



ERF 372, 31 PEAK ROAD, PRINGLE BAY: APPLICATION FOR DEPARTURE: MRP ARCHITECTURAL SOLUTIONS ON BEHALF OF DA MELROSE

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a departure in terms of Section 16(2)(b) to exceed the maximum height of a boundary wall from 2,1m to approximately 2,6m to accommodate a proposed gas store.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning at 16 Paterson Street, Hermanus, and at the Betty's Bay Library, Clarence Drive, Betty's Bay. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **19 April 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Ms. H van der Stoep** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 372, PEAKWEG 31, PRINGLEBAAI: AANSOEK OM AFWYKING: MRP ARCHITECTURAL SOLUTIONS NAMENS DA MELROSE

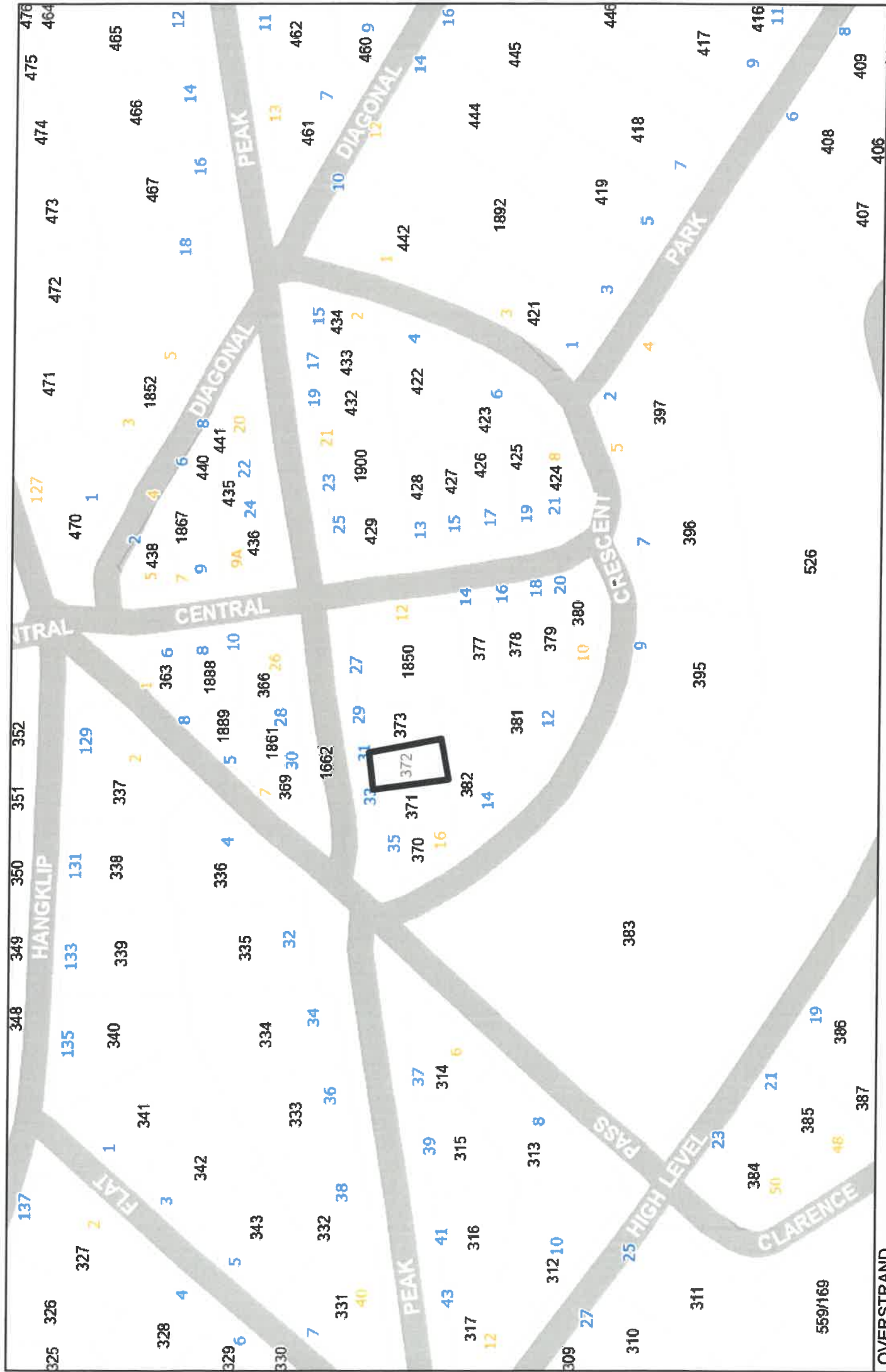
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om afwyking ontvang is ingevolge Artikel 16(2)(b) om die maksimum hoogte vir 'n grensmuur te oorskrei vanaf 2,1m na ongeveer 2,6m om 'n voorgestelde gasstoor te akommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weekdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en die Bettysbaai Biblioteek, Clarencerylaan, Bettysbaai. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op **19 April 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Me. H van der Stoep** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ERF 372, 31 PEAK ROAD, PRINGLE BAY: ISICELO SOPHAMBUKO: MRP ARCHITECTURAL SOLUTIONS EGAMENI LIKA-DA MELROSE

