



ERF 3749, 162 SECOND AVENUE, KLEINMOND: APPLICATION FOR DEPARTURE: BOUAH DESIGN ON BEHALF OF E SMITH

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a **departure** in terms of Section 16(2)(b) to relax the lateral building line from 2m to 0,3m to accommodate a proposed new wendy house for storage purposes.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town & Spatial Planning, Hermanus and at the Kleinmond Library, Fifth Avenue, Kleinmond. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / loretta@overstrand.gov.za) on or before **25 October 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Ms. H van der Stoep** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town & Spatial Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 3749, TWEDELAAN 162, KLEINMOND: AANSOEK OM AFWYKING: BOUAH DESIGN NAMENS E SMITH

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ontvang is vir 'n **afwyking** ingevolge Artikel 16(2)(b) om die syboullyn vanaf 2m na 0,3m te verslap om 'n voorgestelde nuwe wendyhuis vir stoor doeleindes te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning, Hermanus en by die Kleinmond Biblioteek, Vyfdelaan, Kleinmond. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / loretta@overstrand.gov.za) voor of op **25 Oktober 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die Senior Stadsbeplanner, **Me. H van der Stoep** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 3749, 162 SECOND AVENUE, E-KLEINMOND: ISICELO SOPHAMBUKO: BOUAH DESIGN EGAMENI LIKA- E SMITH

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokuba isicelo sifunyenwe sotyeshelo lwemiqathango yeCandelo 16(2)(d) lokunyenya umda wesakhiwo osecaleni ukusuka kwi-2m ukuya kwi-0,3m ukulungiselela indlu entsha ye-Wendy ecetywayo ngee-njongo zokuyenza igumbi lokugcina.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxsha okusebenza phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: UCwangciso lweDolophu, eHermanus kunye neThala leeNcwadi laseKleinmond, 5th Avenue, eKleinmond. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, e-Hermanus / loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla wama-**25 Oktobha 2024**, uchaze igama lakho, idilesi kunye neenkukacha zoghagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMchwangcisi weDolophu, **UNksk. H van der Stoep** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.

ERF 3749, KLEINMOND

LETTER OF MOTIVATION

Owner(s):

ELIZABETH SMITH (ID: 4903190112004)

162 2nd AVENUE

KLEINMOND

7195

2024.07.02

ERF 3749, KLEINMOND: LETTER OF MOTIVATION AS PER THE OVERSTRAND MUNICIPALITY BY-LAW ON MUNICIPAL LAND USE PLANNING 2015. PERMANENT DEPARTURE – COMMON BOUNDARY SET-BACK

Herewith our motivation for the departures required for the above:

The scope of work is: Proposed Outbuilding to Erf 3749 Kleinmond.

The departure in question is to reduce common Municipal-building setback line from 2m to 0.3m along common boundary line with Erf 3749 and Erf 7098.

To reduce cost, reduce the carbon footprint and to derive the most effective use of the existing property we have proposed the following:

1. The need to move the building closer to common boundary is to maximise the use of the land for a proposed dwelling on the southeast corner of the existing property, due to the closeness of, and the extensive number of trees on the existing property.
2. Additionally, this outbuilding (Wendy house) will not be used to store any flammable or chemical contents which will pose a fire risk, but rather and electrically powered lawnmower, other garden tools, bicycles, office equipment, furniture and ladders.
3. This outbuilding has no windows or doors on any walls adjacent to the boundary wall on the common boundary to negatively affect the adjoining neighbour's privacy.
4. This outbuilding barely rises above the boundary wall on the common boundary to negatively affect aesthetics or act as a barrier to sunlight penetrating into the adjoining neighbour's property.

In terms of the above by-law:

(G) PLANNING PRINCIPLES:

As part of the motivation, the applicant must also indicate that the policies, principles and planning and development norms and criteria as set out in Section 42 of the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA) and Chapter VI of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) were regarded and that the proposed application is in compliance with these. The principles are defined below.

It is important to note that the explanations below are not legislative definitions, but rather an attempt at exploring each development principle

'SPATIAL JUSTICE' refers to the need to redress the past apartheid spatial development imbalances and aim for equity in the provision of access to opportunities, facilities, services, and land. In the broadest sense, it seeks to promote the integration of communities and the creation of settlements that allow the poorest of the poor to access opportunities. In a spatially just settlement, opportunities and access are provided to those whose historical access and opportunities have been impeded by the practice of apartheid spatial planning. Land development procedures must include provisions that accommodate access to, and facilitation of, security of tenure and the incremental upgrading of informal areas.

-N/A directly to the 'wendy house' in question as it is an existing structure, however the proposed dwelling elsewhere on the same property provides opportunity for employment of previously disadvantaged construction workers based in the local communities.

'SPATIAL SUSTAINABILITY' essentially refers to a sustainable form of development. A part of this means promoting less resource consuming development typologies that promote compaction, pedestrianisation and mixed-use urban environments which allow for the development of a functional public transport system and space economy. A spatially sustainable settlement will be

one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

-N/A directly to the 'wendy house' in question as it is an existing structure, nor the adjacent proposed dwelling, as the complete development takes place on land zoned and serviced for an urban dwelling. However, the construction methods and materials used on the adjacent proposed dwelling consists of 90% recycled shipping containers.

'EFFICIENCY' refers to the need to create settlements that optimise the use of space, energy, infrastructure, resources, and land. Inherent in this statement is the need to promote densification and urban (as opposed to suburban) development typologies. This also has to do with the manner in which the settlement itself is designed and functions, which should reduce the need to travel long distances to access services, facilities and opportunities. Efficiency also refers to decision making procedures which are designed to minimise negative financial, social, economic or environmental impacts. In addition, efficiency refers to the need for development application procedures that are efficient and streamlined.

-N/A directly to the 'wendy house' in question as it is an existing structure, however the adjacent proposed dwelling, complies with the SANS 10400 Regulation-XA regarding energy efficiency.

'SPATIAL RESILIENCE' in the context of land use planning refers to the need to promote the development of sustainable livelihoods for the poor (i.e., communities that are most likely to suffer the impacts of economic and environmental shocks). Spatial Resilience also refers to the requirement for flexibility in spatial plans, policies and land use management systems to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks. The spatial plans, policies and land use management systems should enable the communities to be able to resist, absorb and accommodate these shocks and to recover from these shocks in a timely and efficient manner, which includes the preservation and restoration of essential basic infrastructure and functions, but also adaptation in order to ensure increased resilience in terms of future shocks (United Nations Office for Disaster Risk Reduction, 2009).

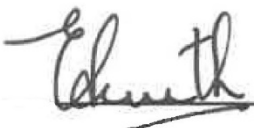
-N/A directly to the 'wendy house' in question as it is an existing structure, however the construction of the proposed dwelling elsewhere on the same property will take a maximum of 3-weeks to complete, and will therefore have a very minimal impact if any on the communities in and around the Kleinmond area.

'GOOD ADMINISTRATION' in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role-players ensure a joint planning approach is pursued. Furthermore, it is critical that decisions made in terms of land use planning seek to minimise the negative financial, social, economic, and environmental impacts of a development. Furthermore, 'good administration' in the context of land use planning, refers to a system which is efficient, well run and where the timeframe requirements are adhered to.

-N/A directly to the 'wendy house' in question as it is an existing structure, however the construction of the proposed dwelling elsewhere on the same property will take a maximum of 3-weeks to complete, and will therefore have a very minimal impact if any on the communities in and around the Kleinmond area.

Please consider my application duly.

