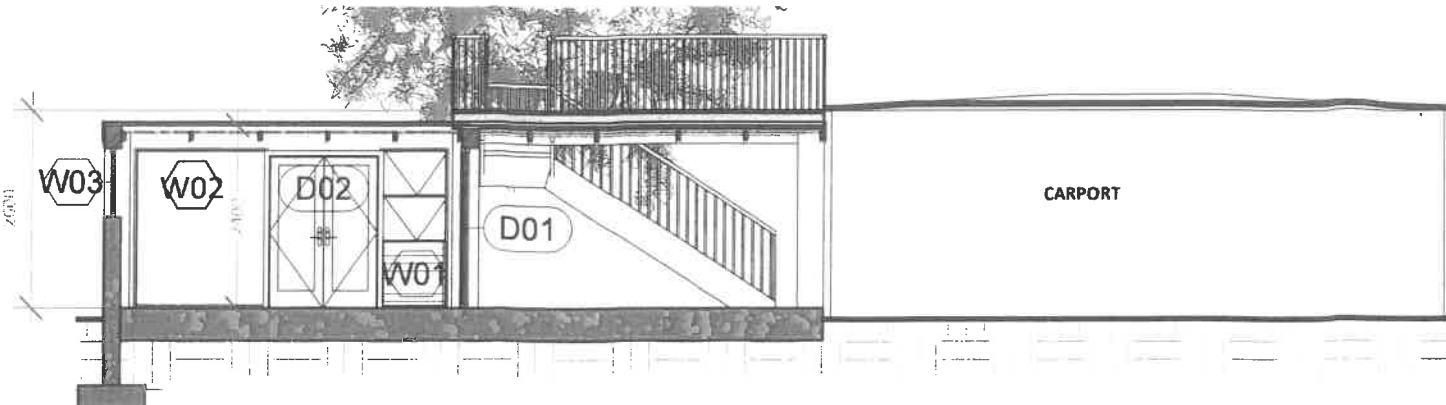


DOOR SCHEDULE

SCALE 1:100

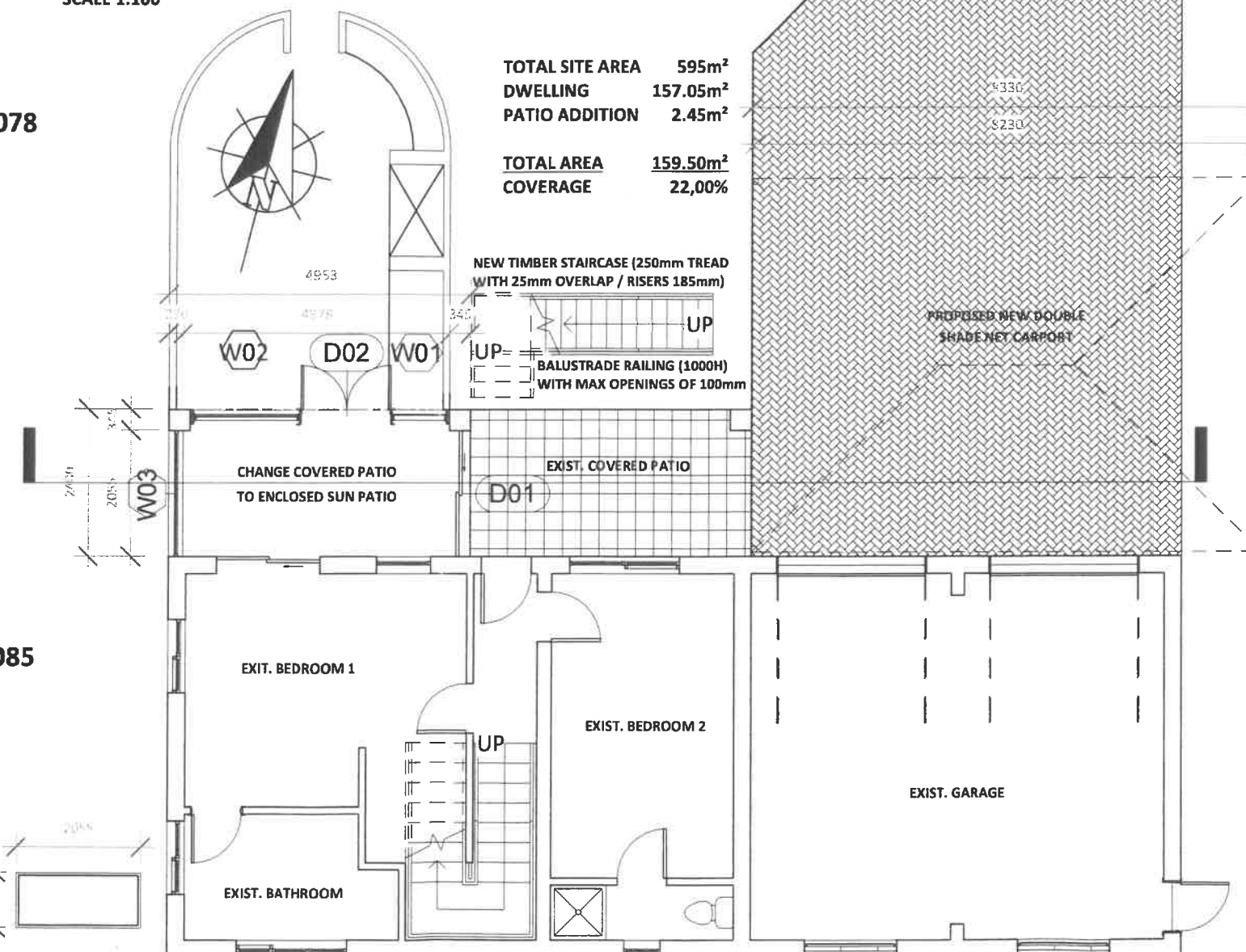
WINDOW SCHEDULE

SCALE 1:100



SECTION 1

SCALE 1:100



GROUND FLOOR PLAN

SCALE 1:100

TOTAL SITE AREA	595m ²
DWELLING	157.05m ²
PATIO ADDITION	2.45m ²
TOTAL AREA	159.50m²
COVERAGE	22,00%

- GENERAL**
 - All levels, dimensions, number of steps, etc. to be checked on site before building work commences.
 - All building work according to N.B.R. Use given dimensions rather than scaling from plan.
 - All building material approved S.A.B.S. or similar.
 - D.P.C. to be built-in under all walls and flooring.
 - Minimum 3% cross ventilation in habitable rooms. Ventilation bricks optional.
 - The builder should contact the architect immediately regarding any discrepancy.
 - The builder should familiarise himself properly of all detail on the plan as well as on any engineering drawings.
 - All materials to be installed according to manufacture's specs.
 - All fire proof internal doors to comply with SABS 1253 (Code E).
 - All glazing acc to AAAMSA guidelines, SANS 10400 Part N, SANS10440 (safety glass) & SANS1263.
 - All hot water installations to comply with SANS 1307 (Domestic solar water heaters), SANS 10106 (Installation, maintenance, repair & replacement of domestic solar water heating systems), SANS 10254 (Installation, maintenance repair & replacement of fixed electric storage water heating systems) & SANS 10252 (Water supply and drainage for buildings).
- STRUCTURAL WORK**
 - All structural floors, beams and foundations to engineer's details.
- FOUNDATIONS**
 - Strip foundations (800x250mm) with Ref 345 steel mesh under external cavity walls acc. to engineer.
 - All 115 & 230mm internal load bearing wall slabs thickened to 250mm.
 - Mixture of 1:3:6 min 25Mpa compressive strength after 28 days.
