

ERF 4081 (AN UNREGISTERED PORTION OF ERF 611), CORNER OF R43 AND RIET STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA: APPROVAL OF SITE DEVELOPMENT PLAN: MESSRS AVDM CONSULTING ENGINEERS ON BEHALF OF CAPE ETHICAL ORGANICS (PTY) LTD

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received for the approval of the site development plan in terms of Section 16(2)(l) of the By-Law, to accommodate the development of a day hospital and associated medical facilities on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and Gansbaai Library, Main Road, Gansbaai. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 028-313 2093 / (e) alida@overstrand.gov.za) on or before **Friday, 15 December 2023**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Senior Town Planner, Mr SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 4081 (N̄ ONGEREGISTREERDE GEDEELTE VAN ERF 611), HOEK VAN R43 EN RIETSTRAAT, GANSBAAI, OVERSTRAND MUNISIPALE AREA: GOEDKEURING VAN TERREINONTWIKKELINGSPLAN: MNRE AVDM CONSULTING ENGINEERS NAMENS CAPE ETHICAL ORGANICS (EDMS) BPK

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigings Verordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is vir goedkeuring van die terreinontwikkelingsplan ingevolge Artikel 16(2)(l) van die Verordening, om die ontwikkeling van 'n daghospitaal en verwante mediese fasiliteite op die eiendom te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en Gansbaai Biblioteek, Hoofweg, Gansbaai. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 028-313 2093 / (e) alida@overstrand.gov.za) voor of op **Vrydag, 15 Desember 2023** met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Senior Stadsbeplanner, Mnr SW van der Merwe** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

I-SIZA 4081 (INXALENYE ENGABHALISWANGA SE-SIZA 611), KWIKONA YE-R43 KUNYE NE-RIET STREET, EGANSBAAI, UMDA KAMASIPALA WASE-OVERSTRAND: UKWAMKELWA KWESICWANGCISO SOPHUHLISO LWESIZA: UBUMNUMZANA AVDM CONSULTING ENGINEERS EGAMENI LE- ORGANICTS ENTERPRISE

Isaziso sinikezelwe ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 (uMthetho kaMasipala), ukuba isicelo sifunyenye solwamkelo lwesicwangciso sophuhliso lwesiza ngokweCandelo le-16(2)(l) loMthetho kaMasipala, ukulungiselela uphuhliso lwesibhedlele sasemini kunye nezibonelelo zonyango ezinxulumeneyo kwipropati.

Inkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku eziphakathi evekini ukususela phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: loCwangciso lweDolophu, 16 Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo zingangeniswa ngokwezibonelelo zamaCandelo elama-51 nelama-52 oMthetho kaMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi **kolwesiHlanu, 15 Disemba 2023, uchaze** igama lakho, idilesi neenkukacha zoqhagamshelwano, umdla wakho kwesi sicelo nezizathu zokuhlomla. Ilimbuzo ngefowuni ingabuzwa **kuMchwangcisi weDolophu uMnu SW van der Merwe** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukwamkela izimvo ezifunyenwe emva komhla wokuvala. Nabani na ongakwazi ukufunda okanye ukubhala angaya kwiSebe loCwangciso lweDolophu apho igosa liza kumnceda afake izimvo zakhe ngokusemthethweni.

Navrae:
Enquiries: SW vd Merwe (Senior Town Planner)

Lêerverwysing:
File Reference: 611 GGB (3430)

Datum:
Date: 11 November 2016

Overstrand Municipality
HERMANUS

Dear Sir

DECISION LETTER TO APPLICANT

ERF 611, CORNER OF MAIN ROAD AND RETIEF STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA : PROPOSED SUBDIVISION, REZONING, CONSENT USE, CONSOLIDATION AND DEPARTURE

1. The above application refers.
2. The Authorised Employee (Senior Manager: Town- and Spatial Planning), on 8 November 2016, **approved**, your application in terms of Section 62 of the Overstrand By-Law on Municipal Land Use Planning.
3. The Resolution with conditions are as follows:

RESOLVED :

1. *that in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2016 the application for the subdivision of Erf 611, Gansbaai into two portions, namely Portion A approximately 1,25 ha and a Remainder approximately 7,32 ha in extent, **be approved**;*
2. *that in terms of Section 16(2)(a), (o) & (b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2016 the applications for rezoning of the newly created Portion A from Open Space Zone 3 : Private Open Space to Business Zone 2 : General Business, consent use (hospital/frail care facility) and departure (permitting bulk zone 1 parameters pertaining to coverage, floor factor, and number of storeys), **be approved**;*
3. *that in terms of Section 16(2)(e) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2016, the application for consolidation of Portion A with unregistered Erf 3905, Gansbaai in order to create a consolidated erf of approximately 2,25 ha, **be approved**;*
4. *that the approvals in paragraphs 1., 2. and 3. above be subject to the following conditions:*

- (a) *that prior to the submission of building plans, a detailed Site Development Plan be submitted for municipal approval in accordance with the provisions of the Scheme Regulations;*
 - (b) *that building plans be submitted to the Building Department for approval, and that the Building Department may stipulate any other conditions at that stage;*
 - (c) *that all conditions imposed by Telkom and the Department of Transport and Public Works (attached as Annexures D and E), be complied with;*
 - (d) *that all the conditions imposed by Operational Services (attached as Annexure F), be complied with;*
 - (e) *that the hospital/frail care facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;*
 - (f) *that all the conditions in the Services Report (attached as Annexure G), be complied with;*
 - (g) *that signage comply with the Municipal By-Law on signage;*
 - (h) *that commercial rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;*
 - (i) *that the development complies with the applicable Zoning Scheme Regulations, and*
 - (j) *that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;*
5. *that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.*

4. Reasons for the above decision are as follows:

- ❖ none of the internal departments have any objection;
- ❖ the application will not impact on existing rights;
- ❖ the application will provide employment opportunities;
- ❖ the development is consistent with the Spatial Development Framework;
- ❖ the proposal will result in the development of a much needed hospital/frail care facility currently not available in the Great Gansbaai area;
- ❖ the proposed development will stimulate and contribute to the local economy since it will create employment opportunities during the construction and operational phases of the development;
- ❖ the application has followed due procedure, and
- ❖ no objections were received.

