



ERF 3414, 48 BOB LAUBSER STREET, KLEINMOND: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: J DOUGLAS ON BEHALF OF R & S GEORGE

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for the following:

- **departure** in terms of Section 16(2)(b) to relax the eastern lateral building line from 2m to 1,5m to accommodate the existing guest bathroom.
- **departure** in terms of Section 16(2)(b) to relax the western street building line from 4m to 3,15m to accommodate the existing deck on first floor level.
- **determination of an administrative penalty** in terms of Section 16(2)(q) for unauthorised land use as mentioned above.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town & Spatial Planning, Hermanus and at the Kleinmond Library, Fifth Avenue, Kleinmond. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / loretta@overstrand.gov.za) on or before **1 August 2025**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Ms. H van der Stoep** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town & Spatial Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 3414, BOB LAUBSERSTRAAT 48, KLEINMOND: AANSOEK OM AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: J DOUGLAS NAMENS R & S GEORGE

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek soos volg ontvang is:

- **Afwyking** ingevolge Artikel 16(2)(b) om die oostelike syboullyn vanaf 2m na 1,5m te verslap om die bestaande gaste badkamer te akkommodeer.
- **Afwyking** ingevolge Artikel 16(2)(b) om die westelike straatboullyn vanaf 4m na 3,15m te verslap om die bestaande dek op eerste vloervlak te akkommodeer.
- **Bepaling van 'n administratiewe boete** ingevolge Artikel 16(2)(q) vir ongemagtigde grondgebruik soos hierbo genoem.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning, Hermanus en by die Kleinmond Biblioteek, Vyfdelaan, Kleinmond. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / loretta@overstrand.gov.za) voor of op **1 Augustus 2025**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Me. H van der Stoep** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 3414,48 BOB LAUBSER STREET, KLEINMOND: ISICELO SOPHAMBUKO KUNYE NOKUMISELWA KWESOHLWAYO SOLAWULO: J DOUGLAS EGAMENI LIKA R & S GEORGE

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokuba isicelo sifunyenwe ngoku kulandelayo:

- **Uphambuko** ngokwecandelo 16(2)(b) ukunyeniswa komda wesakhiwo esibucala ukusuka 2mitha ukuya 1,5mitha ukulungiselela igumbi langasese lendwendwe elikhoyo.
- **Uphambuko** ngokweCandelo16(2)(b) ukunyeniswa umda wesakhiwo kwisitalato esiseNtshona ukusuka ku 4mitha ukuya 3,15 mitha ukulungiselela umgangatho okhoyo okumgangatho wokuqala.
- **Ukumisewa kwesohlwayo solawulo** ngokweCandelo le 16(2)(q) ukusetyenziswa komhlaba ngokungagunyaziswanga ngenjoko kukhankanyiwe ngasentla.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxsha okusebenza phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: UCwangciso lweDolophu, eHermanus kunye neThala leeNcwadi laseKleinmond, 5th Avenue, eKleinmond. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla wama-1 **eyeThupha 2025**, uchaze igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMwangcisi weDolophu, **UNksk. H van der Stoep** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.



ERF 3414 KLEINMOND

MOTIVATIONAL REPORT: APPLICATION FOR DEPARTURE AND ADMINISTRATIVE
PENALTY FEE



ABSTRACT

Application for departure in order to accommodate the existing garage, and bathroom.

Application By:
Jeane Douglas

Compiled for: R&S
George

19 May 2025

Revision 3

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1. Background

The subject property Erf 3414 is situated in the residential neighbourhood of Kleinmond and is located on the corner of Bob Laubser and GJH Steenkamp Street with an extent of 595m². According to the zoning map & Overstrand Municipal Land Use Scheme, 2020 the property is zoned as Residential Zone I: Single Residential (SRI). The property currently consists of a three (3) bedroom dwelling house and a garage with access gained from GJH Steenkamp Street.

The property owners bought the property in 2023 and decided to extend the existing garage and add a bathroom on the rear side of the property. The property owners submitted an application in 2023 for the extension of the garage which at the time was proposed to be extended up until the street boundary of the property. The owners submitted an application and received feedback from the town planning department, requesting that the owners apply for a removal of title deed restrictions whereafter the owners submitted an application for the removal of title deed restrictions. It was advised that the property owners appoint a town planner to submit an application on their behalf as the application was not compliant with the requirements of the Overstrand Municipality.

The property owners started building while awaiting the decision letter from town planning in 2023 where after they were advised to stop all ongoing building as it was illegal and received a letter of non-compliance from the building control department. After a consultation with the town planning department, it was noted that the proposal would not be approved due to the fact that the garage was erected on the street boundary which is not allowed according to the Overstrand Municipality Land Use Scheme, 2020 and therefore had to be demolished. It must be noted that when the property owners bought the property the property had an open deck encroaching the street building line (scheme and title deed).

Proposed demolition:

- Demolish the roof structure along Bob Laubser Street.
- Demolish a portion of the open deck from the title deed street building line to the land use scheme street building line along GJH Steenkamp Street; and
- Demolish a portion of the new covered courtyard
- Demolish the illegal garage to its original position.

Proposal:

- Enlarge existing garage.
- New covered courtyard between the house and the garage.
- Construct a new guest bathroom over the 2m eastern lateral scheme building line; and
- Accommodate the open deck over the scheme street building line along GJH Steenkamp Street.

Jeané Douglas is hereby duly appointed by the property owner (Rodney & Samatha George) to submit a land use planning application for the proposed development.

See Appendix-B for the Power of Attorney & Appendix- C for the Site Development Plan.

4. Land Use Environment

The property is situated in the residential neighbourhood of Kleinmond where the predominant use of the area is for residential purposes. The zoning of the subject erf and the surrounding properties are zoned Residential Zone 1: Single Residential Zone (SR1). The zoning in the area is shown below as Figure 2 and Appendix D.