 - Steel reinforcement acc. to engineer's specifications.
 - Retaining walls & footings to engineer's detail & drawings.
- FLOOR**
 - Slab to be 100mm minimum with 50mm screed, cast on 250µ DPC, spread over well compacted filling.
 - Mixture of 1:4:5, minimum 15 MPa compressive strength after 28 days.
 - Steel reinforcement mesh in floorslab where unstable soil conditions occur (acc. to Engineer).
- WALLS**
 - All exterior walls to be 280mm cavity with clay brick.
 - External walls to be bag plastered & painted as per owner's specification.
 - Clay bricks as per owner's specification (unless otherwise specified).
 - Conduits to be provided in walls where TV & telephone points are required.
 - Brick force minimum 2/m².
- ROOF CONSTRUCTION [MAIN PITCHED ROOF]**
 - Timber trusses by registered truss company @ 30° gradient & ± 990mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company or by rational design acc. to engineer.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sisalation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.
- ROOF CONSTRUCTION [MONO PITCHED ROOFS WHERE APPLICABLE]**
 - Timber rafters (228x50mm) by registered truss company @ 5° gradient & ±990mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sisalation heat insulation under all roof sheets.
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- ELECTRICIAN**
 - Electrician to be registered & final connection to be accompanied by a certificate of completion.
 - Sufficient breakers to be installed to ensure correct current.

SACAP Reg. No. PAD2120

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BUYS

ERF 5079

3 GEELHOUT AVENUE,
KLEINMOND

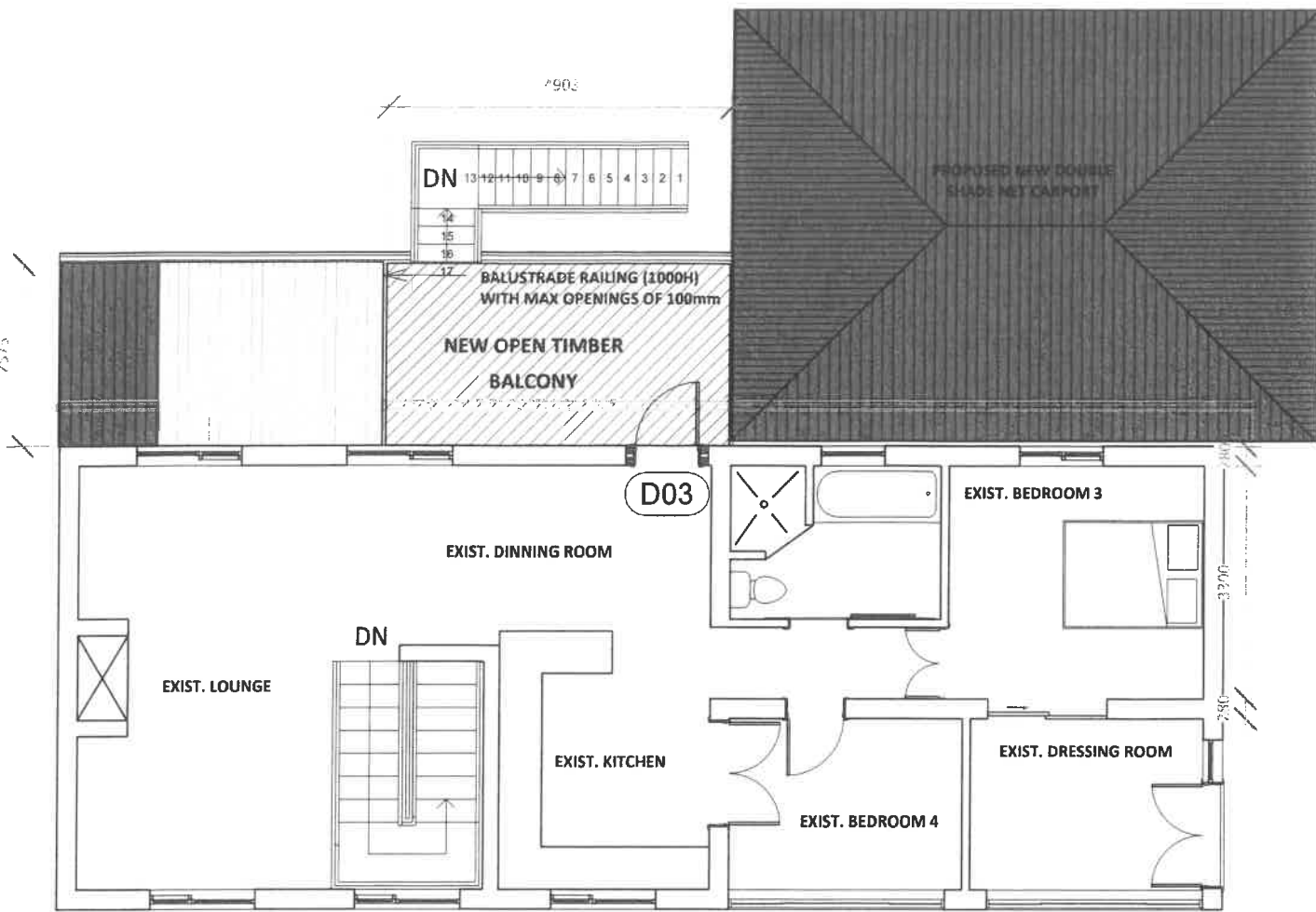
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
DANIËL JACOBUS VAN ZYL
15:58 PM (Africa/Johannesburg) on 10 Aug 2022