5. You are hereby informed of your right to appeal to the Appeal Authority in terms of Section 78(2) of By-law.
- 5.1 The appeal form must be completed and should be directed to the Appeal Authority (Executive Mayor) and received **within 21 days of notification** of this decision together with proof of payment of the appeal fee (R2700-00).
- 5.2 The appeal form is available at request or alternatively on the Municipal website (www.overstrand.gov.za).
- 5.3 Contact details are as follows:
Physical address : 16 Paterson Street, Hermanus, 7200
Postal Address : PO Box 20, Hermanus, 7200
E-mail address : alida@overstrand.gov.za
6. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Yours faithfully



S MÜLLER
DIRECTOR : INFRASTRUCTURE AND PLANNING

Copy

Anja Kotze; Property Administration (akotze@overstrand.gov.za)

OFFICE OF THE DIRECTOR: INFRASTRUCTURE & PLANNING
TOWN & SPATIAL PLANNING



ENQUIRIES | NAVRAE: Mr SW van der Merwe
FILE REFERENCE | LEËRVERWYSING: 4081 (611) GGB
DATE | DATUM: 27 July 2021

Messrs Cape Ethical Organics
Attention : PA Nel
PO Box 1677
GANSBAAI
7220

REGISTERED MAIL
brandwacht@xpoint.co.za

Dear Sirs

DECISION LETTER TO APPLICANT

ERF 4081 (AN UNREGISTERED PORTION OF ERF 611), CORNER OF R43 AND RIET STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR THE EXTENTION OF THE PERIOD OF VALIDITY OF AN EXISTING APPROVAL: MESSRS CAPE ETHICAL ORGANICS ON BEHALF OF OVERSTRAND MUNICIPALITY

1. The application received on 27 January 2021 refers.
2. You are hereby notified in terms of Section 62 of the Overstrand By-law on Municipal Land Use Planning of the decision made by the Authorised Official on 20 July 2021.
3. The Resolution in terms of Section 61 of the Overstrand By-Law on Municipal Land Use Planning, with conditions, are as follows:

RESOLVED

- "1. that the application in terms of Section 16(2)(i) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for an extension of the period of validity of an approval to accommodate the development of a day hospital, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:*

 - (a) that the conditions of the land use approvals of 29 September 2010 and 8 November 2016 remain applicable;*
 - (b) that the approval is valid for a period of five (5) years and expires on 1 February 2026;*
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and*
 - (d) that all the conditions in the Services Report (attached as Annexure D) be complied with.*
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval."*



4. Reasons for the above decision are as follows:

- ❖ The application for extension of time complies with the planning principles and is considered desirable.
- ❖ The application was submitted on 27 January 2021 prior to the expiry date of 1 February 2021.
- ❖ The proposed development will not negatively impact the natural environment.
- ❖ The proposed development will not negatively impact the character of the surrounding area.

5. You are hereby informed of your right to appeal to the Appeal Authority in terms of Section 78(2) of the By-law.

5.1 The appeal form must be completed and should be directed to the Appeal Authority (Executive Mayor) and received **within 21 days of notification** of this decision together with proof of payment of the appeal fee (R3351-00).


5.2 The appeal form is available at request or alternatively on the Municipal website (www.overstrand.gov.za).

5.3 Contact details are as follows:

Physical address : 16 Paterson Street, Hermanus, 7200
Postal address : PO Box 20, Hermanus, 7200
E-mail address : alida@overstrand.gov.za

6. Kindly note that the rights are still not in place until the prescribed 21 days of registration of this letter have passed and it is confirmed by our offices that there has been no appeal received against the proposal.

Yours faithfully



S MÜLLER
DIRECTOR : INFRASTRUCTURE AND PLANNING

CAPE ETHICAL ORGANICS (PTY) LTD

**OVERSTRAND MEDICAL CENTRE
ERF 4081 GANSBAAI**

ENGINEERING SERVICES REPORT

PROJECT NO. 258

SEPTEMBER 2023

**RAADGEWENDE INGENIEURS
& PROJEK BESTURDERS**
AVDM

1. INTRODUCTION

This report discusses the engineering implications of the proposed development of the Overstrand Medical Centre on erf 4081 Gansbaai. The provisional site layout as prepared by Christof Albertyn Architect, was used as basis for discussion.

The site is situated on the corner of Main Road and Riet Street in Gansbaai.

A detailed topographical survey was used for the preliminary design inputs. Extensive earthworks will be required to ensure even grades for the hospital environment and assist with the required drainage of the site for sewer and stormwater.

2. WATER

A bulk water and sewer capacity report for this development, dated 25 April 2023, was done by GLS Consulting.

There is insufficient capacity in the existing water reticulation network to accommodate the proposed development to comply with the pressure and fire flow criteria as set out in the master plan of GLS. The minimum requirements to accommodate the proposed development in the existing water system is the replacement of an existing 50mm dia pipe in Buitekant street with a 200mm dia pipe as well as the installation of a new 200mm dia pipe in Riet Street where the proposed development will connect to.

The AADD for the development is 9.6kl/day. The development is seen as a moderate-risk fire risk area and a minimum flow of 25 L/s per hydrant and a minimum residual head of 10m will be required.

The internal network will consist of a 110mm dia. main with 110mm dia. water connections to the main buildings. For the smaller buildings 25mm dia. water connections will be made available. A bulk water meter will be installed at the entrance to the development.

The GLS report has confirmed that the reservoir capacity and the bulk supply has sufficient spare capacity to accommodate the proposed development. However, the existing water reticulation network has insufficient capacity to comply with fire flow criteria.

3. SEWER NETWORK

A bulk water and sewer capacity report for this development, dated 25 April 2023, was done by GLS Consulting.

The recommended sewer connection point for the proposed development is at the existing 160mm dia sewer line in Barnard Street. This link service will need to be installed to service the proposed development.

The internal sewer network will consist of normal waterborne 160m dia. main lines with 110mm dia. service connections.

The GLS report will has confirmed that the existing reticulation network and pumpstation at Gansbaai Harbour has sufficient capacity to accommodate the proposed development.

4. ROADS

A transport impact statement was done by ITS Engineers and is attached as part of the SDP submission. ITS has confirmed that the existing road network around the development has sufficient capacity to accommodate the trips generated and that no specific external road upgrades are required.

Main access to the development will be from Riet Street from the southern side of the development. The gate will normally be open during operating hours of the hospital but will be closed after hours with security for access to the emergency unit.

The roads and parking areas within the development will consist paved surfaces with kerbs and channels on each side built on a cross fall.

The pavement layers will be designed in accordance with TRH4 guidelines.

5. STORMWATER

The proposed internal minor stormwater system will consist of catch pits installed in the kerbed channels of the roads, which will be connected to an underground pipe network. This network will discharge into a soak away detention pond situated in the north-western corner of the site. The internal minor system will cater for the 5-year design return period.

The roadways will act as the major stormwater system. This system will have a low point in the western side of the development with an overland flow channel into the soak away detention pond which will be adequate in size to accommodate the 50-year design storms.

The detention pond will have a gabion protected overflow spillway along the western wall to cater for storms bigger than the 50-year design storm.

7. ELECTRICITY

See attached the electrical services report compiled by Driger Consulting for information on the electricity supply network.

8. CONCLUSION

All Civil and Electrical Engineering Services will have to be designed according to Standards and Specifications as laid down by the Overstrand Municipality.

A service agreement will have to be drawn up between the developer and the Overstrand Municipality which will spell out the exact bulk levy contributions as well as the standard of services required.

AS van der Merwe

Pr Eng

September 2023

GB 22214 – OVERSTRAND MEDICAL CENTRE - GANSBAAI: ELECTRICAL SERVICES AGREEMENT

1. ELECTRICITY SUPPLY NETWORK

The proposed supply will comprise the following:

- a) The Overstrand Municipality will make an 11kV supply available in Riet Street.
- b) The current available capacity is 500kVA.
- c) A ring supply, 70mm² PILC 11kV cable, must be cut into the existing cable in Riet Street.
- d) The installation must be done under the supervision of a consulting engineer.

