

ERF 2908, 51 ATLANTIC DRIVE, ONRUS RIVER: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: ENGELBRECHT & SCORGIE ON BEHALF OF LIANRI TRUST

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received as follows:

- **Departure** in terms of Section 16(2)(b) to relax the western lateral building line from 2m to 0,96m to accommodate proposed alterations to the existing dwelling, alterations to the roof, and use change of a portion of the carport into a part of the dwelling.
- **Departure** in terms of Section 16(2)(b) to exceed the permissible coverage from 50% to 51,69% to accommodate the existing dwelling on the property.
- **Determination of an administrative penalty** in terms of Section 16(2)(q) of the By-Law for unauthorised land use as mentioned above.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning at 16 Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **6 February 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 2908, ATLANTICRYLAAN 51, ONRUSRIVIER: AANSOEK OM AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: ENGELBRECHT & SCORGIE NAMENS LIANRI TRUST

Kennis word hiermee gegee ingevolge Artikel 48, van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek soos volg ontvang is:

- **Afwyking** ingevolge Artikel 16(2)(b) om die westelike syboullyn vanaf 2m tot 0,96m te verslap om voorgestelde veranderinge aan die bestaande woonhuis, veranderinge aan die dak, en gebruiksverandering om 'n gedeelte van die motorafdak in 'n gedeelte van die woning te verander, te akkommodeer.
- **Afwyking** ingevolge Artikel 16(2)(b) van die Verordening, om die toelaatbare dekking vanaf 50% na 51,69% te oorskrei om die bestaande woonhuis op die eiendom te akkommodeer.
- **Bepaling van 'n administratiewe boete** ingevolge Artikel 16(2)(q) van die Verordening vir ongemagtigde grondgebruik soos hierbo genoem.

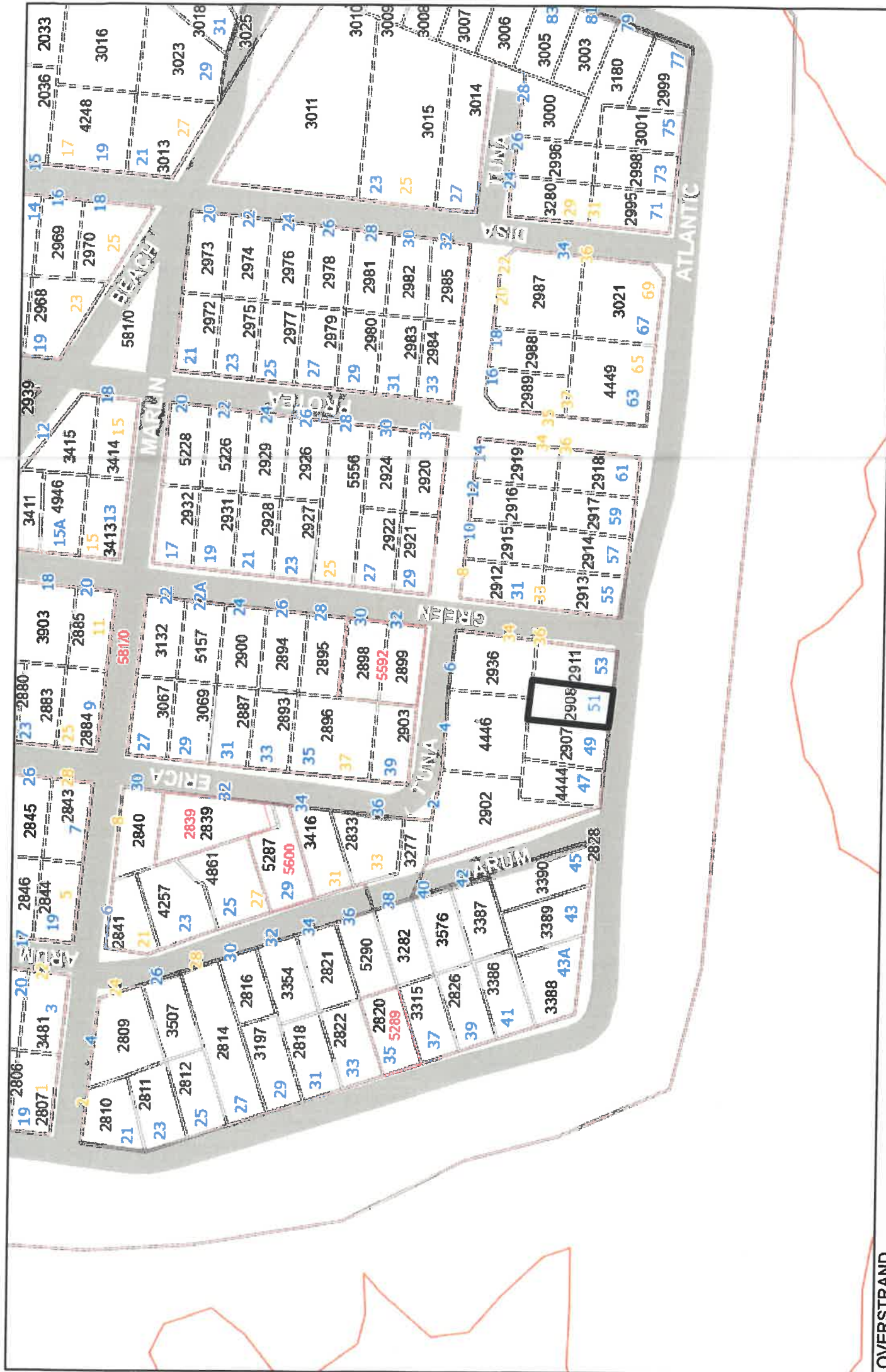
Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op **6 Februarie 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mnr. H Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 2908, 51 ATLANTIC DRIVE, ONRUS RIVER: ISICELO SOPHAMBUKO NOKUMISELWA KWESOHLWAYO SOLAWULO: ENGELBRECHT & SCORGIE EGAMENI LE-LIANRI TRUST