Isaziso sikhutshwe ngokweCandelo 48, loMthetho kaMasipala oLungiswayo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba, wowama-2020 sokokuba isicelo sifunyenwe sokuphambuka ngokweCandelo 16(2)(b) ukulungiselela ukugqitha kumphakamo wothango olungumda ukususela kwi-2,1m ukuya kumphakamo okumalunga nesi-2.6m ukulungiselela ukwakhiwa kwestora segesi esicetywayo.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: Town Planning, Paterson Street, Hermanus kunye neThala leeNcwadi laseBetty's Bay, Clarence Drive, eBetty's Bay Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kamasipala uchaziweyo zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngolu suku okanye ngaphambi komhla **wama-19 April 2024**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungafonela **Nksk. H van der Stoep** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



Locality Map
Erf 372 Pringle Bay



M. R. P.

Architectural Solutions

DESIGN – TOWN PLANNING – PROJECT MANAGEMENT

17 Steyn Street, Napier 7270; Cell 083 701 8750

megum@netactive.co.za

MOTIVATION; ERF 372 Pringle Bay.

Owner: Darryl Melrose
Address: Peak Road, Pringle Bay.
Applicant: Megum Reyneke
Address: 17 Steyn Street Napier 7270
Contact Details: 083 701 8750: megum@netactive.co.za.

ZONING:

Local Business zone 3

APPLICATION

Permanent Departure

To Allow the Proposed Gas Store to be erected on the street boundary with the boundary wall being 2.6m high.

To allow the 1.8m high vibracrete fence along the rear and the side boundaries

With clear view fencing along the balance of the front boundary

Background.

At the moment the company has its premises at 369 Pass Road, a small property with a building which was previously a residential property. This property has a limited work area and is extremely small, so when the larger property came available across the road, Mr. Melrose purchased the ground and is in the process of developing the ground.

Development Proposal

This property is 475sq.m, has no structures and is a flat piece of ground, ideal for the business. The layout is so designed that the delivery and collection of gas bottles is at the front of the property, so making it easily assessable.

The shop is also in the front which offers quick service and availability for clients.

The workshop has its entrance on the side away from the public, this is ideal as the loading or off loading of electrical or gas items can be done in the workshop without causing inconvenience to the clients.

The livable area upstairs to be used by the owners.

At the moment the property has no protection, so a vibracrete wall is to be erected along the sides and rear boundary. The front or street boundary will have the gas store on the one side and the clear view sliding gate and mesh work to complete the front boundary.

Socio Economic Impact

At the existing premises, the business cannot take any more staff due to space constraints, the new premises however is going to be able to facilitate more apprentices in both the gas, electrical and solar industry. At the moment there are already apprentices doing their training, but now the company will be able to take more students and be able to have the space for better teaching facilities. These students will be local.

With the larger premises, extra staff will also be employed. These folk will all be locally based so not having far to travel as well as supporting the Pringle Bay community. The focus of this business is commitment to Pringle Bay in service and support.

Compatibility with Surrounding Business.

This is an established business moving to larger premises. The area is the business hub of Pringle Bay and as Load Shedding is a major concern to everybody, having a gas supplier in the centre of town is a welcome necessity.

Impact on Engineering Services.

When Pringle Bay was laid out, services were provisionally made available by the Overstrand Municipality.

Now that the properties are being utilized, the impact is in keeping with what was originally set aside by Overstrand Municipality, therefore the impact is nominal.

Impact on Health Safety and Wellbeing.

The impact is minimal as all regulations are adhered to and every precaution is taken for the safety of all.

Impact on Heritage.

No impact on Heritage as this is a new development.