The entire distribution network shall be provided at the cost of the DEVELOPER.

The current municipal bulk supply contribution of R 4 392,84 (Incl) per kVA will be applicable.

The installation will also be according to the municipality's "Standard Guidelines for Electrical Services."

2. Underground services

The electricity network shall be an underground installation with all material/equipment and installation methods in accordance with the "Standard Guidelines for Electrical Services."

3. Servitudes

All services will be installed in road reserves. No servitudes required.

4. Ownership and maintenance

Ownership of the electricity supply network infrastructure as described in the plans and specification necessary for the development, shall **not** be transferred to the Overstrand Municipality. They will not be responsible for the operation and maintenance thereof.

5. Connection/metering

The minisub must be on a 6m x 4m space on the erf boundary, next to Riet Street. A threephase bulk meter, with a cell phone modem, will be installed in the minisub.

25 April 2023

The Director: Civil Engineering Services
Overstrand Municipality
P.O. Box 20
HERMANUS
7200

Attention: Mr Dennis Hendriks

Dear Sir,

**PROPOSED DEVELOPMENT OF ERF 4081, GANSBAAI (OVERSTRAND MEDICAL CENTRE):
CAPACITY ANALYSIS OF THE BULK WATER AND SEWER SERVICES**

The request by Mr André van der Merwe of AVDM Consulting Engineers for GLS Consulting (Pty) Ltd to investigate and comment on the bulk water supply and sewer discharge of the proposed development (Overstrand Medical Centre on Erf 4081, Gansbaai), refers.

This document should inter alia be read in conjunction with the Water Master Plan (performed for the Overstrand Municipality) dated June 2021 and the Sewer Master Plan dated June 2021.

Future development area GG4, which includes the proposed development area, was conceptually taken into consideration for the master planning of the water and sewer networks.

1. WATER DISTRIBUTION SYSTEM

1.1 *Distribution zone*

It is proposed that the development area is accommodated within the existing Gansbaai reservoir water distribution zone. The connection to the existing system should be done at the proposed 200 mm diameter pipeline in Riet Street, as shown in Figure 1 attached.

The proposed development is situated inside the water priority area.

1.2 *Water demand*

The original water analysis for the master plan was performed with a total annual average daily demand (AADD) for development on the Erf 4081 (future development area GG4 in the June 2021 water master plan) of 137,0 kL/d.

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Stellenbosch, 7600

Lynnwood Corporate Park
36 Alkantrant Road
Lynnwood Manor, Pretoria

PO Box 814
Stellenbosch, 7599
South Africa

For this re-analysis, the AADD and fire flows for the proposed development were calculated as follows:

• Emergency centre (3 beds) @ 0.3 kL/d/bed	=	0,9 kL/d
• Theatre block (2 beds) @ 0.3 kL/d/bed	=	0,6 kL/d
• Day hospital (22 beds) @ 0.3 kL/d/bed	=	6,6 kL/d
• Radiology (50 m ² GLA) @ 0.4 kL/d/100 m ²	=	0,2 kL/d
• Restaurant (718 m ² GLA) @ 0.4 kL/d/100 m ²	=	0,3 kL/d
• Consulting room (1 132m ² GLA) @ 0.4 kL/d/100 m ²	=	0,5 kL/d
• Security accommodation	=	<u>0,5 kL/d</u>
TOTAL	=	9,6 kL/d *

* (Water demand calculations provided by AVDM Consulting Engineers).

- Fire flow criteria (Moderate risk) = 25 L/s @ 10 m

1.3 Present situation

1.3.1 Network conveyance

Accommodation of the proposed development on Erf 4081 in the existing Gansbaai reservoir water distribution zone will require upgrading of the existing water network to comply with the pressure and fire flow criteria as set out in the master plan.

An existing 100 mm diameter raw water pipeline from the Perlemoen Spring is crossing the proposed development area and should be relocated by the developer (the exact position of this pipeline should first be verified).

1.3.2 Bulk supply system

The Gansbaai reservoirs are supplied with bulk water from the Franskraal Water Treatment Plant (WTP) in Franskraal.

The existing bulk supply to the Gansbaai reservoirs has sufficient spare capacity to accommodate the proposed development, as well as development of the existing vacant stands within the larger Gansbaai reservoir water distribution zone.

1.3.3 Reservoir capacity

The criteria for the total reservoir volume used in the Overstrand Water Master Plan is 48 hours of the AADD (of the reservoir supply zone).

There is sufficient reservoir storage capacity available in the existing Gansbaai reservoirs to accommodate the proposed development.

1.4 Implementation of the master plan

The following master plan items will be required to augment bulk water supply from the Gansbaai reservoirs to the Gansbaai network in order to accommodate the proposed development in the existing Gansbaai water system together with full occupation of the existing approved erven in Gansbaai.

Network upgrade

• OGW2.1 : 1 005 m x 450 mm Ø parallel supply pipe	R	8 020 000 *
• OGW2.8a : 390 m x 200 mm Ø replace existing 50 mm Ø pipe	R	911 000 *
• OGW2.8b : 415 m x 200 mm Ø replace existing 50 mm Ø pipe	R	<u>965 000 *</u>
Total	R	9 896 000 *

Notes:

The implementation of master plan item OGW2.1 is required to accommodate the proposed development in the existing water system together with full development of the existing affordable housing developments within the Blompark and Masakhane suburbs.

(* Including P & G, Contingencies and Fees, but excluding VAT - Year 2022/23 Rand Value. This is a rough estimate, which does not include major unforeseen costs).

The routes of the proposed pipelines are schematically shown on Figure 1 attached, but have to be finalised subsequent to detail pipeline route investigations.

1.5 *Minimum requirements*

The minimum requirements to accommodate the proposed development in the existing water system are master plan items OGW2.2 & OGW2.8b to improve network conveyance from the Gansbaai reservoirs to the Gansbaai reservoir water distribution zone.

It is however recommended that master plan item OGW2.1 is also implemented in order to improve network pressure to the affordable housing developments within the Blompark and Masakhane suburbs.

2. SEWER NETWORK

2.1 *Drainage area*

It is proposed that the development is accommodated in the existing Gansbaai Hawe pumping station (PS) drainage area.

The recommended sewer connection point for the proposed development is at the existing 160 mm Ø sewer in Barnard Street, as shown on Figure 2 attached.

The proposed development is situated inside the sewer priority area.

2.2 *Sewer flow*

The original sewer analysis for the master plan was performed with a total peak day dry weather flow (PDDWF) for development on Erf 4081 (future development area GG4 in the June 2021 sewer master plan) of 97,2 kL/d.

For this re-analysis, the PDDWF for the proposed development was calculated as 7,7 kL/d.

2.3 *Present situation*

The existing sewer system that gravitates from Barnard Street to the Gansbaai Hawe PS has sufficient spare capacity available to accommodate the proposed development in the existing sewer system.