Isaziso sinikwe ngowemiqathango yeCandelo 48 loMthetho kaMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2015 (uMthetho kaMasipala) sokokuba isicelo sifunyenwe njengoku kulandelayo:

- **Uphambuko** ngokwemiqathango yeCandelo 16(2)(b) lokunyeniswa komda osecaleni lesakhiwo ngasentshona ukususela kwi-2m ukuya kwi-0,96m ukulungiselela ukulungiswa okucetywayo kwisakhiwo esele sikho, ukulungiswa kophahla, nokuguqulwa kokusetyenziswa kwesahlulo sekhapoti sibe inxaleye yesakhiwo.
- **Uphambuko** ngokwemiqathango yeCandelo 16(2)(b) kulungiselelwa ukugqithwa kwesigqubuthelo esivunyelweyo ukususela kuma-50% ukuya kuma-51,69% kulungiselelwa isakhiwo esele sikho kwipropati.
- **Ukumiselwa kwesohlwayo solawulo** ngokwemiqathango yeCandelo 16(2)(q) loMthetho kaMasipala esilungiselelwe ukusetyenziswa okungagunyaziswanga komhlaba njengoko kuchatshazelwe ngasentla.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: Town Planning, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kamasipala zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngolu suku okanye ngaphambi komhla wama-**6 uFebhuwari 2024**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungafonela **kuMnu. H Olivier** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



Locality Map
Erf 2908 Onrus River

1. INTRODUCTION:

1.1 **Background**

The owners of the property, Mr. and Ms. Ribeiro, on behalf of the Lianri Trust, have instructed Gerhard Engelbrecht from the firm Engelbrecht & Scorgie Architectural Office to apply for a building line and coverage departure from the Overstrand Municipality's Zoning Scheme Regulations. Erf 2908, referred to in this document as the application area, measures 496.0m² and is held by Title Deed No. T000017908/2019.

1.2 **Application detail**

Application is made in terms of the following:

- 1.2.1 The Overstrand Municipality's By-Laws on Municipal Land Use Planning, Chapter 4 Section 16(2)(b), 2020 states that an owner of an erf may apply to the Municipality for a permanent departure from the provisions of the Overstrand Municipality's Land Use Scheme.