Yours Faithfully



ELIZABETH SMITH

ERF 3748

ERF 3756

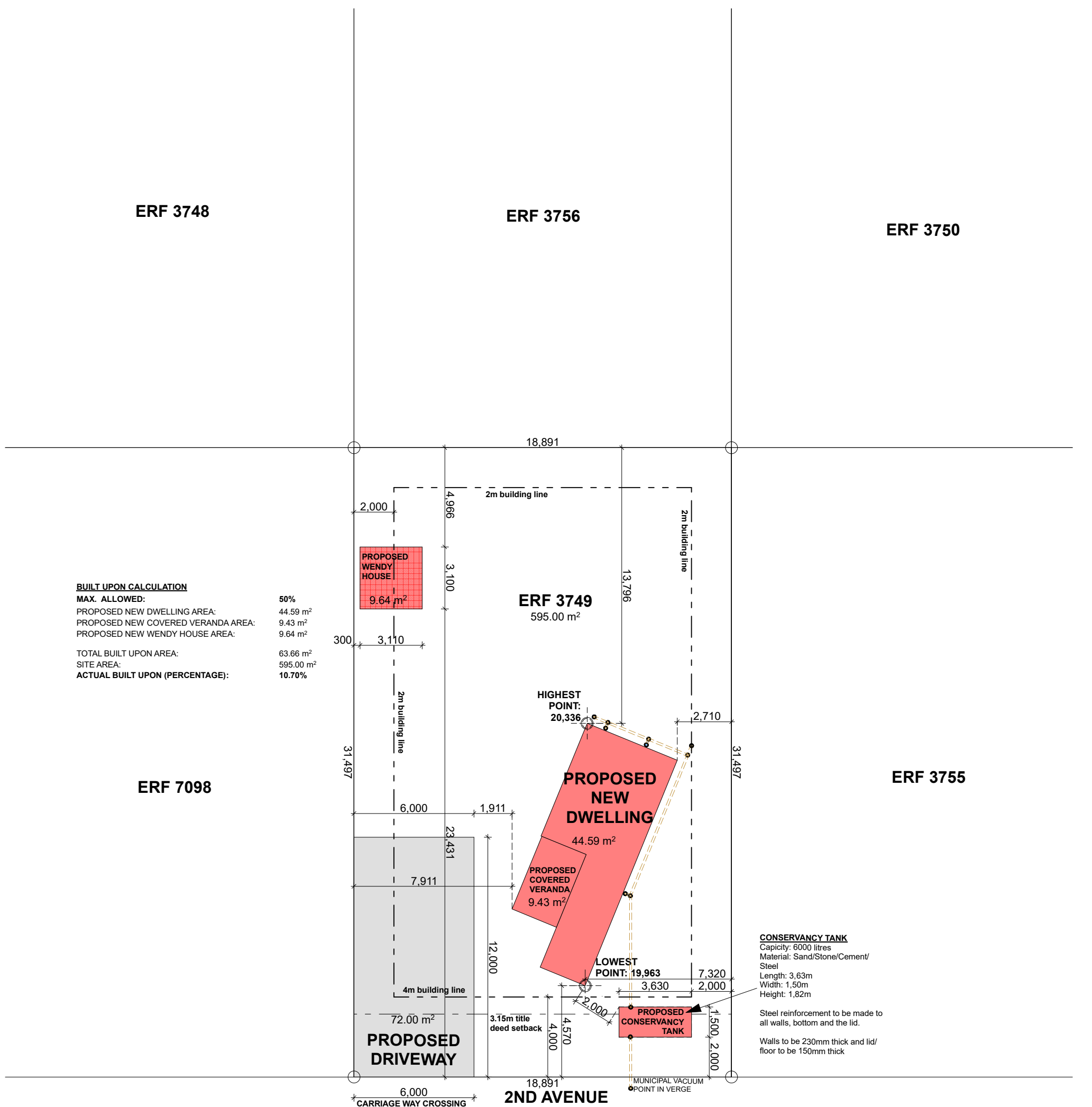
ERF 3750

BUILT UPON CALCULATION

MAX. ALLOWED: 50%
 PROPOSED NEW DWELLING AREA: 44.59 m²
 PROPOSED NEW COVERED VERANDA AREA: 9.43 m²
 PROPOSED NEW WENDY HOUSE AREA: 9.64 m²
 TOTAL BUILT UPON AREA: 63.66 m²
 SITE AREA: 595.00 m²
ACTUAL BUILT UPON (PERCENTAGE): 10.70%

ERF 7098

ERF 3755



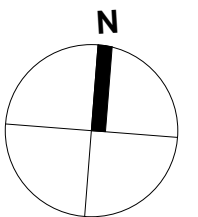
CONSERVANCY TANK

Capacity: 6000 litres
 Material: Sand/Stone/Cement/
 Steel
 Length: 3,63m
 Width: 1,50m
 Height: 1,82m

Steel reinforcement to be made to all walls, bottom and the lid.

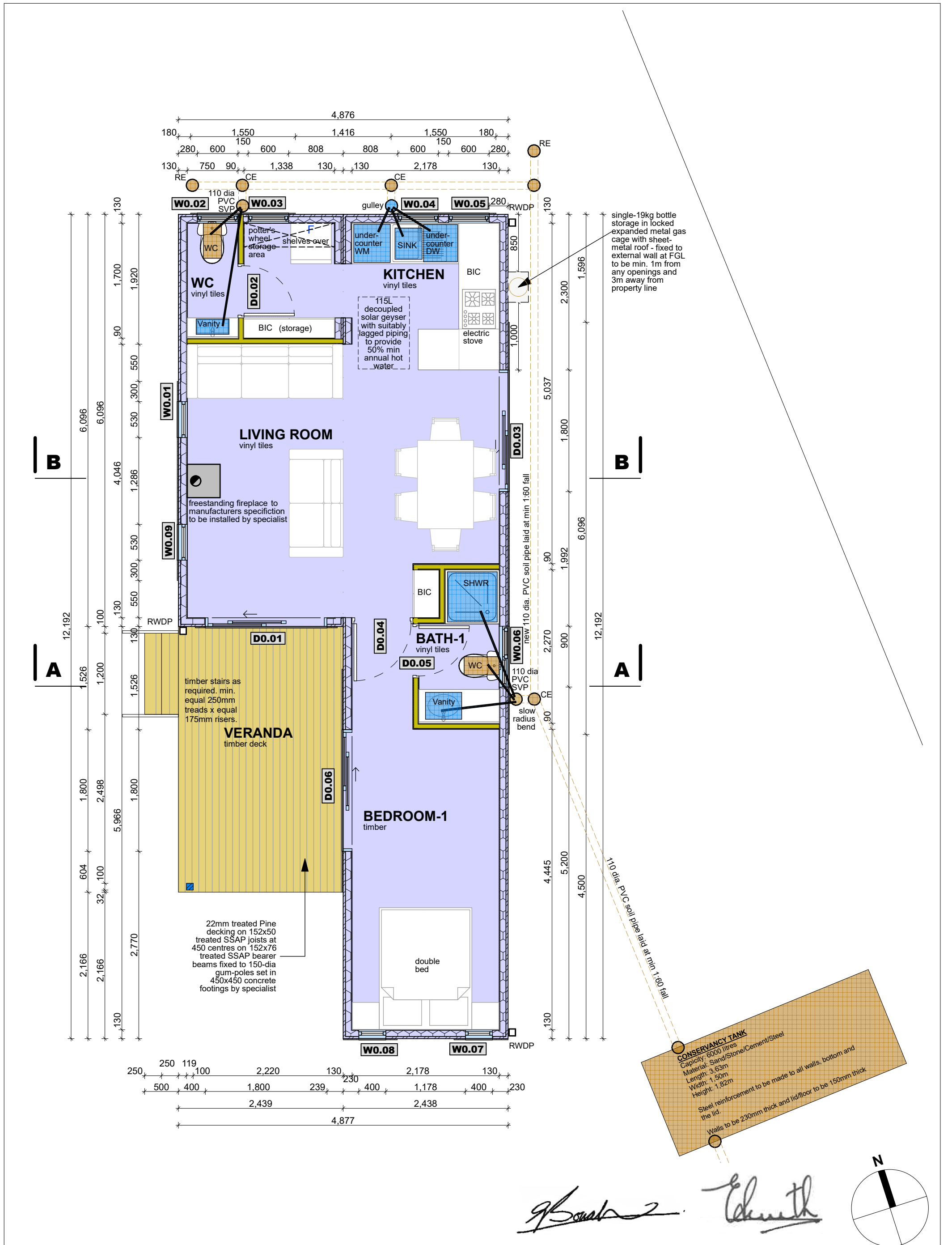
Walls to be 230mm thick and lid/floor to be 150mm thick