The following link services item will however be required to connect the internal sewer reticulation system for the proposed development to the existing 160 mm diameter outfall sewer in Barnard Street:

Link services

- Item 1 : 90 m x 160 mm Ø new outfall sewer R 275 000 *

Notes:

(* Including P & G, Contingencies and Fees, but excluding VAT - Year 2022/23 Rand Value. This is a rough estimate, which does not include major unforeseen costs).

The route of the proposed outfall sewer is schematically shown on Figure 2 attached, but has to be finalised subsequent to a detail pipeline route investigation.

2.4 *Minimum items required*

The minimum requirement to accommodate the proposed development within the existing sewer network is link services item 1 to connect the internal sewer reticulation system for the proposed development to the existing 160 mm diameter outfall sewer in Barnard Street.

3. CONCLUSION

The developer of the proposed Overstrand Medical Centre on Erf 4081 in Gansbaai may be liable for the payment of a Development Contribution (as calculated by the Overstrand Municipality) for bulk water and sewer infrastructure as per Council Policy.

There is insufficient capacity in the existing water reticulation network to accommodate the proposed development to comply with the pressure and fire flow criteria as set out in the master plan.

The existing bulk supply system from the Franskraal WTP to the Gansbaai reservoirs however has sufficient capacity to accommodate the proposed development.

The minimum requirements to accommodate the proposed development in the existing water system are master plan items OGW2.1 & OGW2.8b to improve network conveyance from the Gansbaai reservoirs to the Gansbaai reticulation network.

The existing sewer system has sufficient spare capacity to accommodate the proposed development.

Link services item 1 will however be required to connect the internal sewer reticulation system for the proposed development to the existing 160 mm diameter outfall sewer in Barnard Road.

We trust that you find this of value.

Yours sincerely,

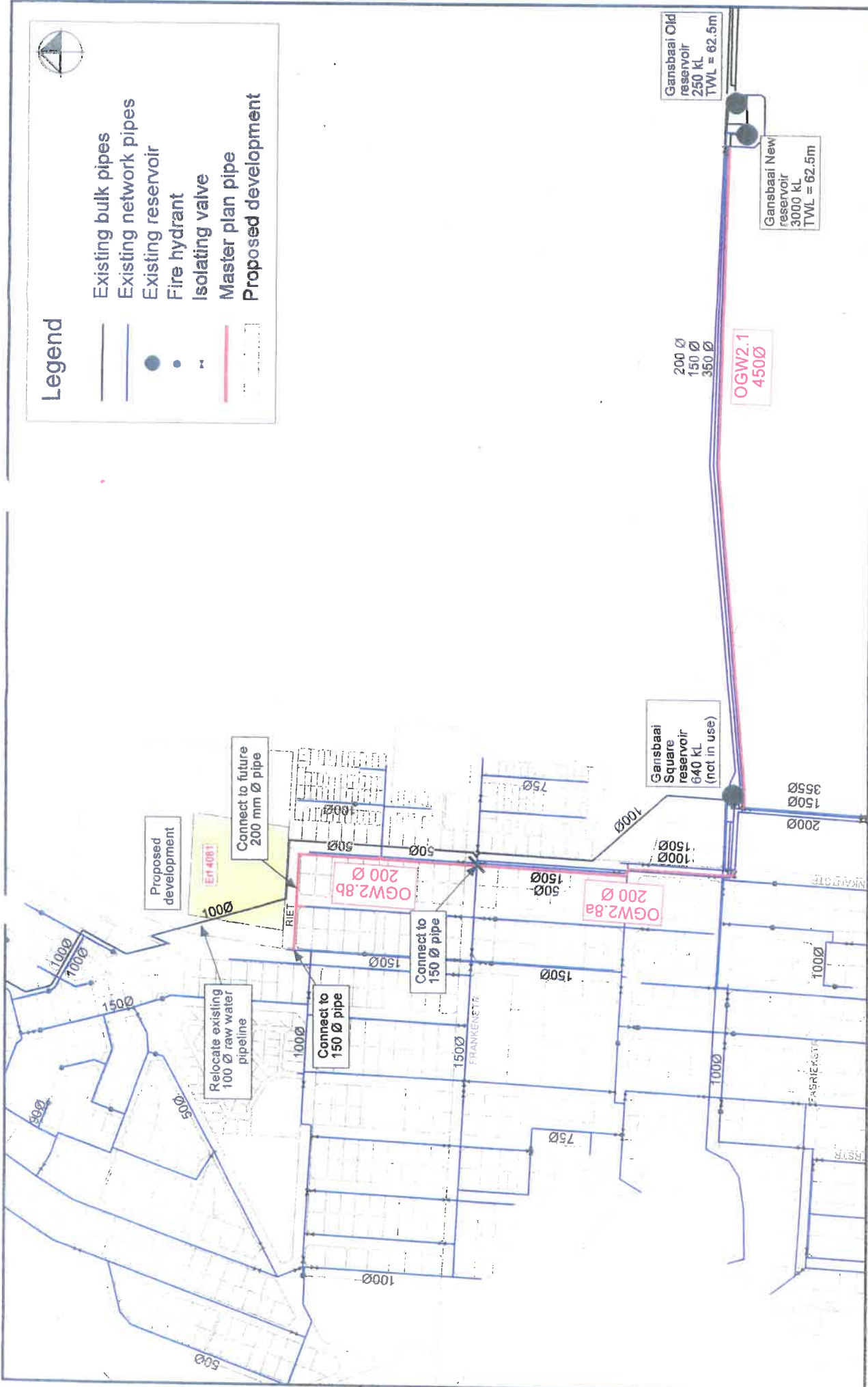
GLS CONSULTING (PTY) LTD
REG. NO.: 2007/003039/07