Relevant sections in the Zoning Scheme Regulations applicable to the departure:

- Section 6.1.2 (a) "Coverage". The maximum coverage for all buildings on the land unit is determined in accordance with the net erf area, as listed in the table below:

Net erf area:	Maximum Permitted Coverage
400m ² and greater	50%

- Section 6.1.2 (b)(ii) "Side and rear building lines". The side and rear building lines is determined in accordance with the net erf area, as listed in the table below:

Net erf area:	Side and rear building lines
400m ² and greater	2.0m

- 1.2.2 The Overstrand Municipality's amended By-laws on Municipal Land Use Planning states that a person who is in contravention of this By-laws, and submit application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof.

1.3 **Need and desirability**

1.3.1 **Property description**

The application area of 496m² in extent is located within the residential suburb of Onrus River at No. 51 Atlantic Drive. The application area faces Southwards towards the sea, taking access off Atlantic Drive. The application area lies adjacent to similar type double storey dwellings on the Western side and on the Eastern sides of the Application area. All properties to the rear of the application area are all elevated due to the natural topography of the area and generally overlook the application area or alternatively have views towards the sea looking down through the open areas between some of the sea facing properties on Atlantic Drive. All directly adjoining properties West and East of the application area are similar in size, and all have improvements on.

The existing dwelling on the application area is a double story comprising typical family type holiday living accommodation. The current owners, Mr. and Mrs. Ribeiro, purchased this property in 2019 for a considerable sum of money and have been using the property as weekend and holiday accommodation ever since. The current existing dwelling is no longer adequately sized for their family and their associated lifestyle and therefore necessitates a few additions and alterations, as discussed later in this Departure Application Document.

2. THE APPLICATION:

2.1 Analysis - Development Criteria as per the Overstrand Municipality

The development parameters for the application area as per the Overstrand Municipality's Land Use Scheme, 2020 can be summarized as follows:

Design Parameters:	Overstrand Municipality's Zoning Scheme Regulations:	Proposal:	Comments:	
Zoning	Residential Zone 1: Single Residential (SR1)	Residential Zone 1: Single Residential (SR1)	Unchanged	
Primary Use	Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self - catering	Dwelling house	Unchanged	
Consent Use	Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture	None	Unchanged	
Coverage	50%	51.69%	Application for a departure	
Height Restriction	8.0m	8.0m	Unchanged	
Building lines	Street	4.0m	4.0m	Unchanged
	Side (West)	2.0m	0.9m	Application for a departure
	Side (East)	2.0m	2.0m	Unchanged
	Rear	2.0m	2.0m	Unchanged
Parking	Dwelling house: 2 bays	Dwelling house: 2 bays	Unchanged	

2.2 Analysis – Development Criteria as per the Title Deed

Refer to Annexure C for the Title Deed for Erf 2908, Onrust River.

Title Deed No. T000017908/2019 has no restrictive conditions that prohibit the proposed additions and alterations as discussed throughout this Departure Application Document.

There is a bond registered against Erf 2908. Refer to Annexure E for the enclosed Bondholder's written consent.

2.2 Application

As stated earlier in this Departure Application Document;

2.2.1 the Overstrand Municipality's By-Laws on Municipal Land Use Planning Chapter 4 Section 16(2)(b), 2020 states that an owner of an erf may apply to the Municipality for a permanent departure from the provisions as stated in the Overstrand Municipality's Zoning Scheme Regulations.

Therefore, application is subsequently made in terms of the Overstrand Municipality's Amendment By-Law on Municipal Land-use Planning, 2020 for;

- a permanent departure to relax the Western Municipal side building line from 2.0m to 0.9m for reasons as discussed and motivated later in this Departure Application Document,
- a permanent departure to relax the maximum permitted coverage from 50% to 51.69% for reasons as discussed and motivated later in this Departure Application Document.

2.2.2 The Overstrand Municipality's amended By-laws on Municipal Land Use Planning states that a person who is in contravention of this By-laws, and submit application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof.

Therefore, application is subsequently made in terms of the Overstrand Amended By-Law on Municipal Land-use Planning, 2020 for the application of an administrative penalty as contemplated in Section 90 in the Overstrand Municipality's amended By-laws on Municipal Land Use Planning

Refer to Annexure A for the application form.