SITE PLAN Scale 1:200



GENERAL NOTES: Contractor and Engineer to verify all levels and dimensions on site and check same against Designer's drawings before commencing work. All dimensions are given in millimeters unless otherwise noted. All relevant details, levels, dimensions, setting out positions are to be checked prior to any work commencing, details take precedence over working drawings, any discrepancies are to be brought to the attention of the Designer. Drawings are to read in conjunction with Engineer's drawings. Contractor to keep full set of drawings on site. The Designer accepts no responsibility for errors resulting from misinterpretation of the drawings. It is forbidden to reproduce or distribute any portion of this document without the written consent of BOUAH DESIGN, which owns the copyright.

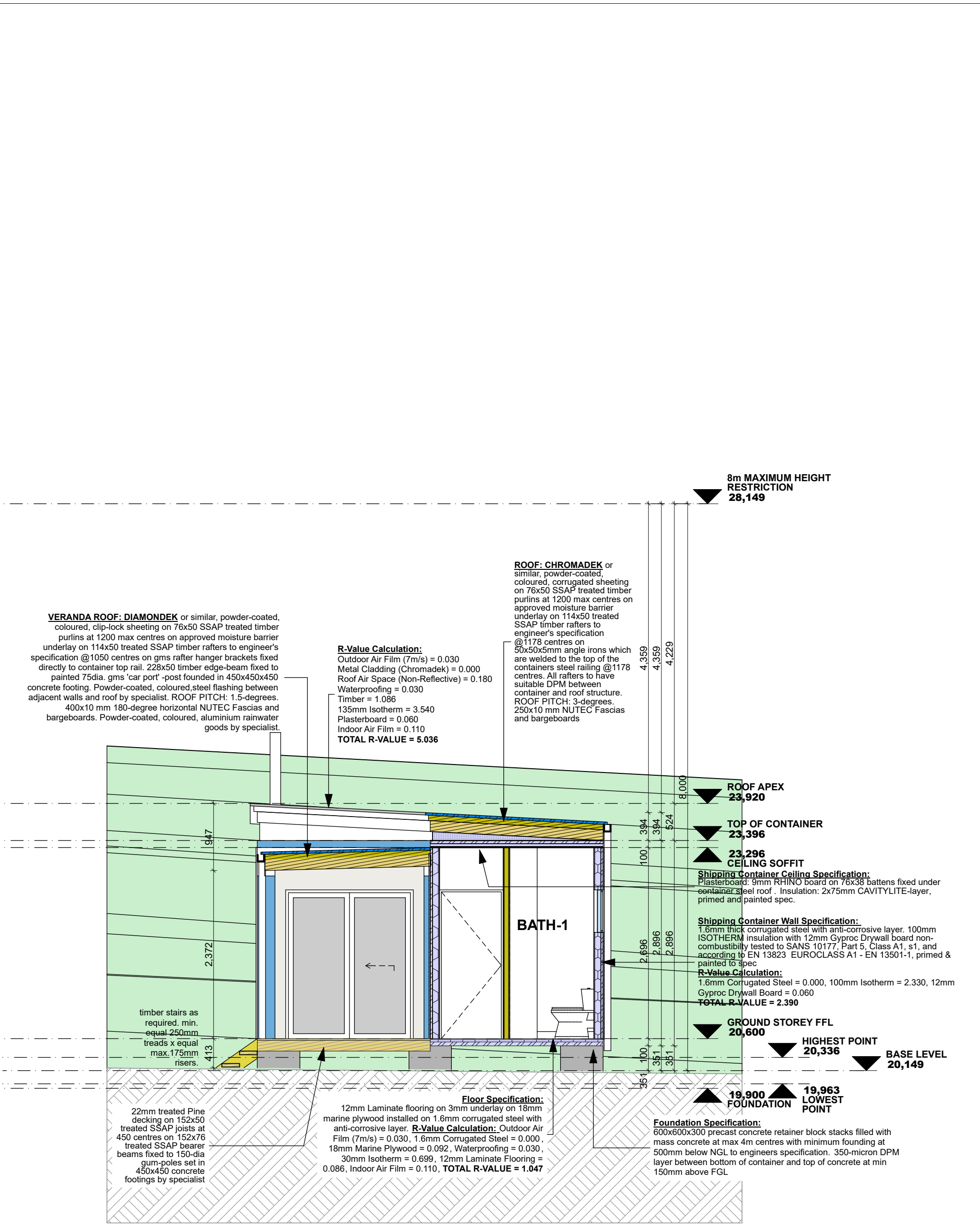
Rev.	Description	Date



GROUND STOREY PLAN Scale 1:50

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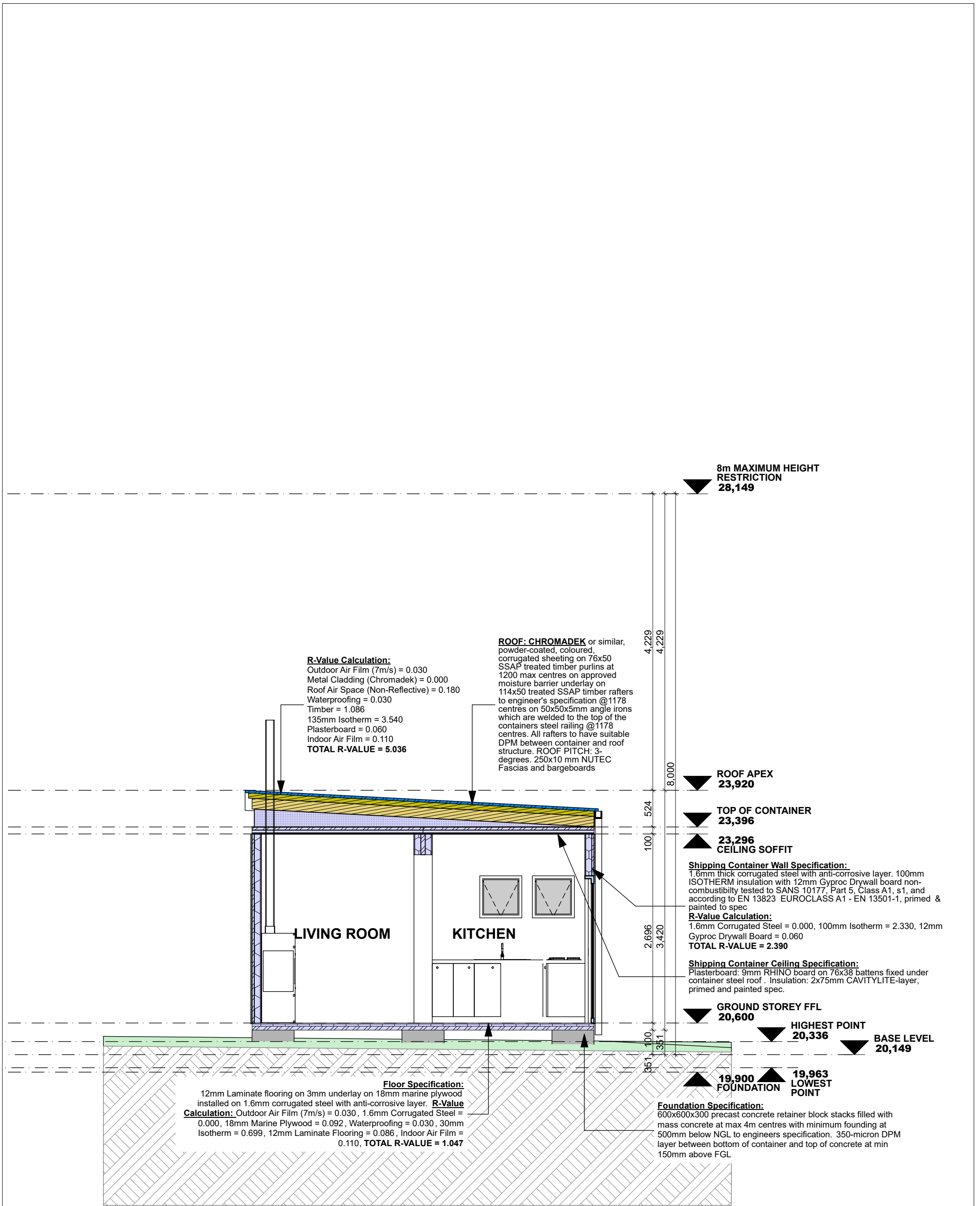
SECTION A-A Scale 1:50