Per: PC DU PLESSIS

cc. AVDM Consulting Engineers
P.O. Box 2056
Hermanus
7200

Attention: Mr André van der Merwe



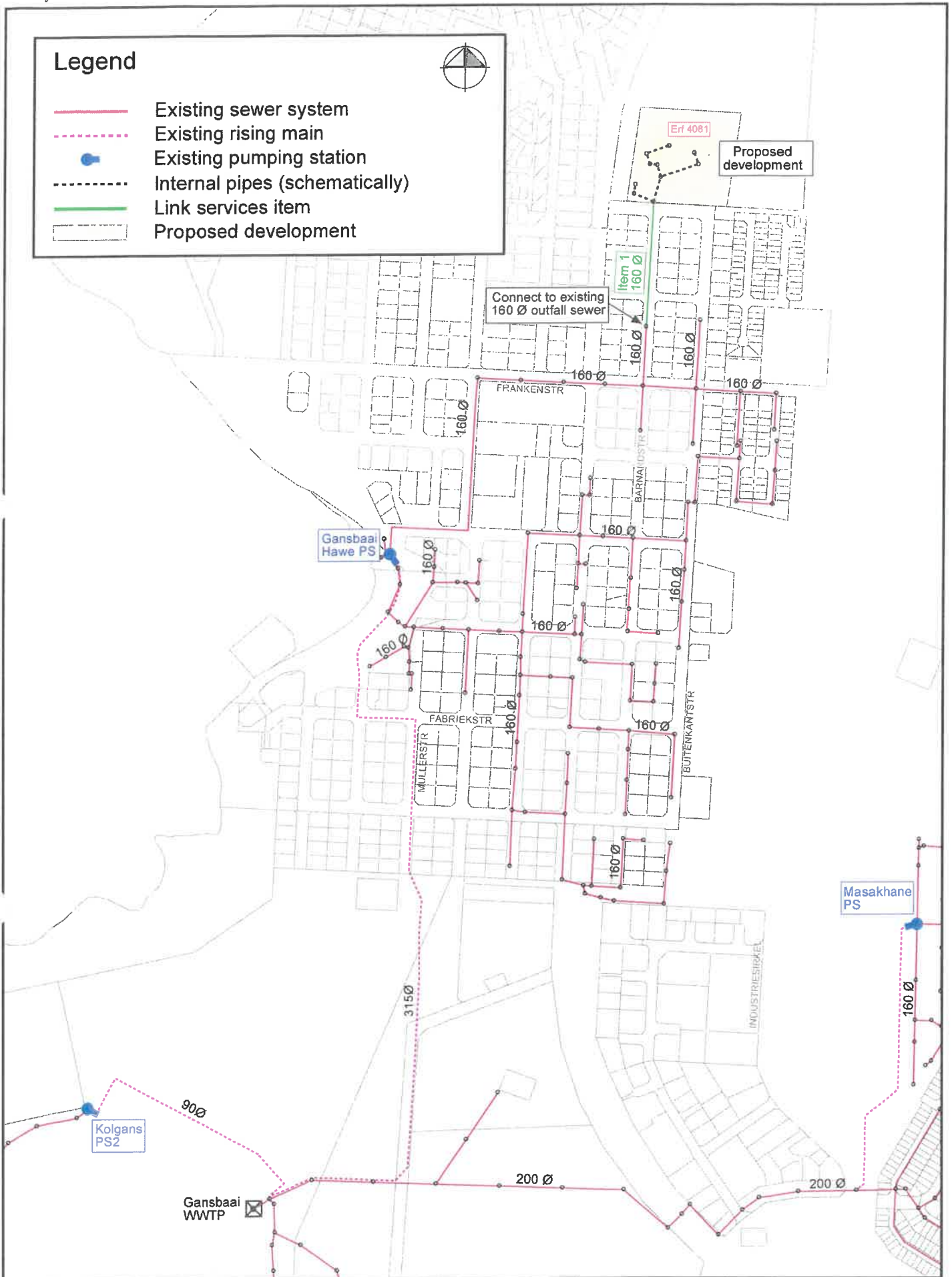
Legend

- Existing bulk pipes
- Existing network pipes
- Existing reservoir
- Fire hydrant
- Isolating valve
- Master plan pipe
- Proposed development

Legend



- Existing sewer system
- - - Existing rising main
- Existing pumping station
- - - Internal pipes (schematically)
- Link services item
- Proposed development

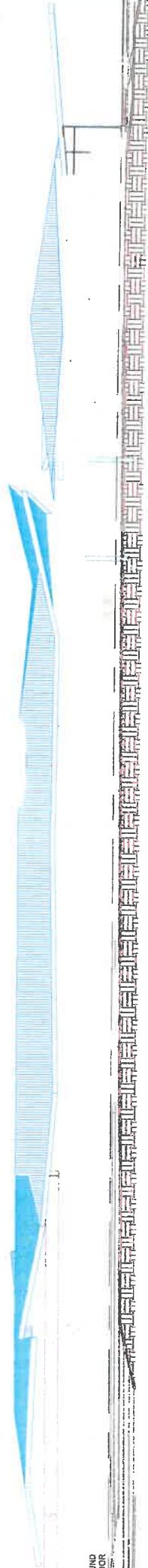


SOUTH EAST ELEVATION



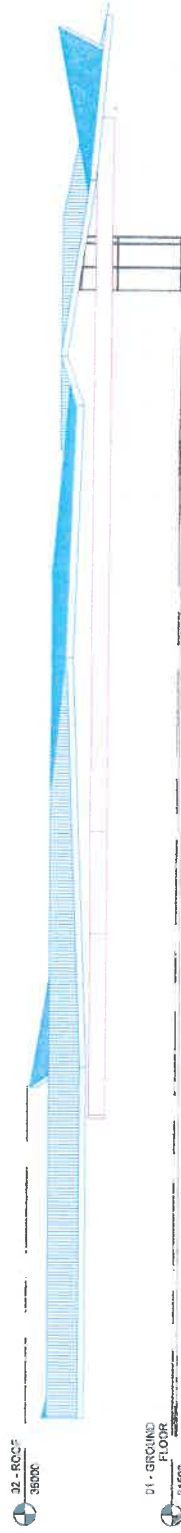
01 - GROUND FLOOR
3:1500

NORTH WEST ELEVATION



01 - GROUND FLOOR
500

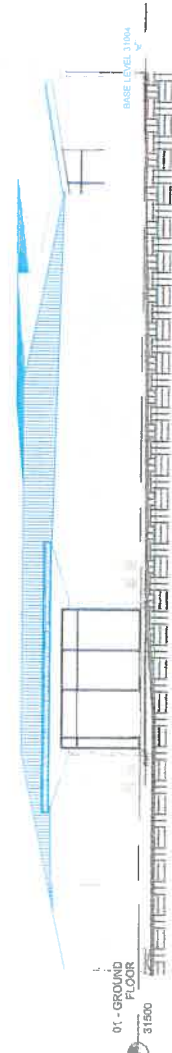
NORTH EAST ELEVATION



02 - ROOF
3:500

01 - GROUND FLOOR
3:1500

SOUTH WEST



01 - GROUND FLOOR
3:1500

RAADGEWENDE INGENIEUR
& PROJEKTESTUDIERS
AVDM

Proj.Nr./Proj.No. 258 /
Tsk.Nr./Dwg.No./Her./Rek. 22

PROJEK/PROJECT OVERSTRAND MEDICAL CENTRE
ERF 4081, GANSBAAI

DETAIL BUILDING ELEVATIONS

Geteken/Drawn AvdM
Nagesien/Checked Ontwerp/design AvdM

Skaal/Scale 1:200

Datum/Date OCT 23

Cape Ethical Organics
P.O. Box 340
Worcester, 6849

Email: brandwacht@xpoint.co.za

24 April 2023

Our Reference: 4537

Attention: Dr. Pierre Nel

TRANSPORT IMPACT STATEMENT: OVERSTRAND MEDICAL CENTRE, GANSBAAI

We refer to our appointment to evaluate the expected transport related impacts associated with the proposed development on a portion of Erf611, Gansbaai. This transport impact statement is in support of a rezoning and subdivision application to accommodate the proposed Overstrand Medical Centre on the property.

The property is located to the east of Main Road (R43) and to the north of Riet Street in Gansbaai. See **Figure 1** in Annexure A for a Locality Plan.