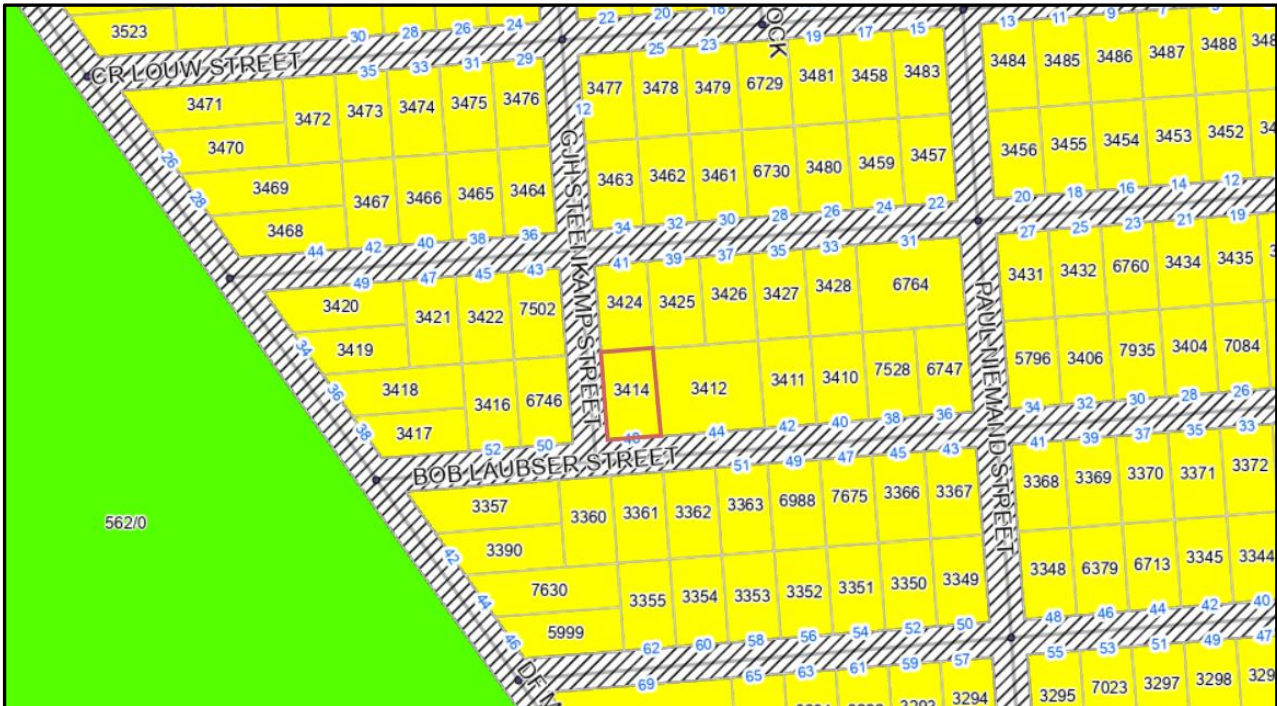


Figure 2: Surrounding Zoning

5. Land Use Scheme Parameters

The property is zoned Residential Zone 1: Single Residential Zone (SR1) in terms of the Overstrand Municipality Land Use Scheme, 2020. The table below indicates the applicable parameters in terms of the zoning and the proposed departure.

	Scheme Parameters	Proposed Development	Departure Required
Coverage	50%	49.86%	No
Street Scheme BL	4m	Open deck encroaches the street scheme building line from 4m to 3.15m	Yes
Street TD BL	3.15m	Not applicable	No
Northern lateral Scheme BL	2m	9m development restriction for the extension of the garage	Yes
Eastern Lateral Scheme BL	2m	New guest bathroom encroaches the rear scheme building line from 2m to 1.5m.	Yes
Southern Street Scheme BL	2m	Not applicable	No
Southern Street TD BL	3.15m	Not applicable	No

9m Development Restriction	9m	The garage exceeds the 9m development parameter which will have a total length of 11.70m	Yes
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With reference to the above table and the attached building plans, the land use scheme has a 9m development restriction applicable to garages over the lateral and rear building lines. The proposed garage exceeds the 9m development restriction with a length of 11.70m, therefore triggering a departure application.

The open deck was constructed around 2022 according to google earth pro and shown on the plan that the previous owners built over the title deed street building line without approval. A portion of the open deck along GJH Steenkamp Street will be demolished since it encroaches the title deed street building line. The deck will be demolished up until the title deed street building line but will be encroaching the scheme building line from 4m to 3.15m. Therefore, triggering an application for departure.

The guest bathroom encroaches the rear scheme building line from 2m to 1.5m which requires a departure application. The guest bathroom makes it convenient for guests and the property owners and is of a normal residential nature.

6. Title Deed

In terms of the Title Deed No T/ 29295/2023, Erf 3414 Kleinmond is registered in the name of Rodney and Samantha George with title deed conditions restricting the proposed development. The Title Deed is attached hereto as Appendix E.

The proposal is restricted by the following section C (8) contained in the title deed No T/29295/2023:

“All buildings to be erected on the land herein sold, shall stand back at least 3.15 metres from the line of the street or avenue on which the Lot or Lots herein mentioned may front.”

The property is subject to a title deed street building line which restricts the existing open deck from being erected over the title deed street building line. The open deck was erected before the new property owners bought the property and was unaware that the open deck was encroaching the title deed street building line. When consulting with the municipality it was advised to demolish the portion of the deck that was encroaching the title deed street building line which is shown on plan and the deck will only encroach the street scheme building line from 4m to 3.15 which is up until the title deed street building line.

Therefore, no removal or relaxation of title deed restriction are applicable.

7. Engineering Services

The subject property is connected to the existing Overstrand Municipality services network which includes electricity, water, sewage, and solid waste. No problems are anticipated.

8. Policies and Regulations

Overstrand Municipal Spatial Development Framework, 2020 (MSDF)

The Municipal Spatial Development Framework is a sectoral component of the IDP that, in terms of the MSA, is aimed at providing general direction to guide decision making on an ongoing basis, aiming at the creation of integrated, sustainable and habitable regions, cities, towns and residential areas.