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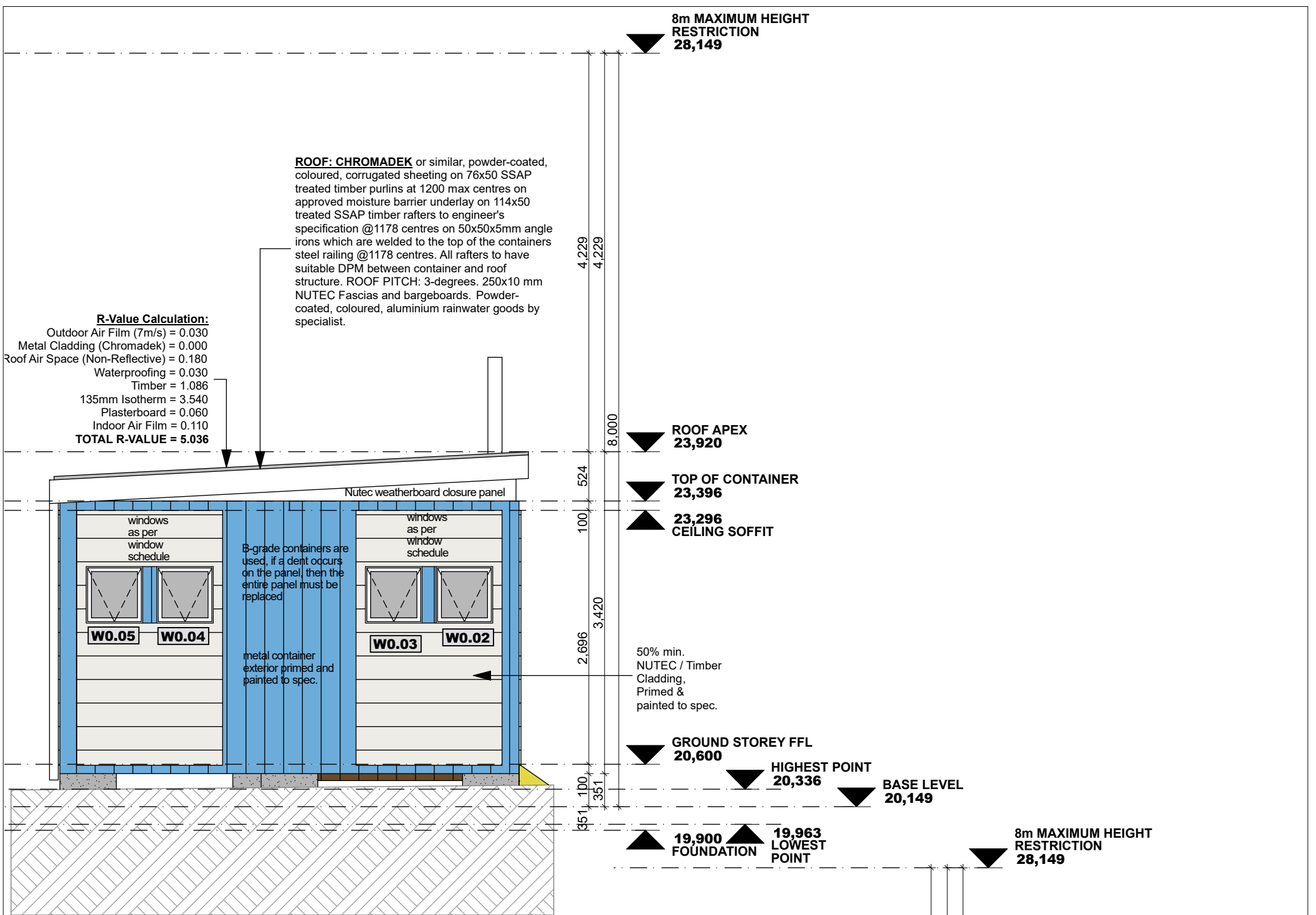
bouah design ARCHITECTURAL SERVICES 25.WEMBLEYWAY.EDGEMEAD.7441 (083) 479 0145 SACAP Reg: ST1982 greg@bouahdesign.co.za	PRELIMINARY	Erf 3749, Kleinmond PROPOSED NEW DWELLING		CLIENT(S): MS ELIZABETH SMITH	
		SECTION A-A		DWG: SMI 000.3	SCALE: 1:50 PG SIZE: A3 DRAWN: GB