3. **CONTEXTUAL SITE INFORMATION:**

3.1 **Property Description**

Property:	Extent:	Title Deed No:	Registered Owner:
Erf 2908, Onrust River	496.00m ²	T000017908/2019	Lianri Trust

Refer to Annexure C for the Title Deed of Erf 2908, Onrust River

Refer to Annexure G for SG Diagram

The following Surveyor General Plan reflect the application site:

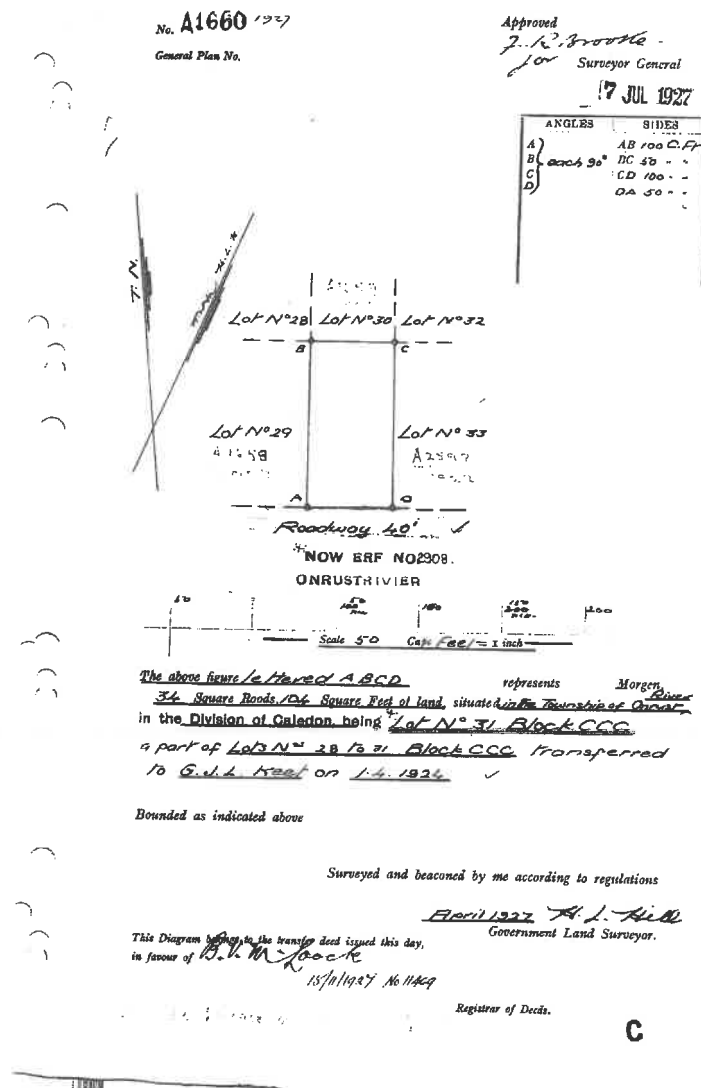


Figure 1: Extract of the Surveyor General Plans of the application site

3.3 Land Use:

The application area accommodates a single storey dwelling with a basement / garage level. The existing dwelling on the application area comprise typical family type holiday living accommodation. The property area faces Southwards towards the sea, taking access off Atlantic Drive.

The footprint of the existing dwelling on the application area, according to the drawings approved in 2002, consisted of the following;

Existing outbuildings	- 50.497m ²
Existing dwelling	- 110.142m ²
Existing storage area	- 36.910m ²
<u>Total existing covered area</u>	- 197.549m²
New study (currently existing)	- 14.554m ²
New garage (currently existing)	- 41.557m ²
<u>Total new covered area (currently existing)</u>	- 56.111m²
Total surface area (incl. all improvements)	- 253.660m ²
Total coverage (incl. all improvements)	- 51.141%

As discussed later in this Departure Application Document, the appointed Architectural Firm added another table on their drawings with the following coverage calculations;

Existing outbuildings	- 60.651m ²
Existing dwelling	- 122.473m ²
<u>Total existing covered area</u>	- 183.124m²
New study (currently existing)	- 16.756m ²
New garage (currently existing)	- 43.892m ²
<u>Total new covered area (currently existing)</u>	- 60.648m²
Total surface area (incl. all improvements)	- 243.772m ²
Total coverage (incl. all improvements)	- 49.148%

With the new proposed refurbishment of the dwelling, the existing footprint of the dwelling will be retained by adding a new first floor level with a few internal alterations on the ground floor level.