The proposed application is located within the urban edge and is indicated as part of the “urban development area”. The proposal consists of normal residential additions and will therefore not deviate from the forward planning document.

Overstrand Municipality Spatial Growth Management Strategy, 2010 (OMSGMS)

The Growth Management Strategy promotes the longer-term sustainability of the municipal area and its sub-regions. The property falls within the planning unit 21 which promotes residential densification.

The proposal to extend the new garage and add a guest bathroom should be considered in line with the residential nature of the area since the property is already situated within the existing established residential neighbourhood. The proposal should therefore be deemed in line with this forward planning document.

9. Planning Principles

Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA)

Section 7 of the "Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)" list 5 development principles based on which any development application must be evaluated.

The principles referred to are as follows:

1. Spatial Justice

Spatial Justice refers to planning proposals which do not contribute towards the perpetuation of apartheid spatial development imbalances. The proposed extension of the garage and the addition of a guest bathroom will not trigger the principle due to the normal residential nature of the garage and bathroom. The principle will therefore not perpetuate spatial justice.

2. Spatial Sustainability

Spatial sustainability refers to planning proposals which result in communities that are viable. The subject property is not located within any environmentally sensitive area or agricultural sensitive land. The principle of spatial sustainability is therefore not applicable to the proposed additions.

3. Spatial resilience

The proposed addition of the garage and bathroom is a normal addition to a residential property and is therefore not in conflict with any planning policies or be susceptible to spatial or environmental shocks. The principle of spatial resilience is therefore not applicable to the proposal

4. Efficiency

This proposal intends to maximize the usage of the subject property by extending the garage and adding a guest bathroom which is a normal structure on residential properties. The principle of efficiency is therefore not applicable to the proposal.

5. Good administration

The Overstrand Municipality has a credible track record of good administration regarding the method of public participation which invites and accepts comments from the public to make an informed decision as well as complying with the prescribed time frames pertaining to the processing of applications.

10. Administrative Penalty

In term of Section 90 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020 the following is applicable: “ A person who is in contravention of this By-Law, and submits an application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of land or building or part thereof concerned.”

The administrative penalty applicable to the property is evaluated in terms of section 90 (3) (a-e), as follows:

(a) The nature, duration, gravity, and extend of the contravention.

The existing extension of the garage with an extent of 26.96m² that is longer than the 9m restriction on one specific boundary and addition of the bathroom with an extent of 2.85m² encroaching the eastern side building line from 2m to 1.5m was erected in 2023 whereas the open deck with an extent of 13m² and encroaching the street building from 4m to 3.15m could have been erected around 2022 as indicated on google earth pro. The property owners were not aware that the open deck was not approved when the owners bought the property in 2023.

(b) the conduct of the person (allegedly) involved in the contravention.

Once the property owners submitted a land use application for the extension of the garage as well as the addition of a bathroom it was requested that the property owners had to apply for a title deed removal of restrictive conditions where the property owners already started building while waiting for the approval of the previous proposal, unfortunately it was noted that the removal would be a high risk application due to it not being in line with the applicable development restrictions as well as not being in line with the character of the developed structures in the area. The owners therefore decided to demolish the garage and revert it to its original form and apply for the development restrictions applicable thereto (as motivated previously). After a consultation with the town planner and building inspector, it was revealed that the open deck was illegally erected by the previous property owners and a portion of the deck will have to be demolished. This also triggered a determination of administrative penalty application as the extension of the existing garage, addition of a bathroom and the open deck triggered a departure application.

(c) a report by a quantity surveyor in matter of unauthorised building/construction.

No report by a quantity surveyor is submitted and the property owner has opted to utilize the municipal tariff of 2024/2025 in order to calculate the administrative penalty.

(d) whether the unlaw conduct was stopped.

The building of the garage and bathroom were stopped once they received the non-compliance letter. The property owner took ownership of the property in 2023, and the erection of the open deck was done by the previous property owners.

(e) Whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law.

The property owner took ownership of the property in 2023 with the erection of the open deck. The property owner has not previously contravened this By- Law or any other By-Law.

With reference to the above, the property owners seek to demolish the illegal structures and propose a revised layout as motivated for previously in the land use section of this report. The owners therefore seek to waive the illegal structures since these structures are proposed to be demolished.

11. Need and Desirability

The proposal needs to be evaluated on the basis that the current situation is not utilizing the available space efficiently. The property owners required more parking space for the safety of their vehicles as they have more than two vehicles. This will also protect the vehicles from the unpleasant Kleinmond weather. In addition, the property owners have also built a bathroom that is situated on the rear side of the property which will be a guest bathroom for when guests visit.

In terms of the scheme, there is a 9m development restriction along the lateral building line which is applicable to the subject property along the northern portion of the property (extension of the garage). The new existing garage is proposed over the 2m lateral building line which is positioned closer to the street. The reason for positioning the garage over the lateral building line as well as encroaching the 9m development restriction is due to it being the only suitable position for the garage.

The existing open deck encroaches the western street building line up to 3.15m from the erf boundary line. As discussed in the previous section the structure was erected by the previous owner where the open deck was encroaching the title deed street building line, and the current owners wish to retain the structure and demolish a portion that is encroaching the title deed building line.

It must be noted that the proposal allows the property owner to enhance their quality of life by ensuring privacy and safety by extending the new garage for the safety of multiple vehicles and by adding a bathroom for the convenience of guests.

With the above-mentioned stated, this proposal is in harmony with all relevant planning principles and forward planning documents and is therefore considered desirable from a town planning point of view.