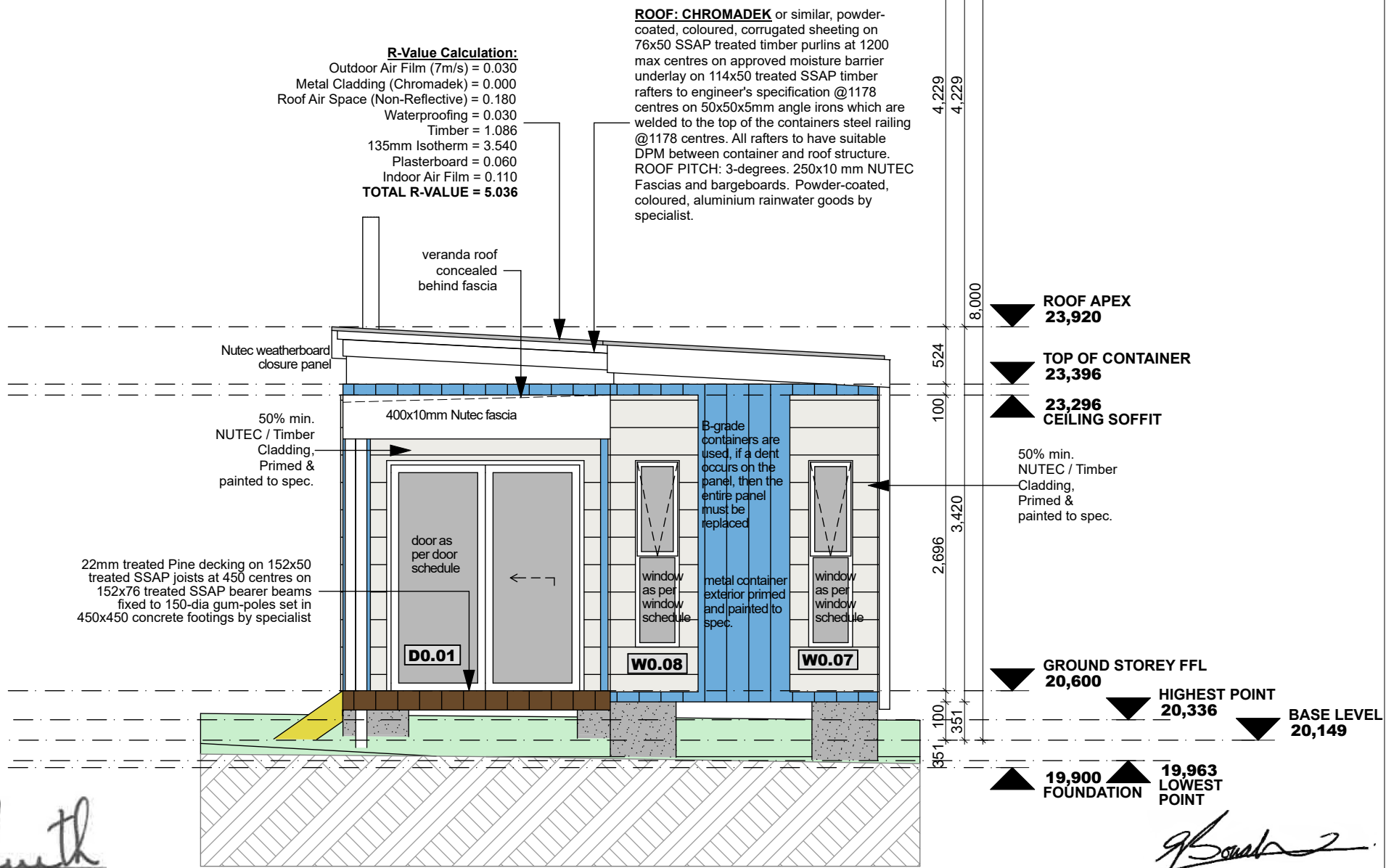
SECTION B-B Scale 1:50

Greg Smith *Elizabeth Smith*

Rev.	Description	Date



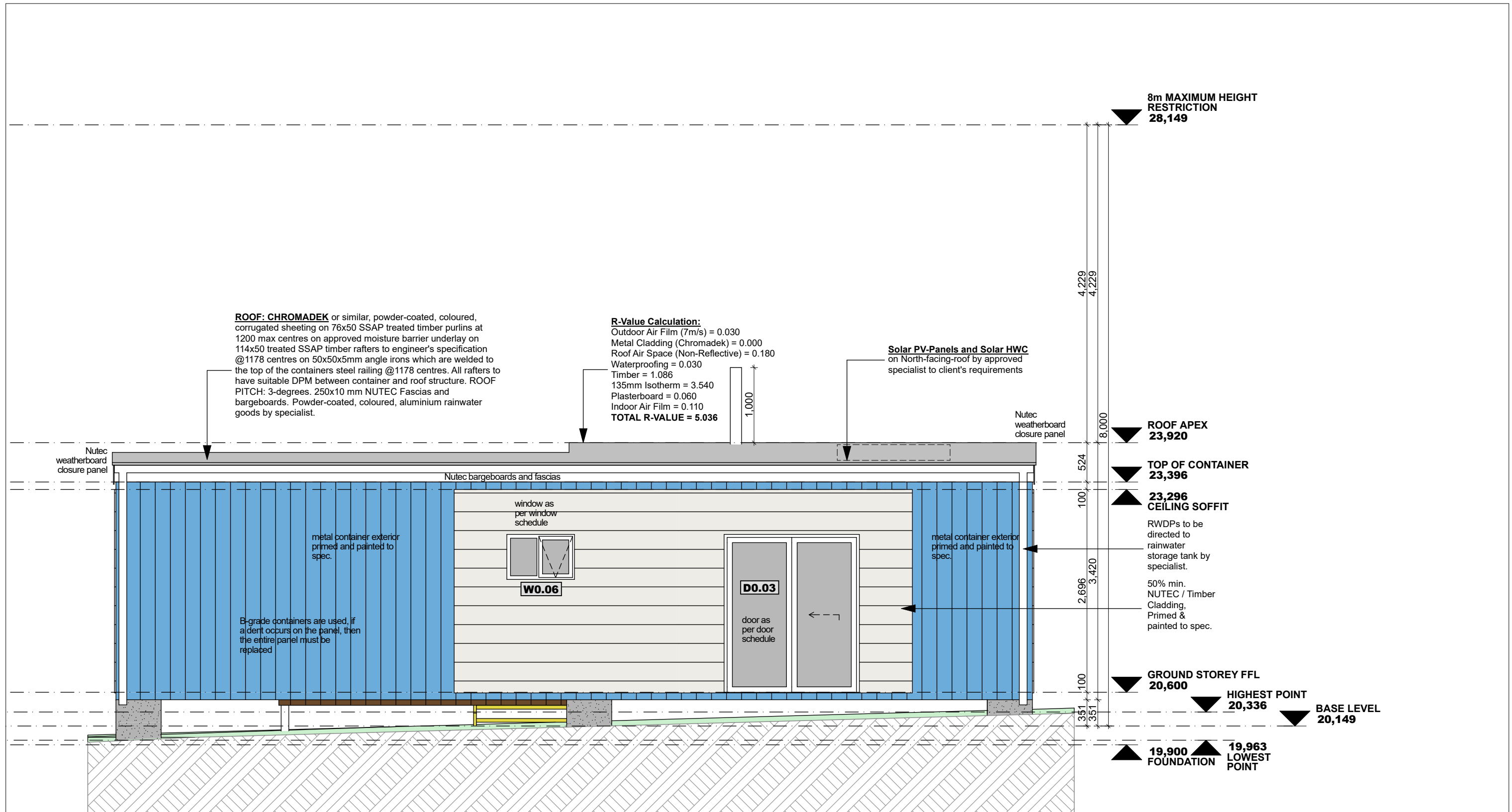
NORTH ELEVATION Scale 1:50



SOUTH ELEVATION Scale 1:50

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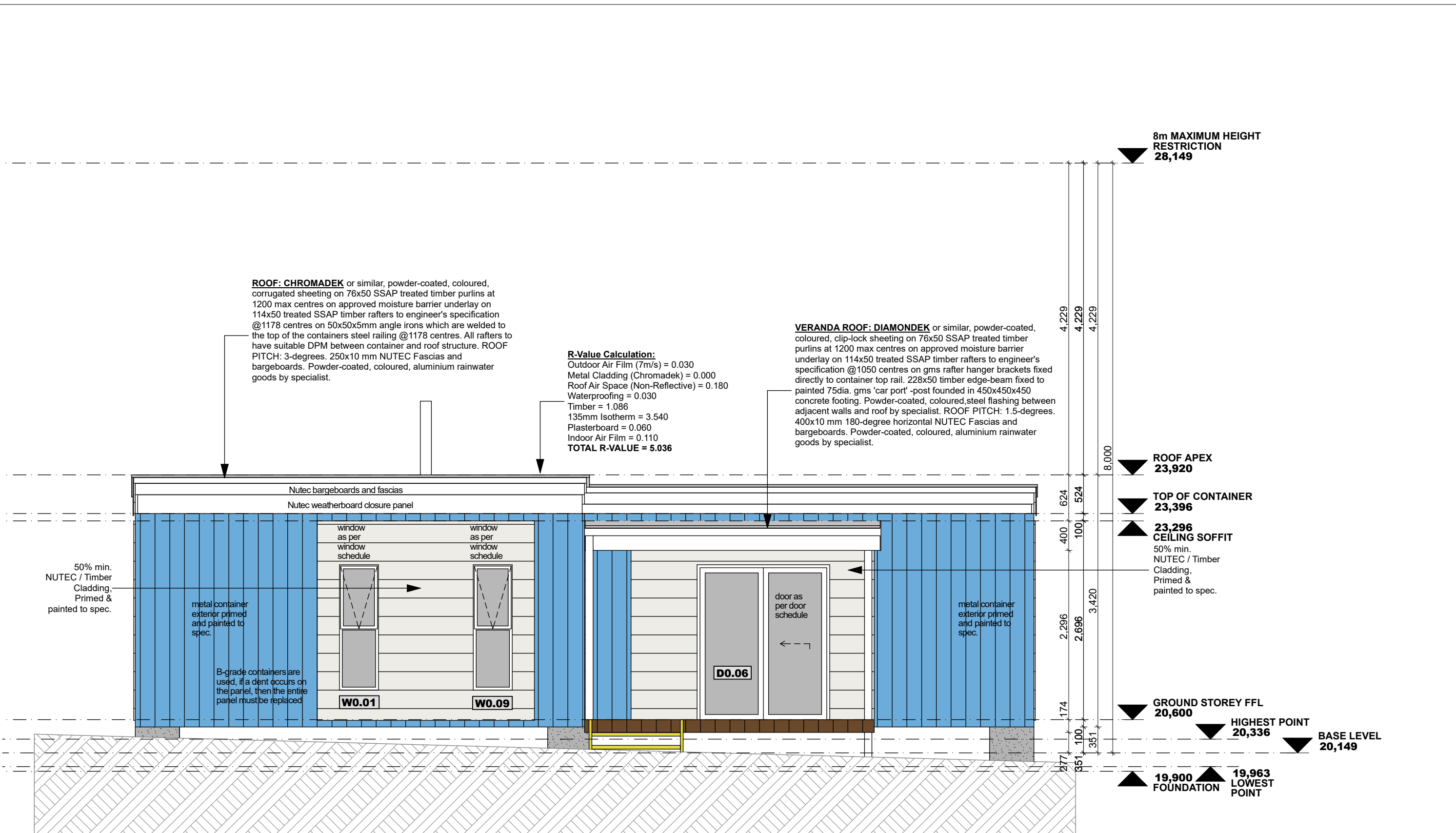


EAST ELEVATION Scale 1:50

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bouah design ARCHITECTURAL SERVICES 25, WEMBLEYWAY, EDGEMOOR, 7441 (083) 479 0145 SACAP Reg: ST1982 reg@bouahdesign.co.za	PRELIMINARY Erf 3749, Kleinmond PROPOSED NEW DWELLING EAST ELEVATION	Rev.	Description	Date	CLIENT(S): MS ELIZABETH SMITH
					DWG. SMI 000.6 SCALE 1:50 PG SIZE A3 DRAWN: GB CHECKED: GB DATE 7/5/2024



ROOF: CHROMADEK or similar, powder-coated, coloured, corrugated sheeting on 76x50 SSAP treated timber purlins at 1200 max centres on approved moisture barrier underlay on 114x50 treated SSAP timber rafters to engineer's specification @1178 centres on 50x50x5mm angle irons which are welded to the top of the containers steel railing @1178 centres. All rafters to have suitable DPM between container and roof structure. ROOF PITCH: 3-degrees. 250x10 mm NUTEC Fascias and bargeboards. Powder-coated, coloured, aluminium rainwater goods by specialist.

R-Value Calculation:
 Outdoor Air Film (7m/s) = 0.030
 Metal Cladding (Chromadek) = 0.000
 Roof Air Space (Non-Reflective) = 0.180
 Waterproofing = 0.030
 Timber = 1.086
 135mm Isotherm = 3.540
 Plasterboard = 0.060
 Indoor Air Film = 0.110
TOTAL R-VALUE = 5.036

VERANDA ROOF: DIAMONDEK or similar, powder-coated, coloured, clip-lock sheeting on 76x50 SSAP treated timber purlins at 1200 max centres on approved moisture barrier underlay on 114x50 treated SSAP timber rafters to engineer's specification @1050 centres on gms rafter hanger brackets fixed directly to container top rail. 228x50 timber edge-beam fixed to painted 75dia. gms 'car port' -post founded in 450x450x450 concrete footing. Powder-coated, coloured, steel flashing between adjacent walls and roof by specialist. ROOF PITCH: 1.5-degrees. 400x10 mm 180-degree horizontal NUTEC Fascias and bargeboards. Powder-coated, coloured, aluminium rainwater goods by specialist.

50% min. NUTEC / Timber Cladding, Primed & painted to spec.

metal container exterior primed and painted to spec.

B-grade containers are used, if a dent occurs on the panel, then the entire panel must be replaced

window as per window schedule

window as per window schedule

door as per door schedule

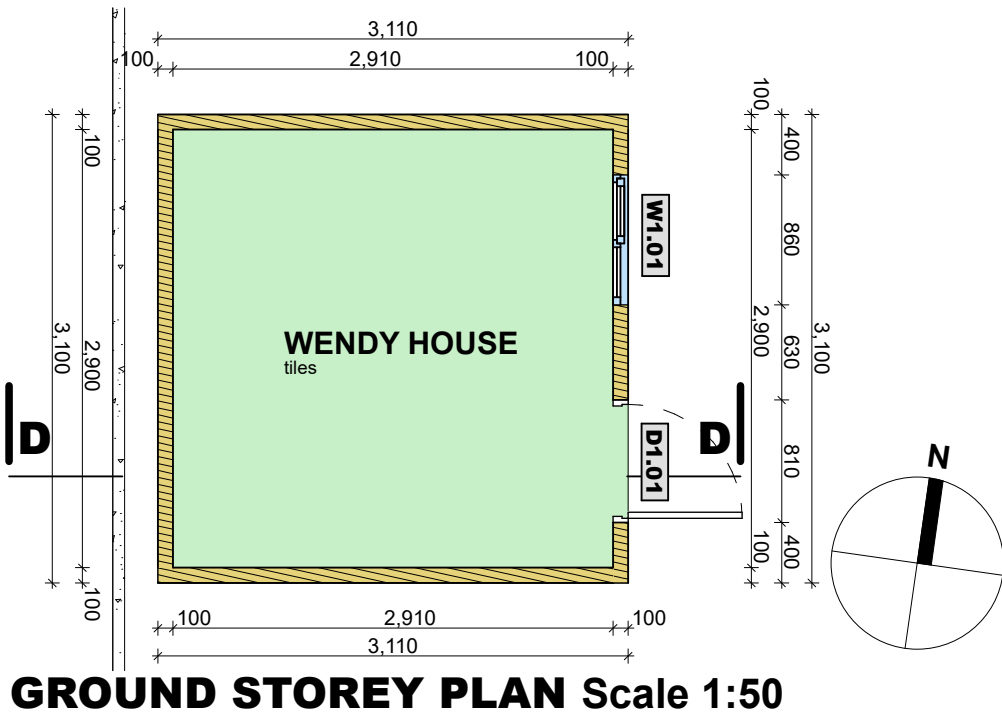
metal container exterior primed and painted to spec.