The following information is attached to this Departure Application Document for ease of reference;

- A3 drawings, printed not to scale, of the new proposed additions and alterations to the existing dwelling on Erf 2908 as Annexure K
- A1 drawings, printed to scale, of the new proposed additions and alterations to the existing dwelling on Erf 2908 as Annexure L

3.4 Zoning

The application area is zoned Residential Zone 1 (SR1). All surrounding properties are zoned Residential Zone 1 (SR1) as shown on Figure 4 below.



Figure 4: Zoning, an extract from the Overstand Public Viewer – NOT TO SCALE

4. PROPOSAL

4.1 Background and introduction to the proposal

The current owners of Erf 2908, Mr. and Mrs. Ribeiro, purchased this sought-after property in 2019 for a considerable sum of money. At the time of purchase, the singular idea for the property was to;

- upgrade and renovate the property to create comfortable holiday and weekend accommodation for them and their family,
- to optimize the value of this seafront property.

In order for the existing dwelling on Erf 2908 to become comfortable holiday and weekend accommodation, the property needed a few personal changes as the current layout, size, proportion, and flow of the existing dwelling on the application area are not adequately sized for their family and their associated lifestyle. Mr. and Mrs. Ribeiro appointed our firm, Engelbrecht & Scorgie Architectural Office, in mid-June 2022 to prepare drawings for the following additions and alterations to the existing dwelling on Erf 2908;

- **Existing Garage / Basement level;**
 - Converting a section of the existing and approved carport in the South-Western corner of the dwelling into a circulation area with an internal staircase and lift to link the existing garage / basement level with the existing ground floor.
- **Existing ground floor level;**
 - Numerous internal alterations, including but not limited to the existing kitchen area, dining area, and living area, are being renovated.
 - Converting the existing and approved study in the South-Western corner of the dwelling into a circulation area with an internal staircase and lift to link the existing ground floor level with the existing garage / basement level as well as the new first floor level (as mentioned later in this departure application).
 - Renovating the existing and approved laundry area in the North-Western corner of the property and replacing the existing roof-structure over the subject area as the existing roof structure is in need of replacement.
 - Replacing all the existing timber frame windows, as this is in very poor condition.
 - Replacing the existing timber deck structure approved and constructed on the South-Western corner of the property, as this requires replacing.
- **New proposed first floor level;**
 - Expanding the existing dwelling by retaining the current approved footprint but adding a new proposed first floor level.

When copies of the approved drawings were obtained from the Overstrand Municipality's Building Control Offices, the following was noted on the approved drawings;

- The existing dwelling was approved and constructed during the ruling of the old Onrust River Municipality, when the lateral and rear building lines applicable then were 0.9m measured from the erf boundary line. Numerous, if not all, of the surrounding and adjoining properties have been constructed on the 0.9m lateral and rear building lines.
- The previously appointed Architectural Firm, Henk Manel and Associate Architects CC, must have made some calculation errors with the area and coverage calculations as described later in this Departure Application Document.

Because of our above-mentioned findings, our services were then further extended by preparing and submitting a Departure Application on behalf of our clients, Mr. and Mrs. Ribeiro, for permission to build and to make minor changes within the current 2.0m Municipal side building lines for reasons as mentioned and described below, while simultaneously rectifying the approved area and coverage calculations.

The approval of this Departure Application will result in achieving our mandate, fulfilling our clients' requirements, and achieving the architectural vision for this project.

4.2 **Proposal and its details**

As mentioned earlier in this Departure Application Document, the Overstrand Municipality's By-Laws on Municipal Land Use Planning Chapter 4 Section 16 (2)(b), 2020 state that an owner of an erf may apply to the Overstrand Municipality for a permanent departure from the provisions as stated in the Overstrand Municipality's Zoning Scheme Regulations.