SITE / GROUND FL / SECTION

PROJECT NUMBER	231106
DATE	2023-11-30
DRAWN BY	JCK
REVISION	DJvZ

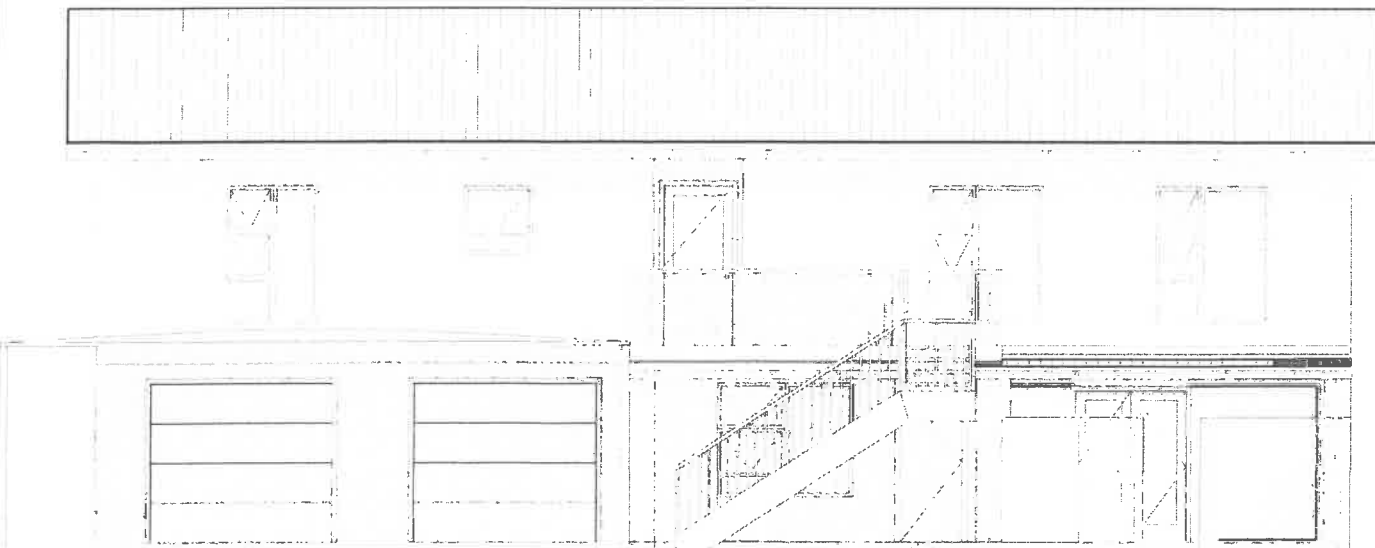
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SCALE As indicated