WEST ELEVATION Scale 1:50

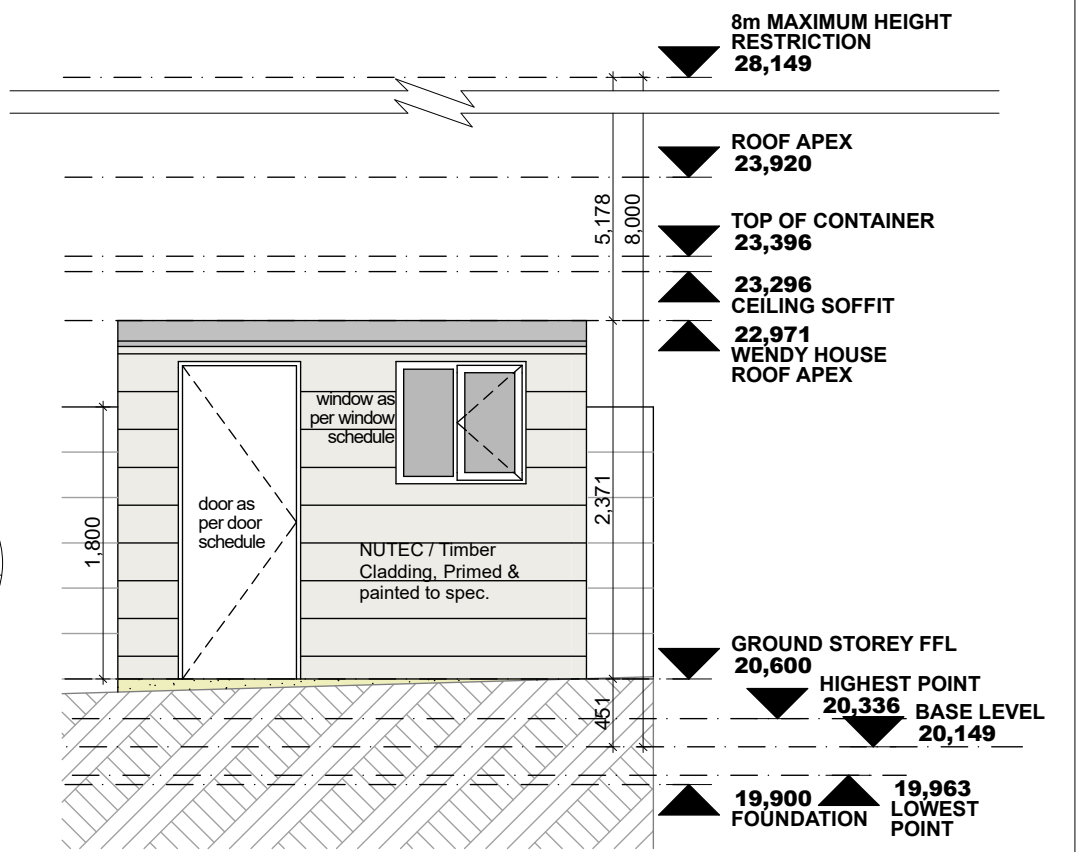
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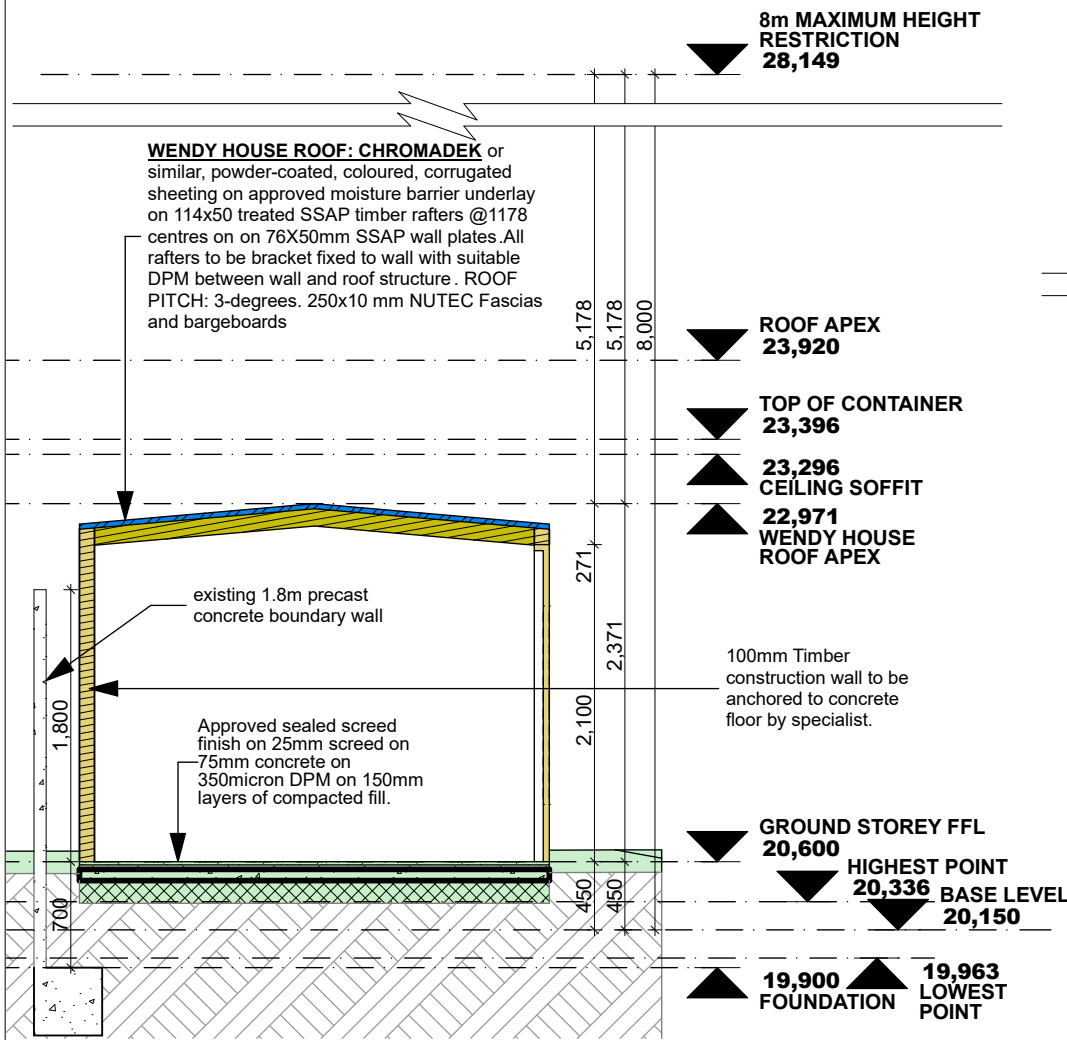
bouah design ARCHITECTURAL SERVICES 25, WEMBLEYWAY, EDGEMOOR, 7441 (083) 479 0145 SACAP Reg: ST1982 reg@bouahdesign.co.za	PRELIMINARY Erf 3749, Kleinmond PROPOSED NEW DWELLING WEST ELEVATION	Rev.	Description	Date	CLIENT(S): MS ELIZABETH SMITH
					DWG. SM1 000.7 SCALE 1:50 PG SIZE A3 DRAWN: GB CHECKED: GB DATE 7/5/2024