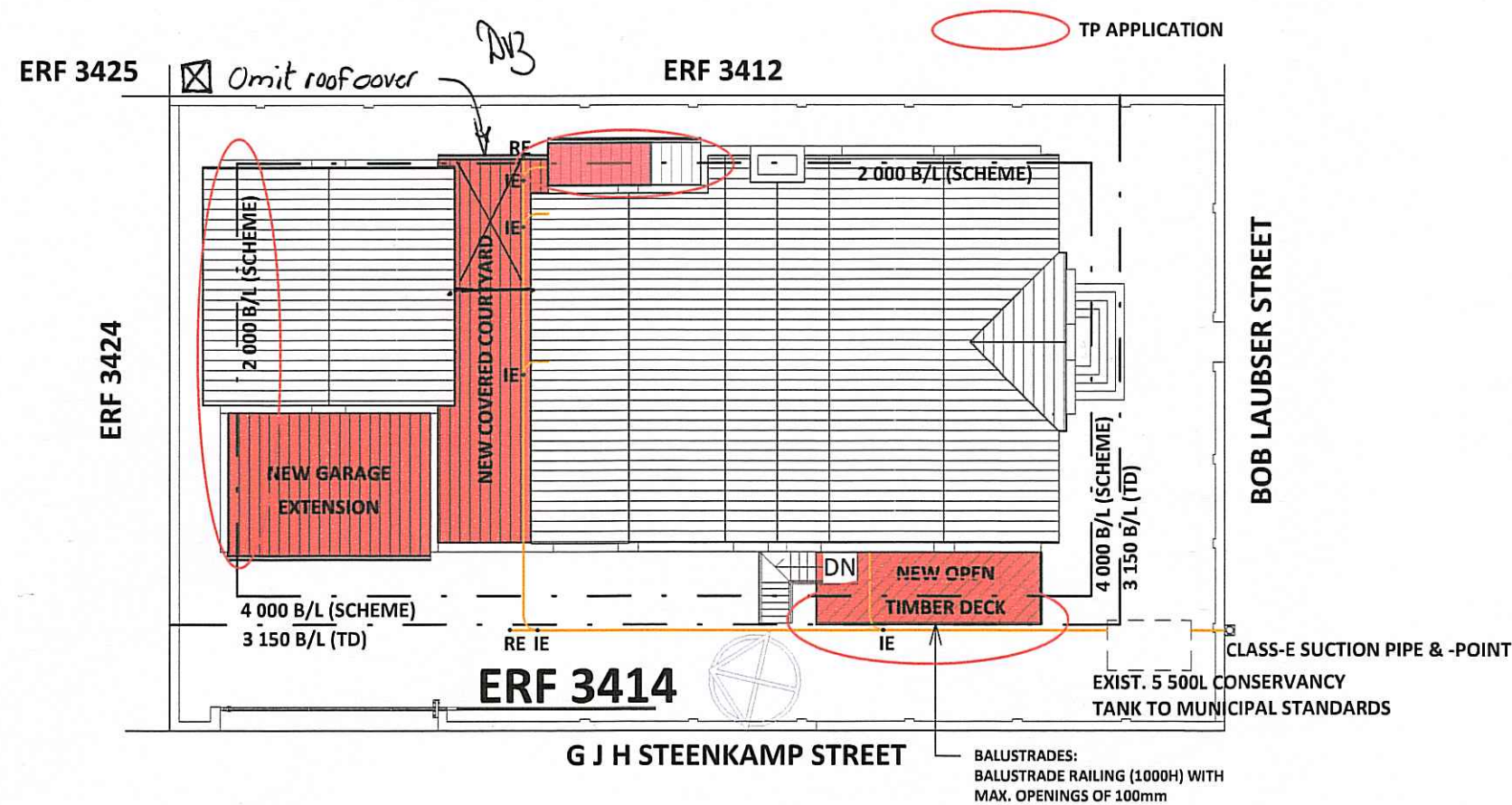
12. Recommendations

Based on the abovementioned motivation, it is recommended that the following be approved:

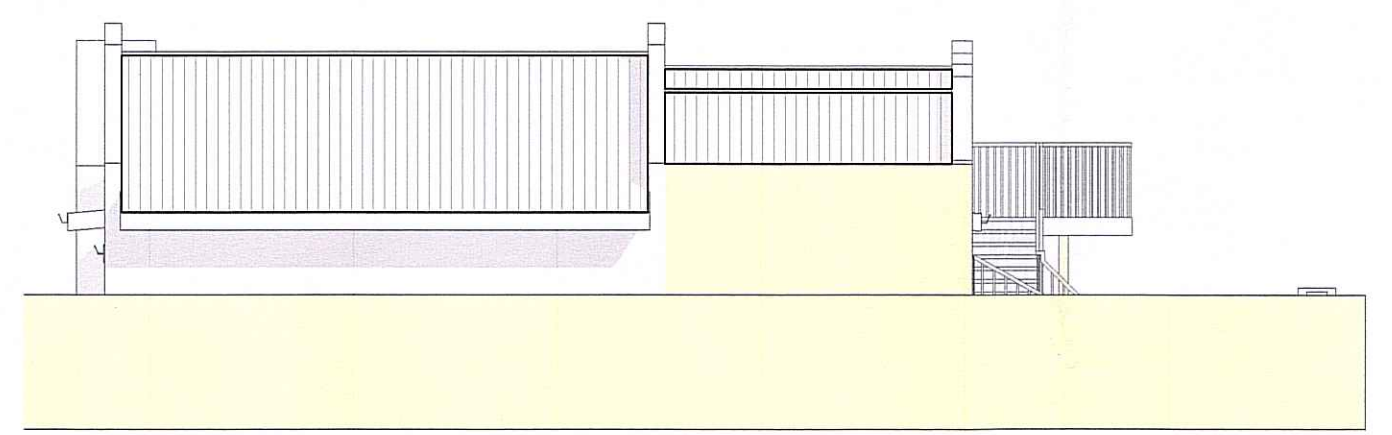
The following is proposed:

Application is hereby submitted in terms Section 16 (2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for departure for the following:

- Relaxation of the eastern rear building line from 2m to 1.5m, in order to accommodate the existing guest bathroom.
- Relaxation of the western street building line from 4m to 3.15m, in order to accommodate the existing open deck.
- Relaxation of the 9m development parameters in order to accommodate the existing garage and the new garage in terms of section 16.1.1 (c) (iii) of the Overstrand Municipality Land Use Scheme 2020



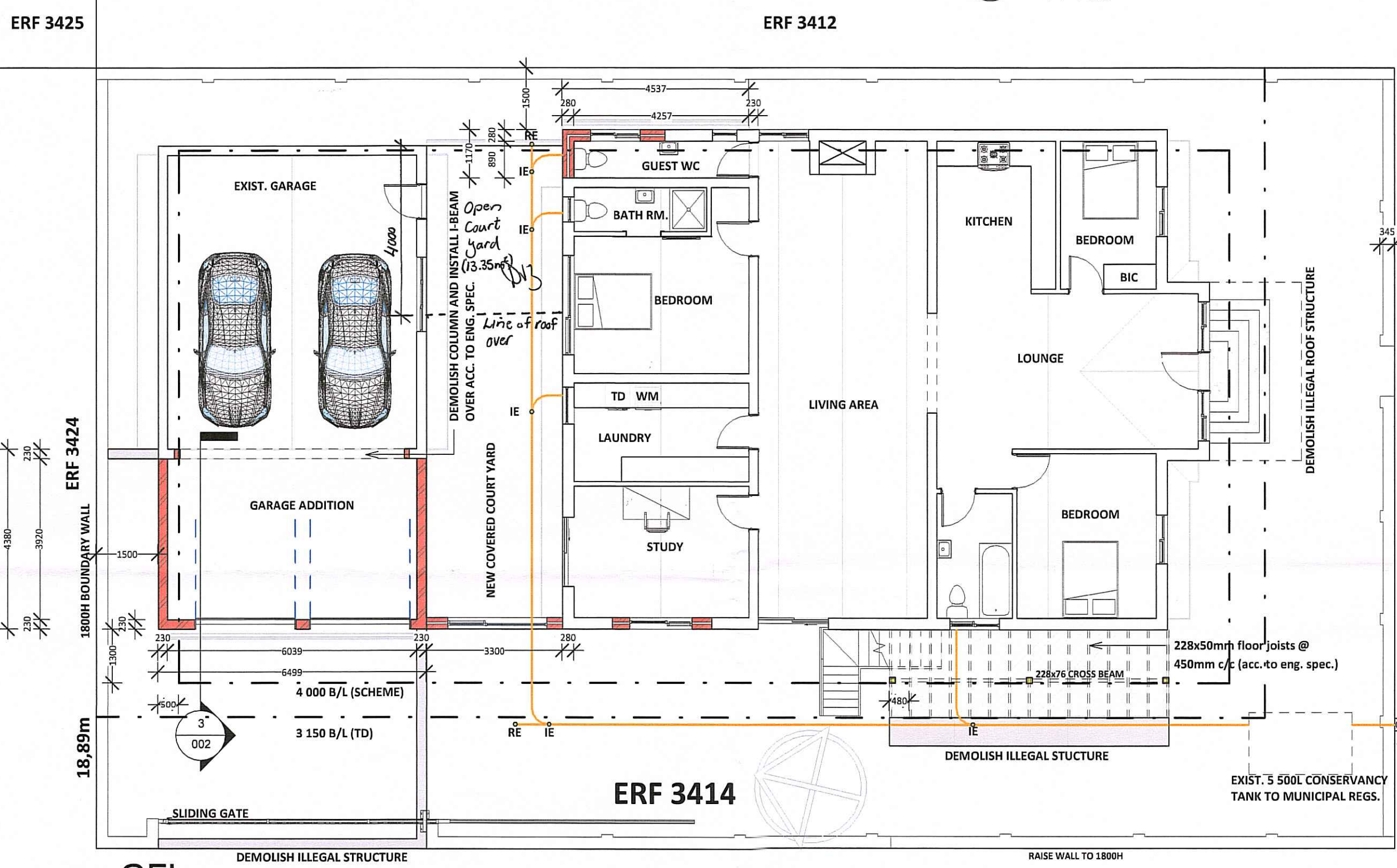
1 site & roof PLAN LAYOUT
1 : 200



4 NORTH ELEVATION
1 : 100



3 SOUTH ELEVATION
1 : 100



2 GFL
1 : 100

TOTAL SITE AREA	595m ²
EXIST. DWELLING	179.12m ²
DWELLING	49.10m ²
GARAGE	228.22m ²
ADDITIONS	
GUEST TOILET	2.85m ²
GARAGE	26.96m ²
COURT YARD	30.63m ² 25,28m ²
BALCONY	13.35m ²
	68.44m ²
TOTAL AREA	296.66m²
COVERAGE	49.86%