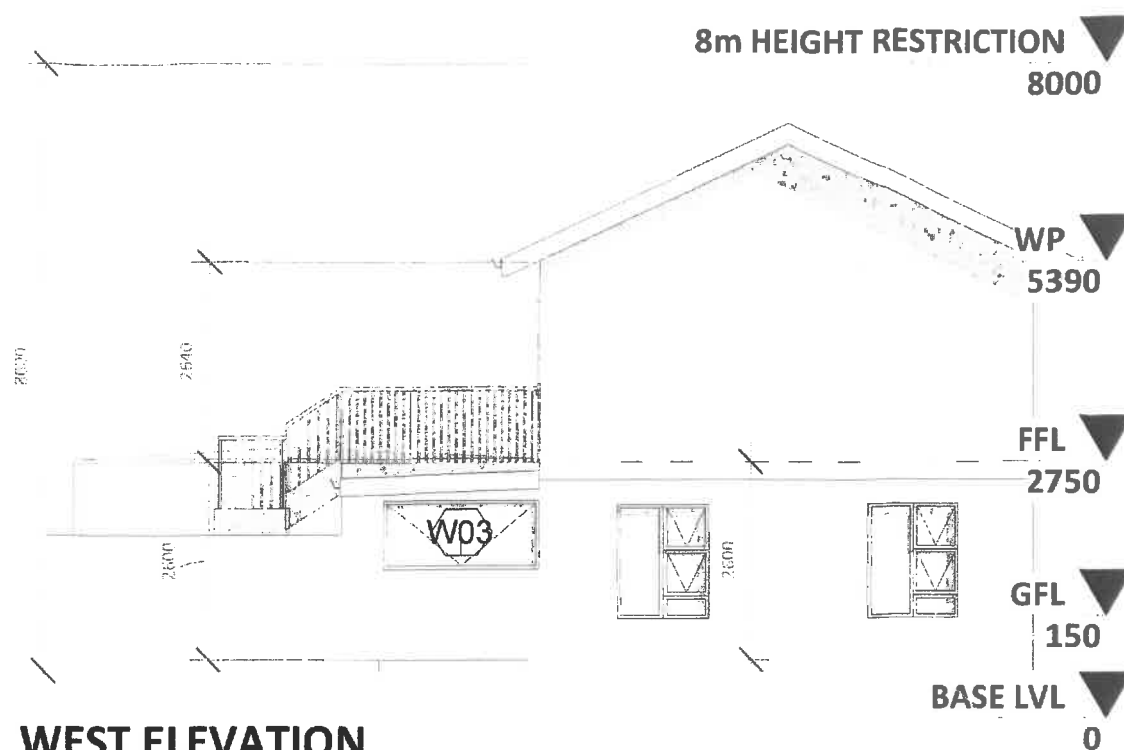
FIRST FLOOR PLAN

SCALE 1:100



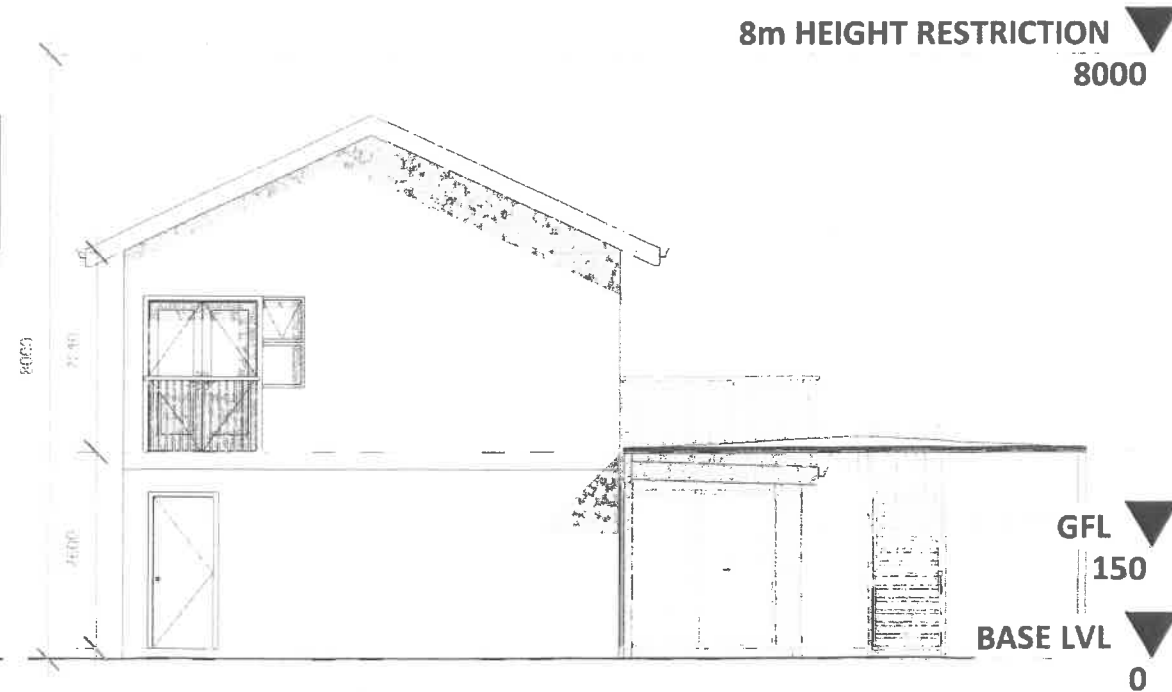
NORTH ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100



EAST ELEVATION

SCALE 1:100

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BUYS

ERF 5079

3 GEELHOUT AVENUE,
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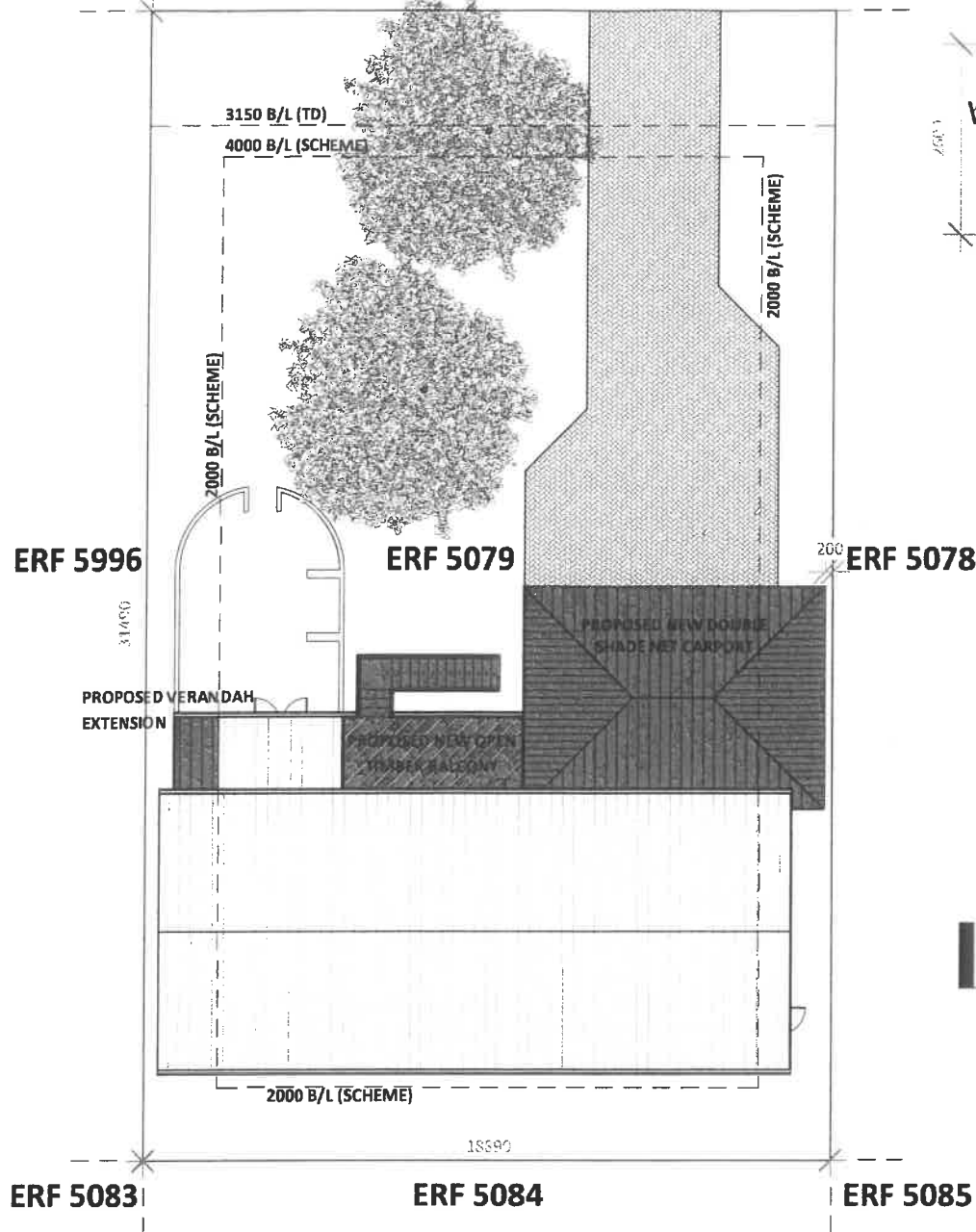
FIRST FLOOR / ELEVATIONS