Proposed Development)

The site is currently vacant land. It is proposed to develop a medical centre with the following facilities on the site:

- Hospital 20 beds (future expansion of additional 20 beds),
- Consulting rooms,
- Emergency room,
- Radiology facility &
- Two operating theatres.

See **Figure 2** in Annexure A for the Site Development Plan

Existing Traffic Conditions

Existing Roadways in Site Vicinity

Main Road (R43): Provincial Trunk Road (TR02802), one lane per direction, gravel shoulders and no sidewalks in the site vicinity. The posted speed limit is 60km/h in the site vicinity. See Photo 1 in Annexure B for a typical cross section of the road.

Riet Street: Municipal Street one lane per direction and a partial sidewalk along the southern side of the road in the site vicinity. See Photo 2 in Annexure B for a typical cross section of the road.

THINKING GLOBAL, ACTING LOCAL

Directors: Mr JL Coetzee Pr Eng (Managing), Dr P Pretorius Pr Eng,
Dr JC Krogscheepers Pr Eng, Mrs LC Pretorius Pr Eng

Registration No: 2001/027212/07

Transport Impact Analysis

Existing Conditions

The Annual Average Daily Traffic (AADT) along Main Road (TR02802)) is approximately 6 600 with approximately 500 two-way traffic during the typical weekday peak hours. There are many gaps in the traffic streams along Main Road, which enables side road traffic to enter the road with minimal delay. No significant conflict situations were observed during the site visit. Riet Street is a low volume road with less than 50 vehicular trips during the typical weekday peak hours.

Trip Generation

For the purposes of this report only the Hospital is considered a trip generator. The Consulting Rooms, Radiology, Theatre and Emergency Centre are seen as related uses to the Hospital.

The following trip generation rates are suggested in the South African Trip Data Manual TMH17:

- Private Hospital (COTO612)
 - AM Peak Hour 1.65trips/100sqm GLA
 - PM Peak Hour 1.50trips/100sqm GLA

A trip generation survey was previously conducted at the Cape Gate Mediclinic to confirm the trip generation rates as part of another application. The surveyed trip generation rates was 0.70 trips per 100sqm GLA during the a.m. peak hour and 1.10 trips per 100sqm GLA during the p.m. peak hour. This is significantly lower than the recommended trip generation rates in COTO and it is expected that trip generation rates for the proposed Overstrand Medical Centre will even be less trips than what was surveyed at the Cape Gate Mediclinic.

Based on the above the proposed Overstrand Medical Centre can generate approximately 33 driveway trips during the a.m. peak hour and 51 driveway trips during the p.m. peak hour. These trips are including a possible future expansion of 690m² GLA.

Traffic Impact

From the observations during the site visit it is evident that the accesses and the intersections in the vicinity of the site have sufficient capacity to accommodate the trips generated by the proposed development. Based on the nature and extent of the development and the current traffic conditions it is concluded that the transport impact of the proposed development will be low. Therefore, no specific external road improvements will be required to accommodate the proposed development.

Access and Circulation

Two access are proposed off Riet Street. These accesses are aligned with the Barnard Street and Buitekant Street intersections. These are existing intersections and the intersection spacing is sufficient from a road safety and operational perspective. See **Photos 3 & 4** in Annexure B.

- It is recommended that the development be approved from a transport impact perspective.

We hope this adequately addresses the expected transport impact associated with the development. Please do not hesitate to contact us should you required any further information.

Yours sincerely,



Christoff Krogscheepers
For *Innovative Transport Solutions*



Photo 1: Main Road Southbound View towards Riet Street



Photo 2: Riet Street Westbound View towards Main Road



Photo 3: Northbound View Barnard Street towards Main Access Position



Photo 4: Northbound View Buitekant Str towards Secondary Access Position

CAPE ETHICAL ORGANICS (PTY) LTD

**OVERSTRAND MEDICAL CENTRE
ERF 4081 GANSBAAI**

ENGINEERING SERVICES REPORT

PROJECT NO. 258

SEPTEMBER 2023

RAADGEWENDE INGENIEURS
& PROJEK BESTUURDERS
AVDM

1. INTRODUCTION

This report discusses the engineering implications of the proposed development of the Overstrand Medical Centre on erf 4081 Gansbaai. The provisional site layout as prepared by Christof Albertyn Architect, was used as basis for discussion.

The site is situated on the corner of Main Road and Riet Street in Gansbaai.

A detailed topographical survey was used for the preliminary design inputs. Extensive earthworks will be required to ensure even grades for the hospital environment and assist with the required drainage of the site for sewer and stormwater.

2. WATER

A bulk water and sewer capacity report for this development, dated 25 April 2023, was done by GLS Consulting.

There is insufficient capacity in the existing water reticulation network to accommodate the proposed development to comply with the pressure and fire flow criteria as set out in the master plan of GLS. The minimum requirements to accommodate the proposed development in the existing water system is the replacement of an existing 50mm dia pipe in Buitekant street with a 200mm dia pipe as well as the installation of a new 200mm dia pipe in Riet Street where the proposed development will connect to.

The AADD for the development is 9.6kl/day. The development is seen as a moderate-risk fire risk area and a minimum flow of 25 L/s per hydrant and a minimum residual head of 10m will be required.

The internal network will consist of a 110mm dia. main with 110mm dia. water connections to the main buildings. For the smaller buildings 25mm dia. water connections will be made available. A bulk water meter will be installed at the entrance to the development.

The GLS report has confirmed that the reservoir capacity and the bulk supply has sufficient spare capacity to accommodate the proposed development. However, the existing water reticulation network has insufficient capacity to comply with fire flow criteria.

3. SEWER NETWORK

A bulk water and sewer capacity report for this development, dated 25 April 2023, was done by GLS Consulting.

The recommended sewer connection point for the proposed development is at the existing 160mm dia sewer line in Barnard Street. This link service will need to be installed to service the proposed development.

The internal sewer network will consist of normal waterborne 160m dia. main lines with 110mm dia. service connections.

The GLS report will has confirmed that the existing reticulation network and pumpstation at Gansbaai Harbour has sufficient capacity to accommodate the proposed development.

4. ROADS

A transport impact statement was done by ITS Engineers and is attached as part of the SDP submission. ITS has confirmed that the existing road network around the development has sufficient capacity to accommodate the trips generated and that no specific external road upgrades are required.

Main access to the development will be from Riet Street from the southern side of the development. The gate will normally be open during operating hours of the hospital but will be closed after hours with security for access to the emergency unit.

The roads and parking areas within the development will consist paved surfaces with kerbs and channels on each side built on a cross fall.

The pavement layers will be designed in accordance with TRH4 guidelines.

5. STORMWATER

The proposed internal minor stormwater system will consist of catch pits installed in the kerbed channels of the roads, which will be connected to an underground pipe network. This network will discharge into a soak away detention pond situated in the north-western corner of the site. The internal minor system will cater for the 5-year design return period.

The roadways will act as the major stormwater system. This system will have a low point in the western side of the development with an overland flow channel into the soak away detention pond which will be adequate in size to accommodate the 50-year design storms.