Therefore, based on our findings as mentioned earlier in this Departure Application Document, an application is subsequently made in terms of the Overstrand Municipality's Amended By-Laws on Municipal Land-use Planning, 2020 for the following;

1. The relaxation of the current 2.0m Western Municipal Building Line to 0.9m to accommodate the following minor changes that fall within the subject Municipal Building Line;

1.1 Existing Garage and Basement level;

- Converting a section of the existing and approved carport in the South-Western corner of the dwelling into a circulation area with an internal staircase and lift to link the existing garage / basement level with the existing ground floor.

This convention falls within the 2.0m Western Municipal side building line; therefore, an application is being made for the permanent departure to relax the subject building line to accommodate the above-mentioned circulation area on garage / basement floor.

1.2 Existing ground floor level;

- Numerous internal alterations, including but not limited to the existing kitchen area, dining area, and living area, are being renovated.

These renovations do not exceed the current Municipal building lines in any way, are within the existing and approved dwelling, and therefore do not need to be addressed.

- Converting the existing and approved study in the South-Western corner of the dwelling into a circulation area with an internal staircase and lift to link the existing ground floor level with the existing garage / basement level as well as the new first floor level.

This convention falls within the 2.0m Western Municipal side building line; therefore, an application is being made for the permanent departure to relax the subject building line to accommodate the above-mentioned circulation area on the ground floor.

- Renovating the existing and approved laundry area in the North-Western corner of the property and replacing the existing roof structure over the subject area as the existing roof structure is in need of replacement.

The above-mentioned laundry area falls within the 2.0m Western Municipal side building line, therefore application is being made for the permanent departure to relax the subject building line to accommodate the above-mentioned renovation and roof replacement.

- Replacing all the existing timber frame windows, as this is in very poor condition.

Some of the above-mentioned timber frame windows that require replacing fall within the 2.0m Western Municipal side building line (Western Façade), therefore application is being made for permission to replace the subject timber frame windows with aluminum frame windows.

- Replacing the existing timber deck structure approved and constructed on the South-Western corner of the property, as this requires replacing.

The existing and approved timber deck on the South-Western corner of the property, was approved over the 2.0m Western Municipal side building line, therefore application is being made for permission to replace the subject timber decking. The existing and approved footprint of the deck will remain unchanged.

1.3 New proposed first floor level;

- Expanding the existing dwelling by retaining the current approved footprint but adding a new proposed first floor level.

The proposed addition of a new first floor level is designed and set back within the current Municipal building lines, and therefore does not need to be addressed.

The following information is attached to this Departure Application document for ease of reference;

- A3 drawings, printed not to scale, of the new proposed additions and alterations to the existing dwelling on Erf 2908 as Annexure K
 - A1 drawings, printed to scale, of the new proposed additions and alterations to the existing dwelling on Erf 2908 as Annexure L
2. As mentioned earlier in this Departure Application Document, during the initial stage of this project, when copies of the approved building plans were obtained at the Overstrand Municipality's Building Control Offices, it was noted that the Architectural firm, Henk Mantel and Associate Architect CC, who was appointed by the previous owner of the property, Dr. G. Wyma, in 2002, must have make some calculation error with the area and coverage calculations.

When processing this Departure Application Document, keep in mind that the following owners, as mentioned herein, have the meaning hereinafter assigned to them as follows:

Period:	Owner(s):	Year:
Previous owner	Dr. G. Wyman	Unknown - Unknown
Previous owner	The trustees of the Fairview Trust	Unknown - 2019
Current	Mr. and Mrs. Ribeiro o.b.o Lianri Trust	2019 – Current

We, as the appointed firm to handle this Departure Application on behalf of our clients, Mr. and Mrs. Ribeiro, have made the following **assumptions** in order to make sense of where and when this calculation error could have occurred:

- Henk Mantel and Associate Architect CC were appointed by the previous owner of the property, Dr. G. Wyma, in 2002 for a few internal alterations and the addition of a new double garage and carport on basement level and a new study on the South-Western corner of the application area.
- When the area and coverage calculations were done, the appointed Architectural Firm must have made some calculation errors with the provided area and coverage calculations. The Architectural Firm reflected two separate tables on their drawings, which are completely in contradiction with one another as explained later in this Departure Application Document.
- The above-mentioned assumption was never questioned by the Overstrand Municipality and the drawings was approved in 2002.
- The following table below reflects our above-mentioned **assumptions**;

Table A – Area calculations:

AREAS SCHEDULE			
FLOOR AREAS:	EXISTING	NEW	TOTAL
EXISTING			
HOUSE	710.142 sqm		
OUTBUILDING	50.497 sqm		
STORE	36.910 sqm		197.549 sqm
NEW			
NEW STUDY		14.554 sqm	
NEW GARAGE		41.557 sqm	56.111 sqm
TOTAL:	197.549 sqm	56.111 sqm	253.660 sqm
F.A.R.	51.11%		

Table A clearly reflects a "more" accurate indication of the existing and newly proposed structures on site and also reflects that the dwelling would have been over the Overstrand Municipality's maximum permitted coverage of 50%.

In this table, the appointed Architect measured the following:

- The existing dwelling with its out-building and storage area measures a total of 197.549m²,
- The proposed additions (now existing) measure a total of 56.111m².

When adding this up, the dwelling (which includes the existing structures and the new structures) measures a total of 253.660m² with a coverage factor of 51.11%, 1.11% more than the Overstrand Municipality's maximum permitted coverage of 50%.

Table B – Coverage calculations:

COVERAGE:			
SITE:	496 sqm		
	PERMISSABLE	ACHIEVED	IN HAND
COVERAGE EXISTING		183.124 sqm	
COVERAGE NEW			
NEW STUDY		16.756 sqm	
NEW GARAGE		43.892 sqm	
		243.772 sqm	
MAXIMUM COVERAGE	248.000 sqm		4.228 sqm
COVERAGE	0.5	0.491	0.001

The appointed Architectural Firm then went further and included another table on their submitted drawings reflecting that the existing dwelling with its associated out-building and storage area measures less;

In this table, the appointed Architect measured the following:

- The existing dwelling with its out-building and storage area measures a total of 183.124m²
- The proposed additions (now existing) measure a total of 60.648m²
- There is still a total of 4.228m² "in hand" should the owner later decide on another addition to the existing dwelling.

When adding this up, the dwelling (which includes the existing structures and the new structures) measures a total of 243.772m² with a coverage factor of 49.148%, 0.852% under the Overstrand Municipality's maximum permitted coverage of 50%

When analyzing both of these two tables (Table A and Table B), it can be concluded that the appointed Architectural Firm must have made some calculation errors with the area and coverage calculations. The reason for the two separate tables reflected on the approved drawings is a mystery and will probably remain so forever. The two separate tables are contradictory and could be an honest mistake or note. Table A clearly reflected a "more" accurate area and coverage calculation which exceeds the Overstrand Municipality's maximum permitted coverage of 50%. This was never questioned by the Overstrand Municipality and the drawings was approved in 2002.

The appointed Architectural Firm also failed to indicate the existing laundry area on the North-Western corner of the property. Needless to say, the footprint of the subject laundry area was also not included on any of the above-mentioned tables which would have added even more to the already exceeding coverage of the property.

When our firm, Engelbrecht & Scorgie Architectural Office, was appointed by the current owners of the property, Mr. and Mrs. Ribeiro, we advised our clients to appoint a Land Surveyor the measure up and reflect the footprint of the existing dwelling with all its associated out-buildings, all related heights of the existing dwelling with its associated out-buildings, and all contours on the application area.

The Land Surveyor, Vickus van Dyk and Associates, was appointed who then confirmed that the existing coverage on the application area measures a total of 51.69%, 1.69% more than the Overstrand Municipality's maximum permitted coverage of 50%. Therefore, an application is made, in terms of the Overstrand Municipality's Amended By-Laws on Municipal Land-use Planning, 2020 for the relaxation of the Maximum permitted coverage of 50% to 51.69%.

The following information is attached to this Departure Application Document for ease of reference;

- Copies of the drawings approved by the Overstrand Municipality in 2002, marked as Annexure I,
- The appointed Land Surveyor's diagram indicating the existing coverage of 51.69%, marked as Annexure J.

4.3 **Character of the environment**

The property is situated in the old residential section of Onrust River which has a multitude of different Architectural styles and where most of the properties were constructed during the ruling of the old Onrust River Municipality. Lateral and rear Municipal building lines applicable then were 0.9m. Numerous, if not all of the properties have been constructed on the 0.9m lateral and rear Municipal building lines.