PROJECT NUMBER	231106
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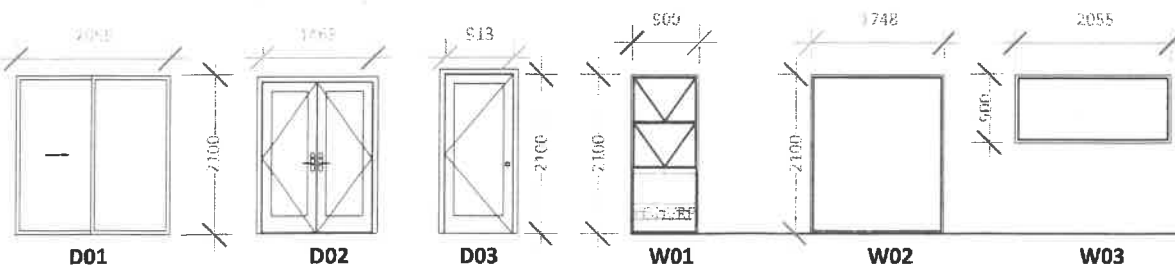
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SCALE 1 : 100

3 GEELHOUT AVE

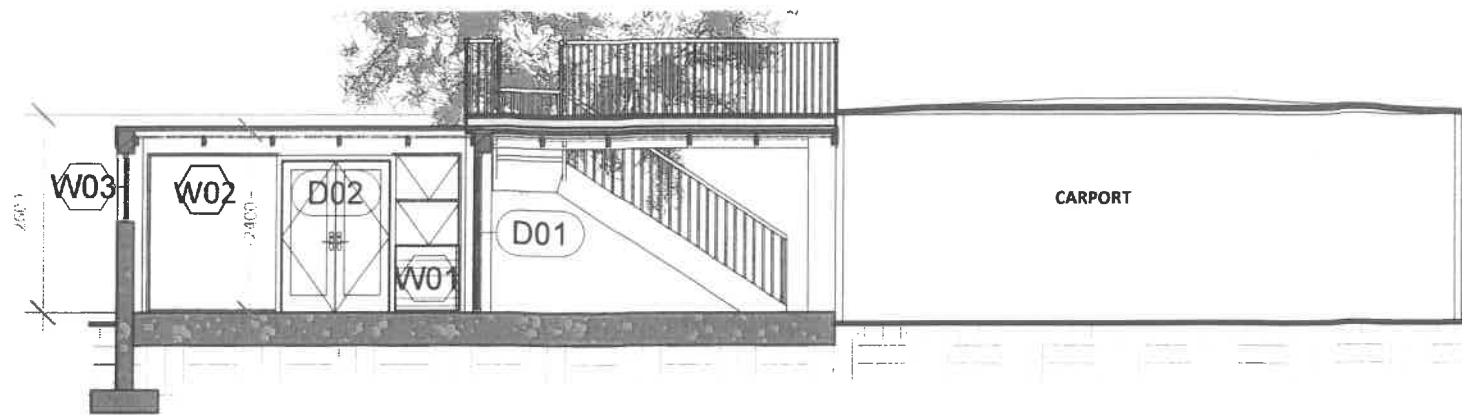


SITE & ROOF PLAN
SCALE 1:200

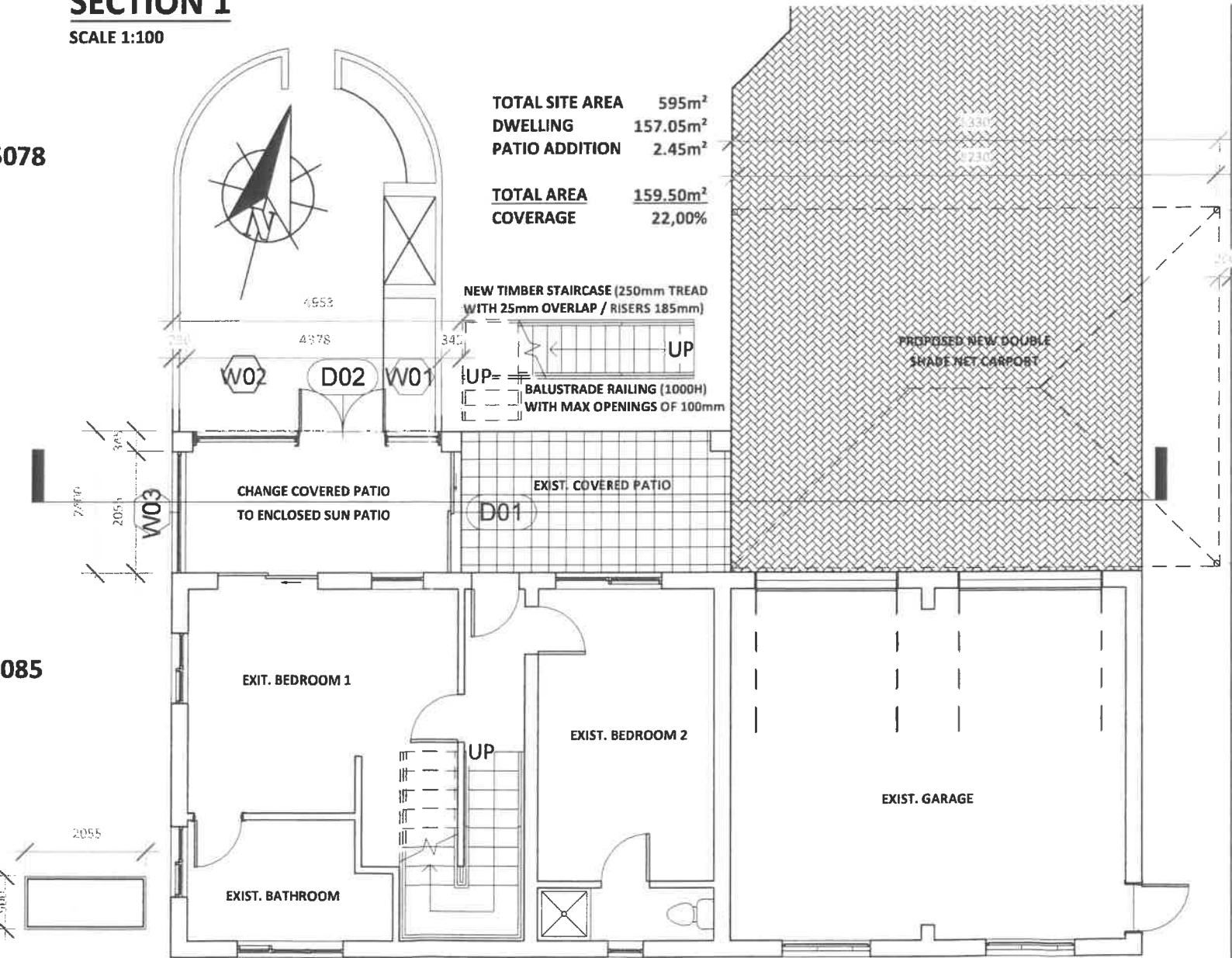


DOOR SCHEDULE
SCALE 1:100

WINDOW SCHEDULE
SCALE 1:100



SECTION 1
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100

TOTAL SITE AREA 595m²
DWELLING 157.05m²
PATIO ADDITION 2.45m²

TOTAL AREA 159.50m²
COVERAGE 22,00%

NEW TIMBER STAIRCASE (250mm TREAD WITH 25mm OVERLAP / RISERS 185mm)
BALUSTRADE RAILING (1000H) WITH MAX OPENINGS OF 100mm

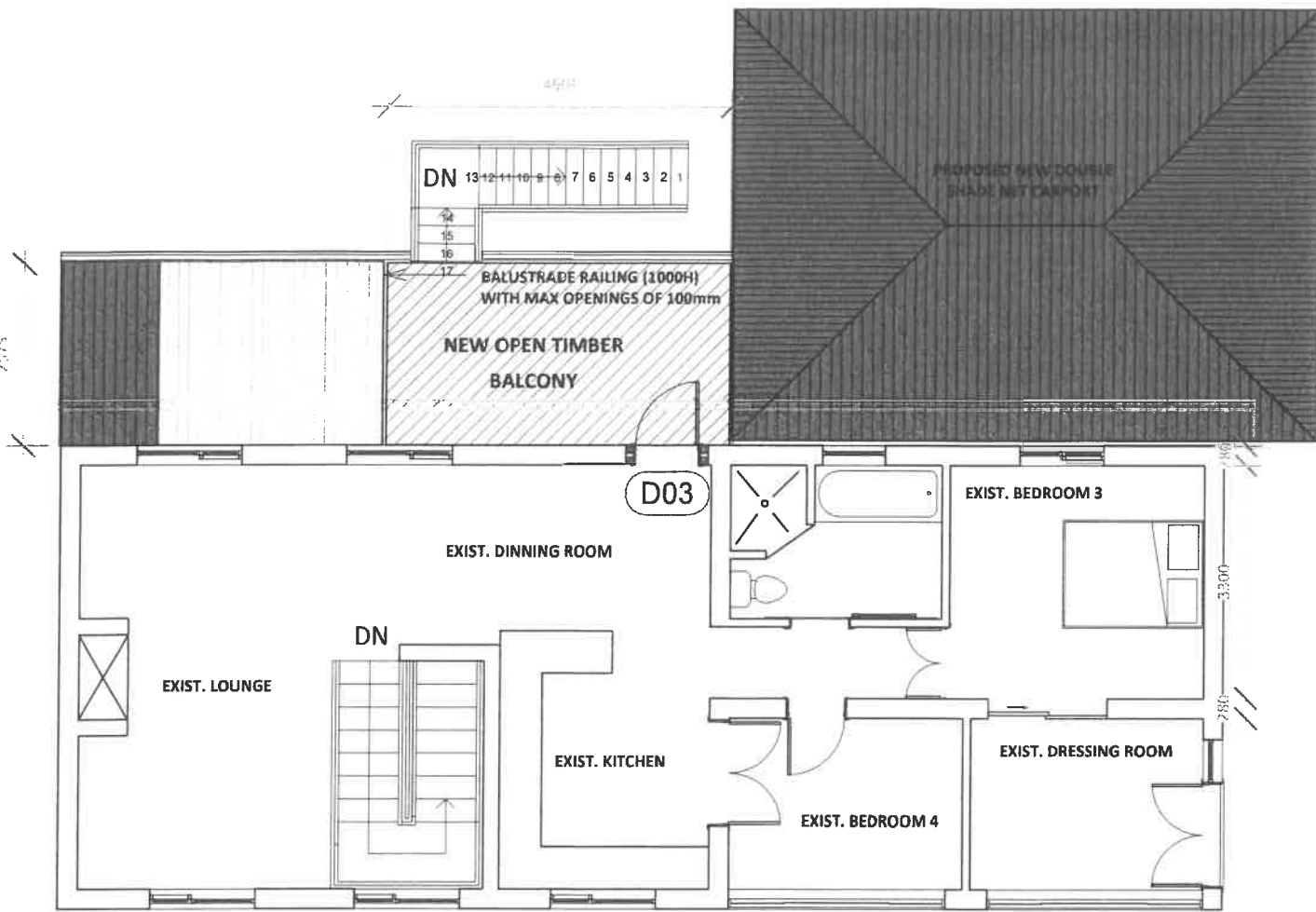
1. GENERAL
 - All levels, dimensions, number of steps, etc. to be checked on site before building work commences.
 - All building work according to N.B.R. Use given dimensions rather than scaling from plan.
 - All building material approved S.A.B.S. or similar.
 - D.P.C. to be built-in under all walls and flooring.
 - Minimum 3% cross ventilation in habitable rooms. Ventilation bricks optional.
 - The builder should contact the architect immediately regarding any discrepancy.
 - The builder should familiarise himself properly of all detail on the plan as well as on any engineering drawings.
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 - All fire proof internal doors to comply with SABS 1253 (Code E).
 - All glazing acc to AAAMSA guidelines, SANS 10400 Part N, SANS 10440 (safety glass) & SANS 1263.
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 - Mixture of 1:3:6 min 25MPa compressive strength after 28 days.
 - Steel reinforcement acc. to engineer's specifications.
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 - Supplied by specialist roofing company or by rational design acc. to engineer.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sialation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.
7. ROOF CONSTRUCTION [MONO PITCHED ROOFS WHERE APPLICABLE]
 - Timber rafters (228x50mm) by registered truss company @ 5° gradient & ± 990mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sialation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.
8. ELECTRICIAN
 - Electrician to be registered & final connection to be accompanied by a certificate of completion.
 - Sufficient breakers to be installed to ensure correct current.