Impact on Traffic.

The impact on Traffic will increase because of the new business, but it is because the business has moved from Pass Road to Peak Road and the traffic in Pass Road will be less.

Impact on Proposed Land Use.

The existing property is just sand, no Fynbos, Trees, or animal habitat. The only impact is on the ground water which a water license has been applied for and this water will be diverted to the water channel adjacent to Peak Road.

Desirability.

This property is most desirable, being in the business area of Pringle Bay as well as being flat ground and that the owner can build what he requires for the future of the business.

Conclusion.

Having the gas store at the front of the property is the safest place, having the property enclosed with a wall is a required security issue.

This layout is to the advantage of all, and the approval will be the best for Pringle Bay, clients and staff.

M. Reyneke

Megum Reyneke.

PrSArchT.

30/01/2024

Copy of A3



SOUTH ELEVATION
SCALE 1/4"=1'-0"

EAST ELEVATION
SCALE 1/4"=1'-0"

WEST ELEVATION
SCALE 1/4"=1'-0"

NORTH ELEVATION
SCALE 1/4"=1'-0"

INSULATION CALCULATIONS, ENE 23.

ROOFED ROOF	ROOFED ROOF	ROOFED ROOF	ROOFED ROOF
FLOOR AREA	13,206 sq. ft.	FLOOR AREA	13,206 sq. ft.
WINDOW AREA (GLASS)	1,327 sq. ft.	WINDOW AREA (GLASS)	1,327 sq. ft.
RATIO WINDOW TO FLOOR AREA	10.0 %	RATIO WINDOW TO FLOOR AREA	10.0 %
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FENESTRATION DETAIL H4 B2
ERF 372 PRINGLE BAY

WALLS
MASONRY WALL HAS A U-VALUE OF 0.15
ROOF
CONCRETE SLAB ON - GROUND TO HAVE INSULATION INSTALLED
AROUND THE PERIMETER OF ITS PERIMETER WITH
AN R-VALUE OF NOT LESS THAN 1.0
CEILING
CONCRETE SLAB ON - GROUND TO HAVE INSULATION INSTALLED
AROUND THE PERIMETER OF ITS PERIMETER WITH
AN R-VALUE OF NOT LESS THAN 1.0
FLOOR
METAL SHEETING TYPE OF ROOFING SYSTEM
CONSTRUCTION SHALL ACHIEVE THE MINIMUM TOTAL R-VALUE OF 1.0
WITH THE INSULATION OF FLOORING SYSTEM WITH A U-VALUE OF 0.15
COLLOIDAL FLOOR COVERING SHALL ACHIEVE A U-VALUE OF 0.15
OF INSULATION (R-VALUE) 1.0 TO 1.5
HOT WATER SERVICES
SHALL BE AS FOLLOWS
ALL HOT WATER SERVICES AND TUBS TO BE INSULATED WITH MATERIAL
ACHIEVING A U-VALUE OF 0.15
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ACHIEVING A U-VALUE OF 0.15

4.3.3.2. The following types of masonry walling comply with the R-value requirements:
(a) double-skin masonry with no cavity, plastered internally, or rendered externally;
NOTE The cavity and grouted cavity walling system exceed the minimum R-value of 0.15
(b) single-skin masonry walls with a nominal wall thickness greater or equal to 140mm
(excluding plastering and rendering), plastered internally and rendered externally.

Zone 3 Local Business (B3)
Covered 75% of Land.

Future Extension Area 15
Height - Max Height 10m to top of structure 8.5m.
Max 2 stories
Setback 0.5m from Curved Line of 50m.
Street Width 25.15m Setback 11/19

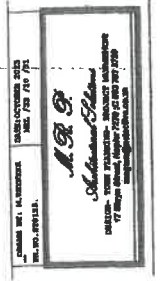


ALL PROVISIONS TO BE
CONSIDERED ON SITE
RESPONSE COMMUNICATIONS WIRE.

PROPOSED NEW PROPOSED
FIRE
MR. A. HILL
R. & G. ELECTRICAL
ERF 372
PRINGLE BAY

COVERAGE CALCULATION	474.00 SQ. M.	474.00 SQ. M.	474.00 SQ. M.
SITE AREA	474.00	474.00	474.00
BUILDING	14.00	14.00	14.00
GAS STORAGE	14.00	14.00	14.00
TOTAL	162.00	162.00	162.00
% COVERAGE	34.38 %		

Amended Plan
1/2/02/2024



15 FEB 2024