5 FFL
1 : 100

- GENERAL NOTES**
- GENERAL**
 - All levels, dimensions, number of steps, etc. to be checked on site before building work commences.
 - All building work according to N.B.R. Use given dimensions rather than scaling from plan.
 - All building material approved S.A.B.S. or similar.
 - D.P.C. to be built-in under all walls and flooring.
 - Minimum 3% cross ventilation in habitable rooms. Ventilation bricks optional.
 - The builder should contact the architect immediately regarding any discrepancy.
 - The builder should familiarise himself properly of all detail on the plan as well as on any engineering drawings.
 - All materials to be installed according to manufacturer's specs.
 - All fire proof internal doors to comply with SABS 1253 (Code E).
 - All glazing acc to AAAMSA guidelines, SANS 10400 Part N, SANS10440 (safety glass) & SANS1263.
 - All hot water installations to comply with SANS 1307 (Domestic solar water heaters), SANS 10106 (Installation, maintenance, repair & replacement of domestic solar water heating systems), SANS 10254 (Installation, maintenance repair & replacement of fixed electric storage water heating systems) & SANS 10252 (Water supply and drainage for buildings).
 - STRUCTURAL WORK**
 - All structural floors, beams and foundations to engineer's details.
 - FOUNDATIONS**
 - Strip foundations (800x250mm) with Ref 345 steel mesh under external cavity walls acc. to engineer.
 - All 115 & 230mm internal load bearing wall slabs thickened to 250mm.
 - Mixture of 1:3:6 min 25MPa compressive strength after 28 days.
 - Steel reinforcement acc. to engineer's specifications.
 - Retaining walls & footings to engineer's detail & drawings.
 - FLOOR**
 - Slab to be 100mm minimum with 50mm screed, cast on 250 DPC, spread over well compacted filling.
 - Mixture of 1:4:5, minimum 15MPa compressive strength after 28 days.
 - Steel reinforcement mesh in floor slab where unstable soil conditions occur (acc. to Engineer).
 - WALLS**
 - All exterior walls to be 280mm cavity with clay brick.
 - External walls to be bag plastered & painted as per owner's specification.
 - Clay bricks as per owner's specification (unless otherwise specified).
 - Conduits to be provided in walls where TV & telephone points are required.
 - Brick force minimum 2/m².
 - ROOF CONSTRUCTION [MAIN PITCHED ROOF]**
 - Timber trusses by registered truss company @ 30° gradient & ±900mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company or by rational design acc. to engineer.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sisalation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.
 - ROOF CONSTRUCTION [MONO PITCHED ROOFS WHERE APPLICABLE]**
 - Timber rafters (228x76mm) by registered truss company @ 5° gradient & ±900mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sisalation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.

die ontwerp-ateljee

SACAP Reg. No. PAD2120

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PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

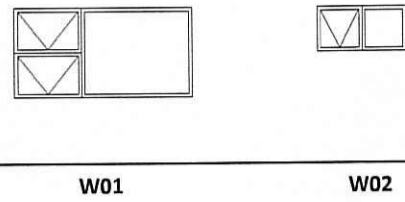
DANIËL JACOBUS VAN ZYL

15:58 PM (Africa/Johannesburg) on 10 Aug 2022

CLIENT			
GEORGE			
PROJECT			
ERF 3414 48 BOB LAUBSER STREET KLEINMOND			
SHEET NAME			
SITE & GFL PLANS			
DRAWING NO	SHEET NO		
240802	001		
SCALE	DATE	DRAWN BY	CHECKED
As indicated	2024-11-19	JCK	DJVZ
COPYRIGHT RESERVED			

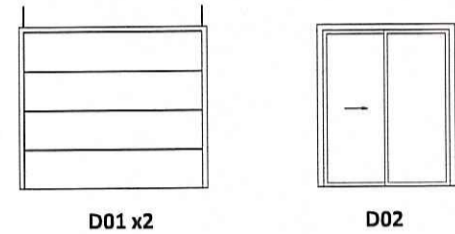
SANS 10400-XA:2021 - FENESTRATION CALC.	
INTERNAL FLOOR AREA	166.70m ²
TOTAL GLAZING AREA	27.21m ²
FENESTRATION TO NETT FLOOR AREA	16.32%

GLAZING SPECS:
Cu = ANY SOLUTION
Cshgc = ANY SOLUTION



WINDOW SCHEDULE

1 : 100



DOOR SCHEDULE

1 : 100

EXIST. LINTOLS:
REMOVE GARAGE DOORS & MAKE GOOD

ROOF CONSTRUCTION:
LONG-SPAN "VICTORIAN" ALUZINK ROOF SHEETS WITH CHARCOAL COLOURBOND SHEET FINISH ON 50x20mm PURLIN SPACER ON SISALATION LAID ON 76x50mm SAP PURLINS @ 600mm C/C ON ENGINEER DESIGNED RAFTER CONFIGURATION SPACED AT MAX 1000mm C/C FIXED TO 228x50mm SAP WALLPLATE. RAFTERS TIED DOWN WITH 30x1.2mm MSG HOOP IRON EXTENDING AT LEAST 600mm DOWN.

RAINWATER GOODS:
150mm SEAMLESS ALUMINUM BOX GUTTER FIXED TO WALL WITH ALUMINUM COUNTER FLASHING TO 100mm ALUMINUM DOWN-PIPES FIXED TO WALL & DISCHARGED AT GROUND LEVEL.

BALUSTRADES:
BALUSTRADERAILING (1000H) WITH MAX. OPENINGS OF 100mm

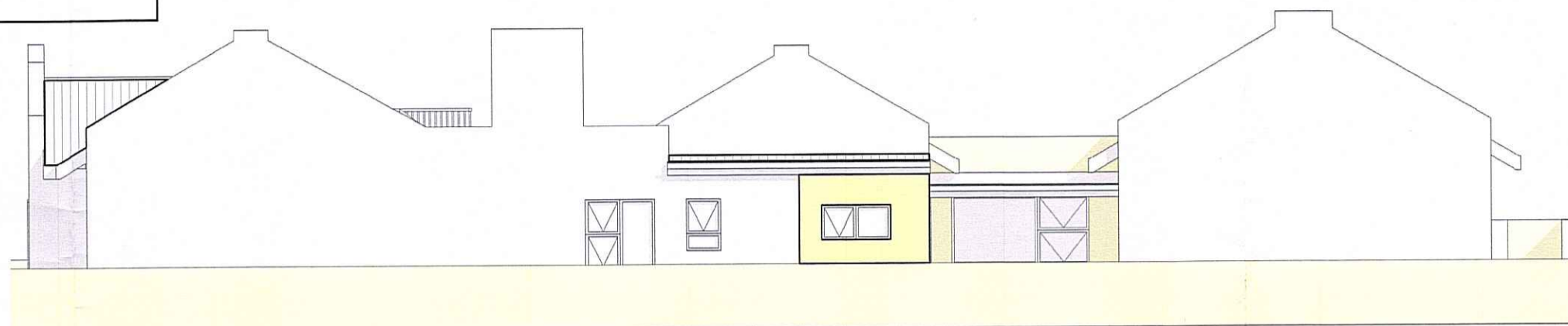
TIMBER DECKING:
HARDWOOD TIMBER DECKING ON TIMBER BEARERS (ACC. TO ENG. @ ± 450mm C/C DISTANCES) ON CROSS BEAMS (ACC TO ENG.) SUPPLIED BY REGISTERED TIMBER COMPANY & ERECTED BY SPECIALIST.