SACAP Reg. No. PAD21 20
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BUYS
ERF 5079
3 GEELHOUT AVENUE,
KLEINMOND

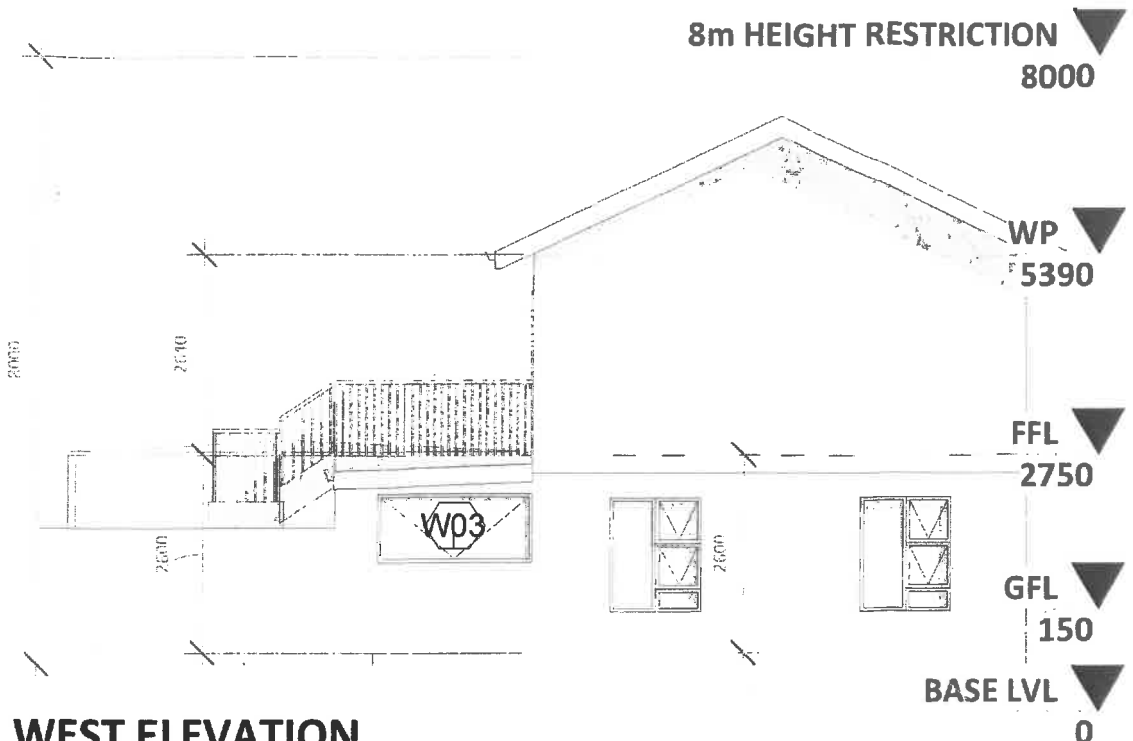
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
DANIËL JACOBUS VAN ZYL
15:58 PM (Africa/Johannesburg) on 10 Aug 2022