The detention pond will have a gabion protected overflow spillway along the western wall to cater for storms bigger than the 50-year design storm.

7. ELECTRICITY

See attached the electrical services report compiled by Driger Consulting for information on the electricity supply network.

8. CONCLUSION

All Civil and Electrical Engineering Services will have to be designed according to Standards and Specifications as laid down by the Overstrand Municipality.

A service agreement will have to be drawn up between the developer and the Overstrand Municipality which will spell out the exact bulk levy contributions as well as the standard of services required.

AS van der Merwe

Pr Eng

September 2023

GB 22214 – OVERSTRAND MEDICAL CENTRE - GANSBAAI: ELECTRICAL SERVICES AGREEMENT

1. ELECTRICITY SUPPLY NETWORK

The proposed supply will comprise the following:

- a) The Overstrand Municipality will make an 11kV supply available in Riet Street.
- b) The current available capacity is 500kVA.
- c) A ring supply, 70mm² PILC 11kV cable, must be cut into the existing cable in Riet Street.
- d) The installation must be done under the supervision of a consulting engineer.

The entire distribution network shall be provided at the cost of the DEVELOPER.

The current municipal bulk supply contribution of R 4 392,84 (Incl) per kVA will be applicable.

The installation will also be according to the municipality's "Standard Guidelines for Electrical Services."

2. Underground services

The electricity network shall be an underground installation with all material/equipment and installation methods in accordance with the "Standard Guidelines for Electrical Services."

3. Servitudes

All services will be installed in road reserves. No servitudes required.

4. Ownership and maintenance

Ownership of the electricity supply network infrastructure as described in the plans and specification necessary for the development, shall **not** be transferred to the Overstrand Municipality. They will not be responsible for the operation and maintenance thereof.

5. Connection/metering

The minisub must be on a 6m x 4m space on the erf boundary, next to Riet Street. A threephase bulk meter, with a cell phone modem, will be installed in the minisub.

25 April 2023

The Director: Civil Engineering Services
Overstrand Municipality
P.O. Box 20
HERMANUS
7200

Attention: Mr Dennis Hendriks

Dear Sir,

**PROPOSED DEVELOPMENT OF ERF 4081, GANSBAAI (OVERSTRAND MEDICAL CENTRE):
CAPACITY ANALYSIS OF THE BULK WATER AND SEWER SERVICES**

The request by Mr André van der Merwe of AVDM Consulting Engineers for GLS Consulting (Pty) Ltd to investigate and comment on the bulk water supply and sewer discharge of the proposed development (Overstrand Medical Centre on Erf 4081, Gansbaai), refers.

This document should inter alia be read in conjunction with the Water Master Plan (performed for the Overstrand Municipality) dated June 2021 and the Sewer Master Plan dated June 2021.

Future development area GG4, which includes the proposed development area, was conceptually taken into consideration for the master planning of the water and sewer networks.

1. WATER DISTRIBUTION SYSTEM

1.1 *Distribution zone*

It is proposed that the development area is accommodated within the existing Gansbaai reservoir water distribution zone. The connection to the existing system should be done at the proposed 200 mm diameter pipeline in Riet Street, as shown in Figure 1 attached.

The proposed development is situated inside the water priority area.

1.2 *Water demand*

The original water analysis for the master plan was performed with a total annual average daily demand (AADD) for development on the Erf 4081 (future development area GG4 in the June 2021 water master plan) of 137,0 kL/d.

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For this re-analysis, the AADD and fire flows for the proposed development were calculated as follows:

• Emergency centre (3 beds) @ 0.3 kL/d/bed	=	0,9 kL/d
• Theatre block (2 beds) @ 0.3 kL/d/bed	=	0,6 kL/d
• Day hospital (22 beds) @ 0.3 kL/d/bed	=	6,6 kL/d
• Radiology (50 m ² GLA) @ 0.4 kL/d/100 m ²	=	0,2 kL/d
• Restaurant (718 m ² GLA) @ 0.4 kL/d/100 m ²	=	0,3 kL/d
• Consulting room (1 132m ² GLA) @ 0.4 kL/d/100 m ²	=	0,5 kL/d
• Security accommodation	=	0,5 kL/d
	TOTAL	= 9,6 kL/d *

* (Water demand calculations provided by AVDM Consulting Engineers).

- Fire flow criteria (Moderate risk) = 25 L/s @ 10 m

1.3 Present situation

1.3.1 Network conveyance

Accommodation of the proposed development on Erf 4081 in the existing Gansbaai reservoir water distribution zone will require upgrading of the existing water network to comply with the pressure and fire flow criteria as set out in the master plan.

An existing 100 mm diameter raw water pipeline from the Perlemoen Spring is crossing the proposed development area and should be relocated by the developer (the exact position of this pipeline should first be verified).

1.3.2 Bulk supply system

The Gansbaai reservoirs are supplied with bulk water from the Franskraal Water Treatment Plant (WTP) in Franskraal.

The existing bulk supply to the Gansbaai reservoirs has sufficient spare capacity to accommodate the proposed development, as well as development of the existing vacant stands within the larger Gansbaai reservoir water distribution zone.

1.3.3 Reservoir capacity

The criteria for the total reservoir volume used in the Overstrand Water Master Plan is 48 hours of the AADD (of the reservoir supply zone).

There is sufficient reservoir storage capacity available in the existing Gansbaai reservoirs to accommodate the proposed development.

1.4 Implementation of the master plan

The following master plan items will be required to augment bulk water supply from the Gansbaai reservoirs to the Gansbaai network in order to accommodate the proposed development in the existing Gansbaai water system together with full occupation of the existing approved erven in Gansbaai.

Network upgrade

• OGW2.1 : 1 005 m x 450 mm Ø parallel supply pipe	R	8 020 000 *
• OGW2.8a : 390 m x 200 mm Ø replace existing 50 mm Ø pipe	R	911 000 *
• OGW2.8b : 415 m x 200 mm Ø replace existing 50 mm Ø pipe	R	965 000 *
	Total	R 9 896 000 *

Notes:

The implementation of master plan item OGW2.1 is required to accommodate the proposed development in the existing water system together with full development of the existing affordable housing developments within the Blompark and Masakhane suburbs.

(* Including P & G, Contingencies and Fees, but excluding VAT - Year 2022/23 Rand Value. This is a rough estimate, which does not include major unforeseen costs).

The routes of the proposed pipelines are schematically shown on Figure 1 attached, but have to be finalised subsequent to detail pipeline route investigations.

1.5 *Minimum requirements*

The minimum requirements to accommodate the proposed development in the existing water system are master plan items OGW2.2 & OGW2.8b to improve network conveyance from the Gansbaai reservoirs to the Gansbaai reservoir water distribution zone.

It is however recommended that master plan item OGW2.1 is also implemented in order to improve network pressure to the affordable housing developments within the Blompark and Masakhane suburbs.

2. **SEWER NETWORK**

2.1 *Drainage area*

It is proposed that the development is accommodated in the existing Gansbaai Hawe pumping station (PS) drainage area.