TIMBER STAIR CASE:
TO ENG. SPECIFICATION
RISERS = 185mm
TREADS = 250mm WITH MIN. 25mm OVERLAP

WALL OPENINGS:
STEPPED DPC ACROSS CAVITY TO WEEPHOLES AT 5 BRICK INTERVALS. VERTICAL DPC INTO DOOR- AND WINDOW FRAME REVEALS. REINFORCED CONCRETE LINTOLS OVER ALL OPENINGS

FOUNDATION:
700x300mm² CONCRETE STRIP FOUNDATION TO ENGINEER'S SPECIFICATION.

FLOOR CONSTRUCTION:
FLOOR FINISH ON 100mm CONCRETE FLOOR SLAB ON 250mic. DPC ON MIN. 30mm SAND ON CLEAN FILL WELL COMPACTED IN LAYERS OF MAX 150mm TO ENGINEER'S SPECIFICATION.



EAST ELEVATION

1 : 100

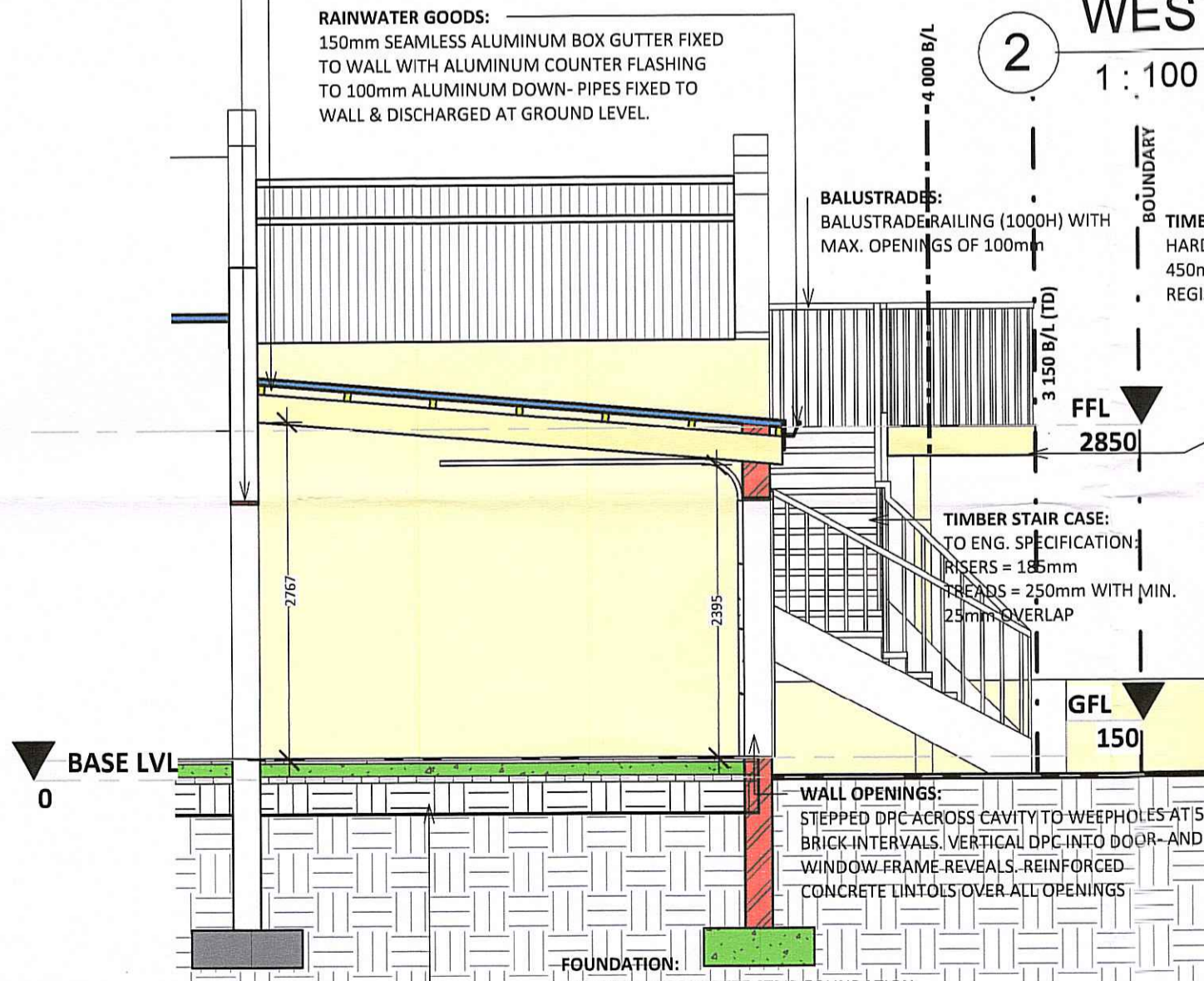
TIMBER STAIR CASE:
TO ENG. SPECIFICATION:
RISERS = 185mm
TREADS = 250mm WITH MIN. 25mm OVERLAP