SITE / GROUND FL / SECTION	
PROJECT NUMBER	231106
DATE	2023-11-30
DRAWN BY	JCK
REVISION	DjvZ
001	SCALE As indicated



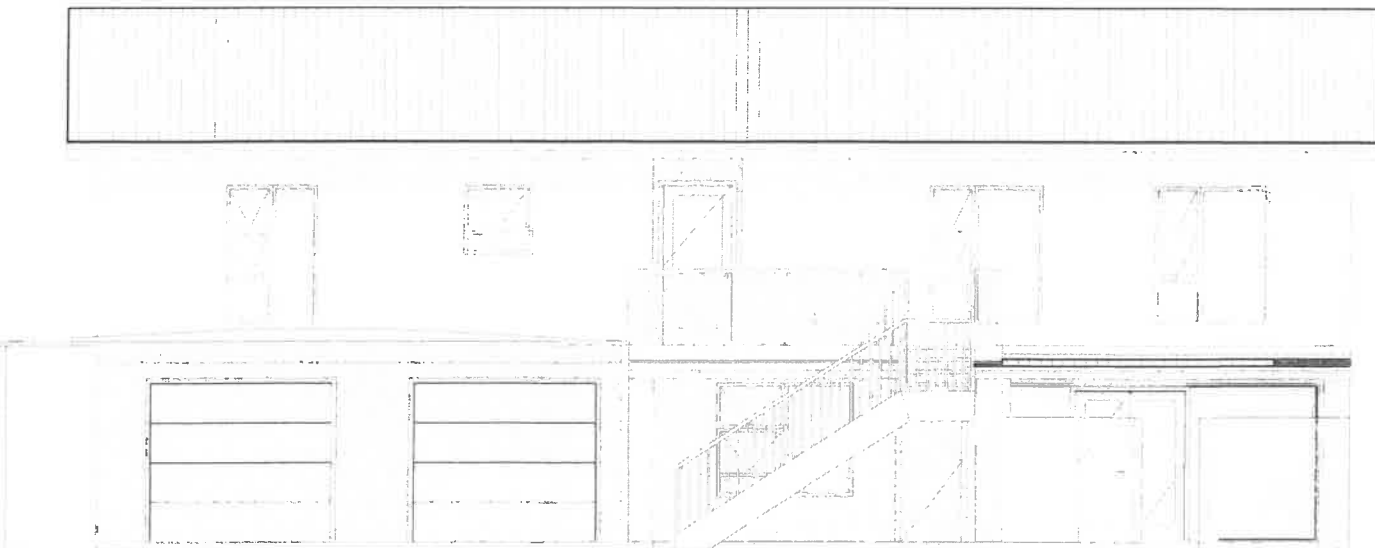
FIRST FLOOR PLAN

SCALE 1:100



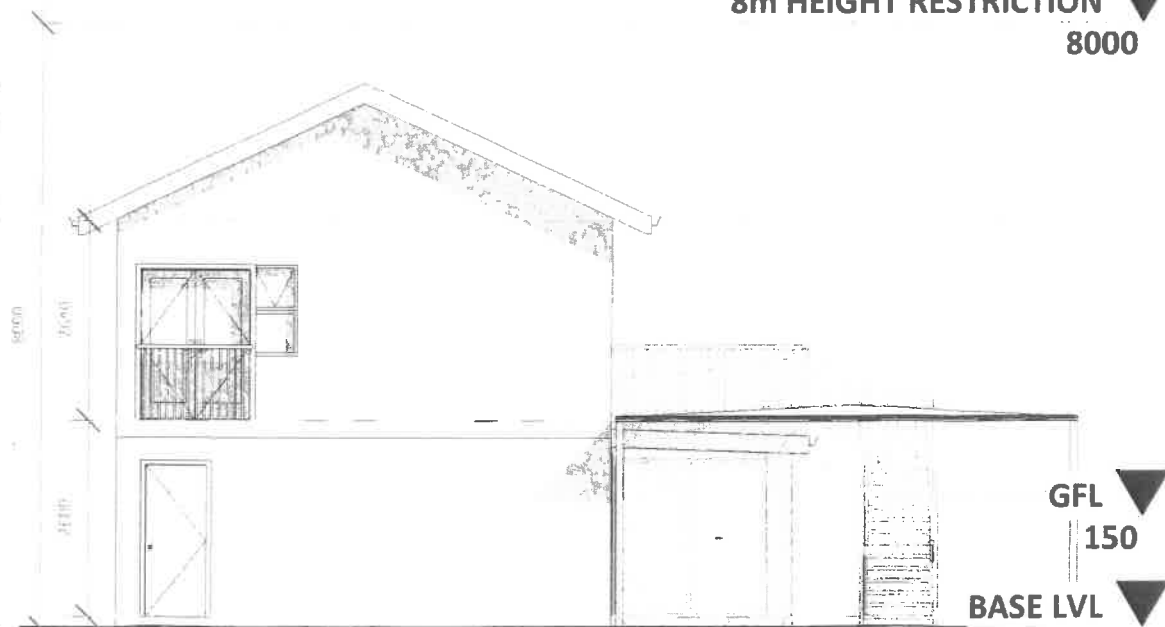
WEST ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100



EAST ELEVATION

SCALE 1:100

- Electrician to ensure that conduettes are installed in the floor before final cement is cast.
- 9. PLUMBER & SEWERAGE**
 - Plumber to be registered & final water pressure test to be accompanied by a certificate of completion.
 - Plumber to ensure that all wastepipes & sewer pipes are fitted with proper rodding- & inspection eyes as well as ventilation pipes.
 - All fittings to have re-seal traps.
 - Waste pipes to be fully accessible along their entire length for cleaning & repairs.
 - 110mm uPVC sewer pipe with min. 1:60 fall.
- 10. BRICKWORK**
 - Imperial brickwork to be in stretcher bond - unless specified as other, with proper key left for plastering.
 - DPC to all walls.
 - Damp proof course to be min 150mm above ground floor level.
 - External walls to have 50mm cavity with a min. of 6 butterfly ties or approximate equivalent /m².
 - 6 top courses to be beamfilled.
 - Cavities to be beamfilled to DPC level.
- 11. LINTOLS**
 - Max. span 3000mm, precast to approval. Great spans to be R.I. concrete.
 - Precast lintols to be extended min 230mm beyond openings.
 - Lintols to be laid in accordance with manufacture's specifications.
- 12. PLASTER & PAINT**
 - Exterior walls to be smooth plastered (except where otherwise specified) with one coat & internal walls bagged to a smooth finish. Stone cladding on certain walls as per owner.
 - Colour: To comply with owner's approved colour chart.
- 13. AIRBRICKS**
 - Large volumes to have multiple airbricks or as required by owner.
- 14. WINDOWS & DOORS**
 - Aluminum windows & doors supplied by client.
 - Area of glass to be min. 10% of floor area & half openable.
 - Glazing in excess of 1m² or within 300mm above FFL to be in safety glass.
 - 30 Minute fire rated door between building & any non-habitable areas.
- 15. DRAINAGE**
 - Gully rims to be not less 150mm above finished surroundings GFL & not more than 150mm below the crown of the lowest trap of any sanitary fixture.
 - No drainage to be covered until checked by the local authority inspector.
 - Drainage within driveways or under buildings to be adequately protected.
 - Drainage less than 300mm cover to be adequately protected.

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BUYS

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15:58 PM (Africa/Johannesburg) on 10 Aug 2022



FIRST FLOOR / ELEVATIONS

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002

SCALE 1 : 100