The recommended sewer connection point for the proposed development is at the existing 160 mm Ø sewer in Barnard Street, as shown on Figure 2 attached.

The proposed development is situated inside the sewer priority area.

2.2 *Sewer flow*

The original sewer analysis for the master plan was performed with a total peak day dry weather flow (PDDWF) for development on Erf 4081 (future development area GG4 in the June 2021 sewer master plan) of 97,2 kL/d.

For this re-analysis, the PDDWF for the proposed development was calculated as 7,7 kL/d.

2.3 *Present situation*

The existing sewer system that gravitates from Barnard Street to the Gansbaai Hawe PS has sufficient spare capacity available to accommodate the proposed development in the existing sewer system.

The following link services item will however be required to connect the internal sewer reticulation system for the proposed development to the existing 160 mm diameter outfall sewer in Barnard Street:

Link services

- Item 1 : 90 m x 160 mm Ø new outfall sewer R 275 000 *

Notes:

(* Including P & G, Contingencies and Fees, but excluding VAT - Year 2022/23 Rand Value. This is a rough estimate, which does not include major unforeseen costs).

The route of the proposed outfall sewer is schematically shown on Figure 2 attached, but has to be finalised subsequent to a detail pipeline route investigation.

2.4 *Minimum items required*

The minimum requirement to accommodate the proposed development within the existing sewer network is link services item 1 to connect the internal sewer reticulation system for the proposed development to the existing 160 mm diameter outfall sewer in Barnard Street.

3. CONCLUSION

The developer of the proposed Overstrand Medical Centre on Erf 4081 in Gansbaai may be liable for the payment of a Development Contribution (as calculated by the Overstrand Municipality) for bulk water and sewer infrastructure as per Council Policy.

There is insufficient capacity in the existing water reticulation network to accommodate the proposed development to comply with the pressure and fire flow criteria as set out in the master plan.

The existing bulk supply system from the Franskraal WTP to the Gansbaai reservoirs however has sufficient capacity to accommodate the proposed development.

The minimum requirements to accommodate the proposed development in the existing water system are master plan items OGW2.1 & OGW2.8b to improve network conveyance from the Gansbaai reservoirs to the Gansbaai reticulation network.

The existing sewer system has sufficient spare capacity to accommodate the proposed development.

Link services item 1 will however be required to connect the internal sewer reticulation system for the proposed development to the existing 160 mm diameter outfall sewer in Barnard Road.

We trust that you find this of value.

Yours sincerely,

GLS CONSULTING (PTY) LTD
REG. NO.: 2007/003039/07



Per: PC DU PLESSIS

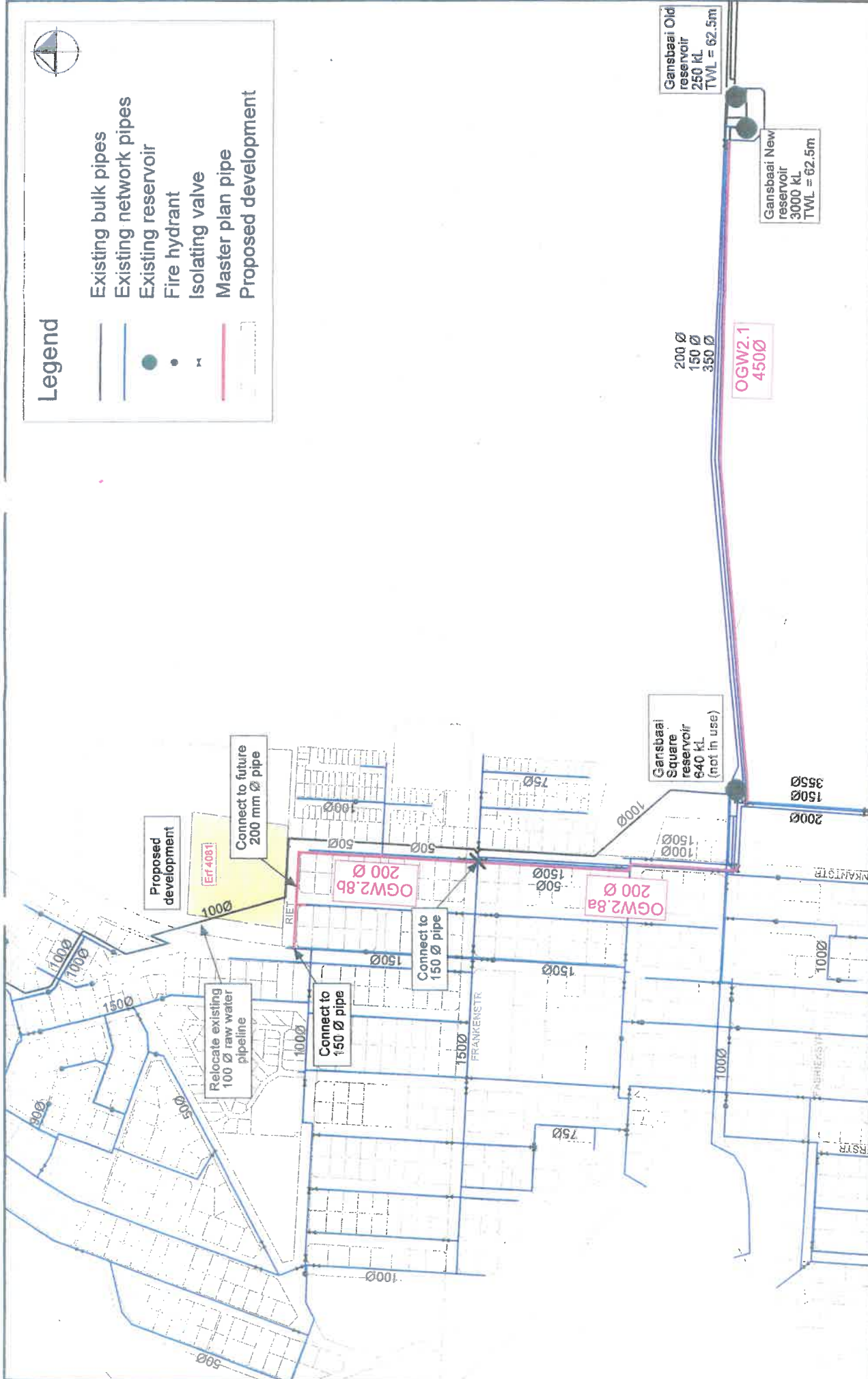
cc. AVDM Consulting Engineers
P.O. Box 2056
Hermanus
7200

Attention: Mr André van der Merwe



Legend

- Existing bulk pipes
- Existing network pipes
- Existing reservoir
- Fire hydrant
- Isolating valve
- Master plan pipe
- Proposed development



April 2023

Erf 4081 - Gansbaai



Figure 1

Proposed Development
Erf 4081 - Gansbaai
Existing Water System

Legend



- Existing sewer system
- - - Existing rising main
- Existing pumping station
- - - Internal pipes (schematically)
- Link services item
- Proposed development