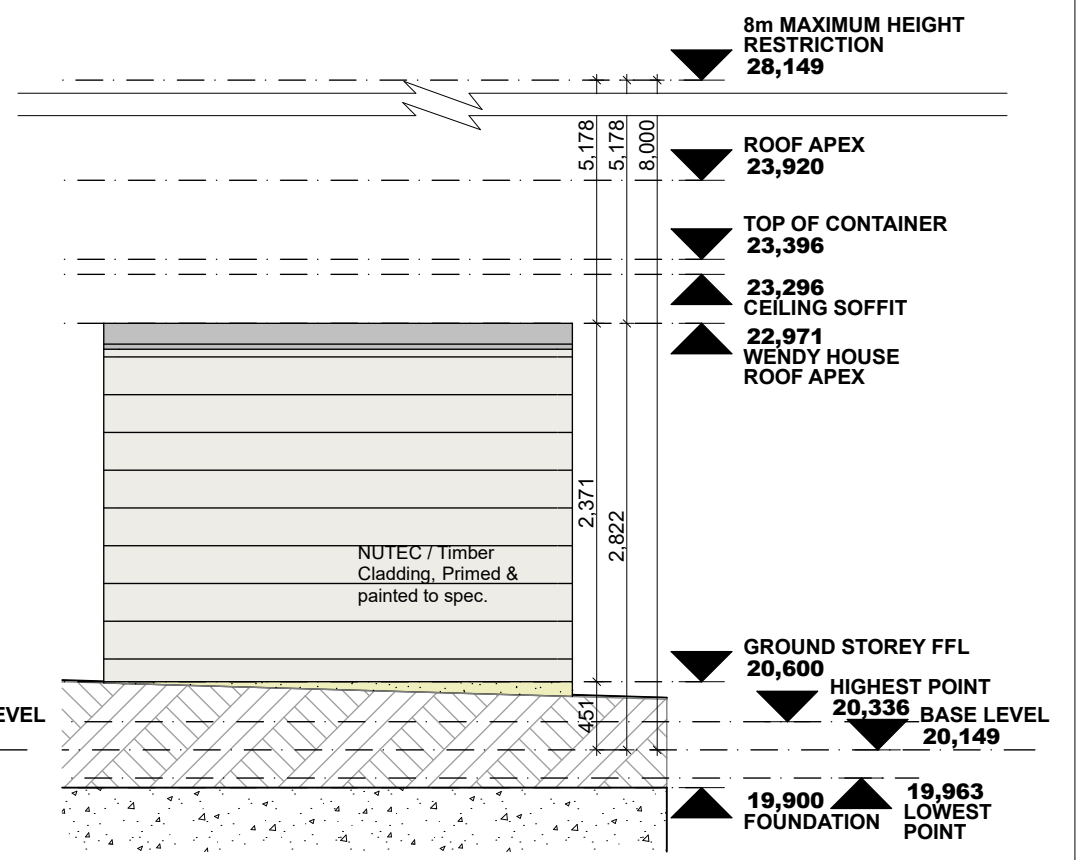
GROUND STOREY PLAN Scale 1:50



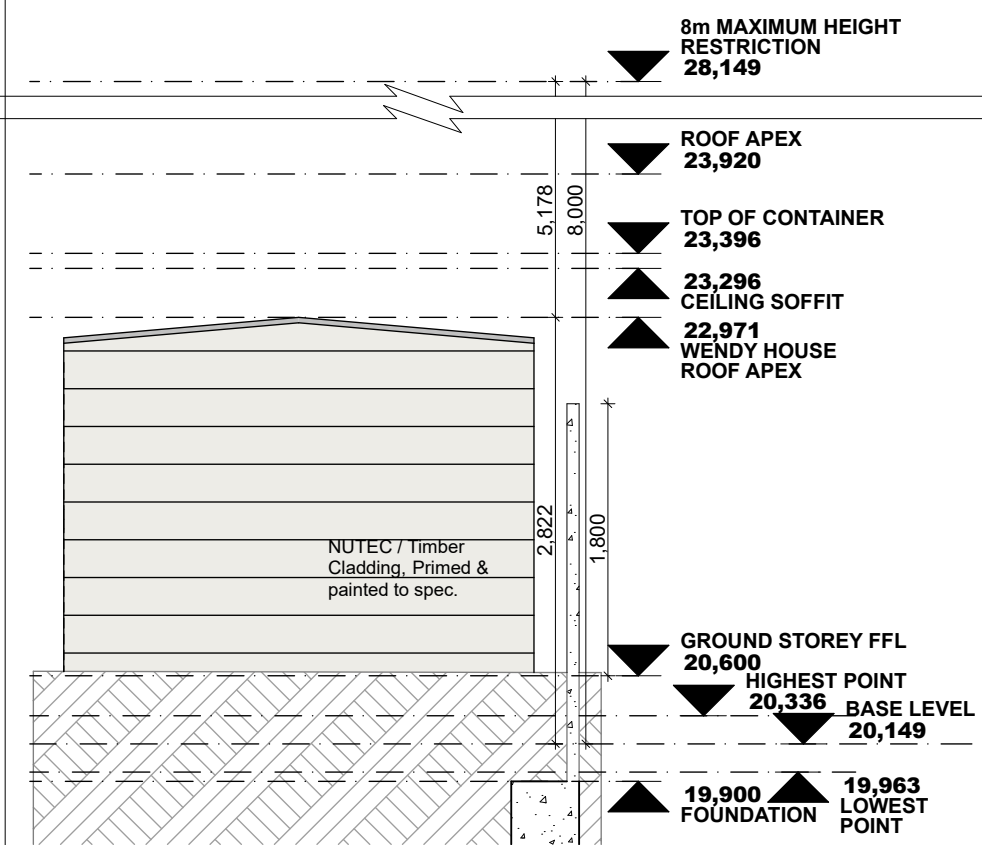
EAST ELEVATION Scale 1:50



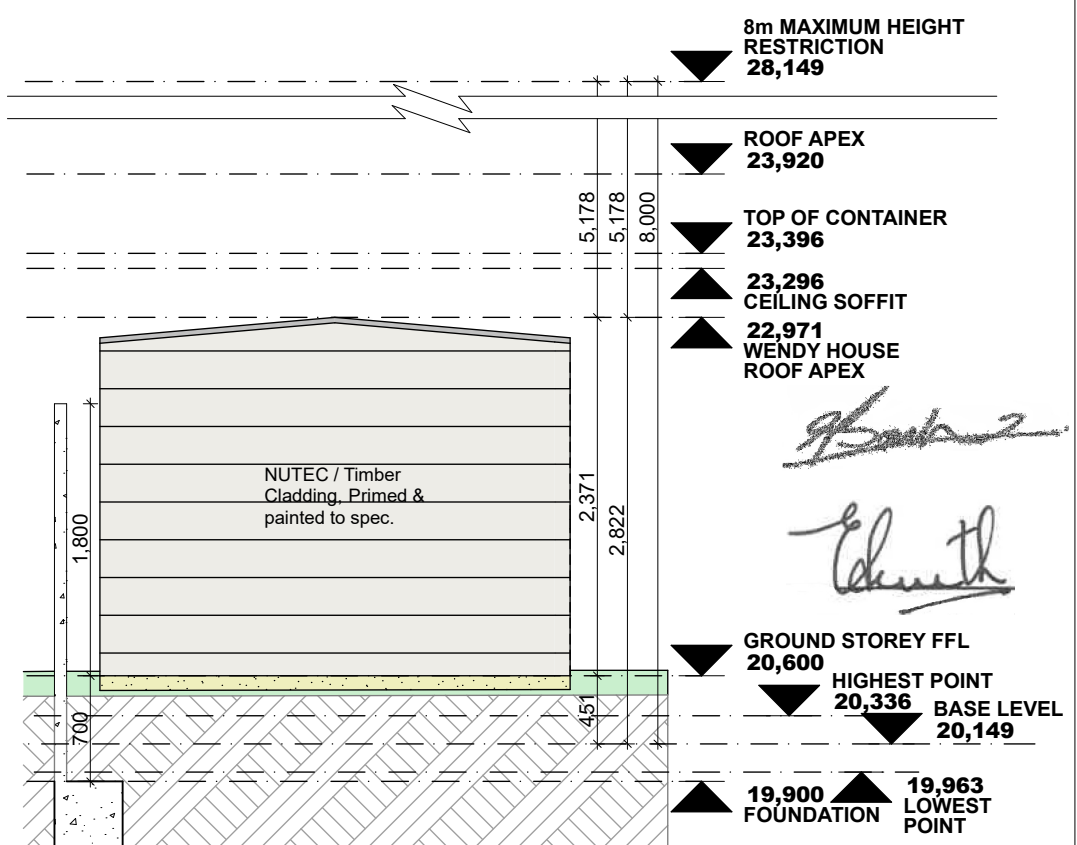
SECTION D-D Scale 1:50



WEST ELEVATION Scale 1:50



NORTH ELEVATION Scale 1:50



SOUTH ELEVATION Scale 1:50

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