BALUSTRADES:
BALUSTRADERAILING (1000H) WITH MAX. OPENINGS OF 100mm



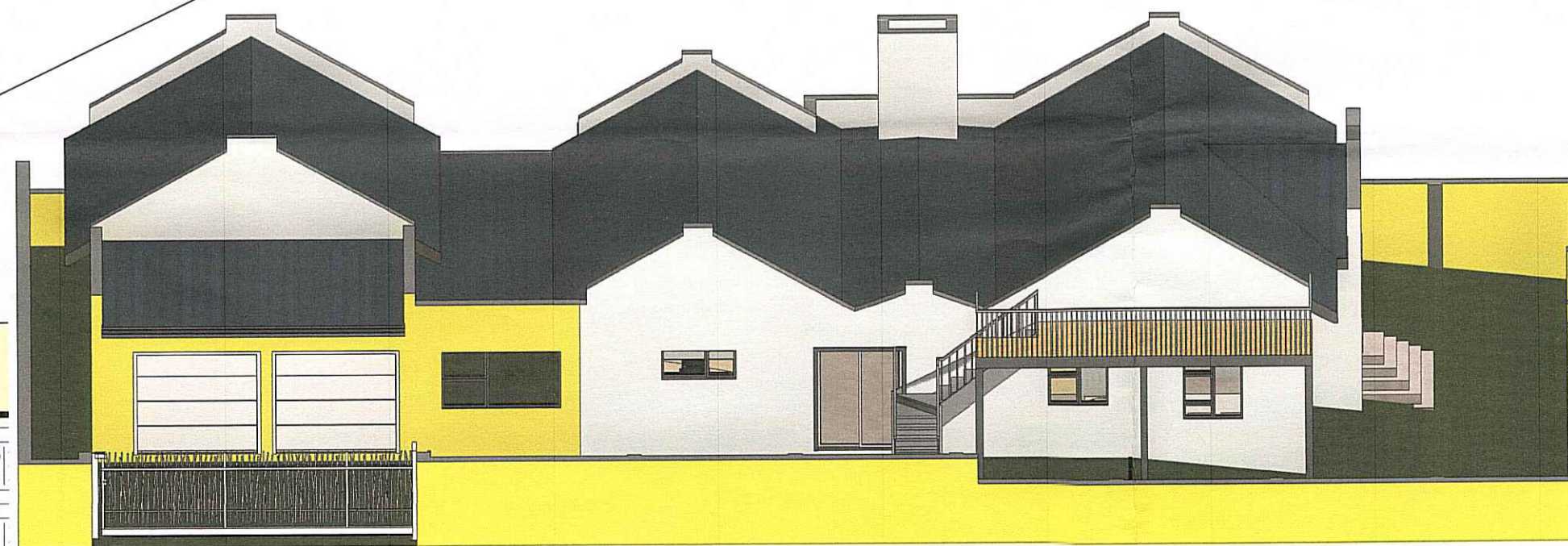
WEST ELEVATION

1 : 100



Section 1

1 : 50



RENDERING

GENERAL NOTES

- GENERAL**
 - All levels, dimensions, number of steps, etc. to be checked on site before building work commences.
 - All building work according to N.B.R. Use given dimensions rather than scaling from plan.
 - All building material approved S.A.B.S. or similar.
 - D.P.C. to be built-in under all walls and flooring.
 - Minimum 3% cross ventilation in habitable rooms. Ventilation bricks optional.
 - The builder should contact the architect immediately regarding any discrepancy.
 - The builder should familiarise himself properly of all detail on the plan as well as on any engineering drawings.
 - All materials to be installed according to manufacture's specs.
 - All fire proof internal doors to comply with SABS 1253 (Code E).
 - All glazing acc to AAAMSA guidelines, SANS 10400 Part N, SANS10440 (safety glass) & SANS1263.
 - All hot water installations to comply with SANS 1307 (Domestic solar water heaters), SANS 10106 (Installation, maintenance, repair & replacement of domestic solar water heating systems), SANS 10254 (Installation, maintenance repair & replacement of fixed electric storage water heating systems) & SANS 10252 (Water supply and drainage for buildings).
- STRUCTURAL WORK**
 - All structural floors, beams and foundations to engineer's details.
- FOUNDATIONS**
 - Strip foundations (800x250mm) with Ref 345 steel mesh under external cavity walls acc. to engineer.
 - All 115 & 230mm internal load bearing wall slabs thickened to 250mm.
 - Mixture of 1:3:6 min 25MPa compressive strength after 28 days.
 - Steel reinforcement acc. to engineer's specifications.
 - Retaining walls & footings to engineer's detail & drawings.
- FLOOR**
 - Slab to be 100mm minimum with 50mm screed, cast on 250µ DPC, spread over well compacted filling.
 - Mixture of 1:4:5, minimum 15MPa compressive strength after 28 days.
 - Steel reinforcement mesh in floor slab where unstable soil conditions occur (acc. to Engineer).
- WALLS**
 - All exterior walls to be 280mm cavity with clay brick.
 - External walls to be bag plastered & painted as per owner's specification.
 - Clay bricks as per owner's specification (unless otherwise specified).
 - Conduits to be provided in walls where TV & telephone points are required.
 - Brick force minimum 2/m³.
- ROOF CONSTRUCTION [MAIN PITCHED ROOF]**
 - Timber trusses by registered truss company @ 30° gradient & ±900mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company or by rational design acc. to engineer.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sisalation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.
- ROOF CONSTRUCTION [MONO PITCHED ROOFS WHERE APPLICABLE]**
 - Timber rafters (228x76mm) by registered truss company @ 5° gradient & ±900mm c/c distances with metal sheets, designed & fixed acc. to manufacturer's specifications.
 - Supplied by specialist roofing company.
 - Waterproofing by specialists.
 - Aluminum gutters & downpipes all round.
 - Sisalation heat insulation under all roof sheets.
 - All structural work designed, approved & erected by registered professional.

die ontwerp-ateljee

SACAP Reg. No. PAD2120

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PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

DANIEL JACOBUS VAN ZYL

15:58 PM (Africa/Johannesburg) on 10 Aug 2022

CLIENT	
GEORGE	
PROJECT	
ERF 3414 48 BOB LAUBSER STREET KLEINMOND	
SHEET NAME	
SECTIONS & ELEVATIONS	
DRAWING NO	SHEET NO
240802	002
SCALE	DATE
As indicated	2024-11-19
DRAWN BY	CHECKED
JCK	DJvZ
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