Atlantic Drive is situated on the peninsula (island extension) of the Old Onrust River with all the erven on this road boasting a good sea view. Atlantic Drive runs in a semi-half circle starting at the beach (North East) and terminating at the caravan park (North West).

Due to the topography of this particular section of Onrust River, the ground slopes upwards, in other words away from the sea and Atlantic Drive.

Most, if not all of the erven behind Atlantic Drive have moderate to good sea and mountain views due to the land slope. The properties one block back of the application area mostly overlook the properties on Atlantic Drive and alternatively have views towards the sea looking down through the open areas between the subject sea-facing properties on Atlantic Drive.

Quite a number of the houses on the peninsula were of the earliest houses built in the Old Onrust River and most of these dwellings have been refurbished over the years leaving this section of Onrust River with a more up market modern appearance.

4.4 **Effects on nature / environment, streetscape and surrounding properties:**

As shown on the attached drawings (Annexure K and Annexure L), the proposed additions and alterations that exceed the 2.0m Western Municipal side building line and the section of the existing dwelling (8.40m²) that exceeds the Overstrand Municipality's maximum permitted coverage, as mentioned and highlighted throughout this Departure Application document, are relatively minor in nature and do not impact negatively on the environment, streetscape, or any of the surrounding properties.

The surrounding properties that will be affected by the above-mentioned "deviations" from the Overstrand Municipality's Land Use Scheme can be narrowed down to the following properties:

4.4.1 **Erf 2907, 49 Atlantic Drive, Onrus River**

Erf 2907 lies directly to the West of the application area, Erf 2908. The dwelling constructed on this subject erf is one of the closest in proximity to the existing dwelling on Erf 2908 than any of the surrounding houses and has similarly been constructed on the old 0.9m Municipal building line, which was applicable at the time of ruling of the old Onrust River Municipality as mentioned throughout this Departure Application Document. The subject dwelling on Erf 2907 was constructed so that it enjoys views towards the sea in a Southern direction, so their privacy and their sea views will not be interrupted by the proposed additions and alterations on Erf 2908 in any way.

- The effect the minor changes within the current 2.0m Municipal Building Line will have on Erf 2907:

The minor changes that will be made within the current 2.0m Municipal side building line, as mentioned and highlighted throughout this Departure Application Document are mainly the conversion of the existing carport and the existing study on the South-Western corner of the property into a circulation area, the replacement of the existing roof structure over the laundry area, and the replacement of the existing timber frame windows on the Western façade of the dwelling. The above-mentioned will be visible from Erf 2907, however, as these changes will be minor in nature and in scale and will be done in an architecturally pleasing style that will blend in very well with the surrounding properties and the environment, the impact that this will have on the property and its owners of Erf 2907 is negligible.

- The effect that the 8.40m², which exceeds the Overstrand Municipality's maximum permitted coverage, will have on Erf 2907:

The existing dwelling with its associated out-buildings constructed on the application area, Erf 2908, which exceeds the Overstrand Municipality's maximum permitted coverage of 50%, has been standing in place for approximate 20 years, are minor in

nature and in scale, and therefore the impact that the exceeding coverage has on this subject Erf is insignificant and not worth considering.

The owners of Erf 2907 have been provided with a copy of the plans indicating the proposed new additions and alterations to Erf 2908. They have given their consent to the proposal; please refer to Annexure N.

4.4.2 Erf 2911, 51 Atlantic Drive, Onrus River

Erf 2907 lies directly to the East of the application area, Erf 2908. The dwelling constructed on this subject erf is one of the closest in proximity to the existing dwelling on Erf 2908 than any of the surrounding houses and has similarly been constructed on the old 0.9m Municipal building line, which was applicable at the time of ruling of the old Onrust River Municipality as mentioned throughout this Departure Application Document. The subject dwelling on Erf 2911 was constructed so that it enjoys views towards the sea in a Southern direction, so their privacy and their sea views will not be interrupted by the proposed additions and alterations on Erf 2908 in any way.

- The effect the minor changes within the current 2.0m Municipal Building Line will have on Erf 2911:

The minor changes that will be made within the current 2.0m Municipal side building line, as mentioned and highlighted throughout this Departure Application Document will not be visible from Erf 2911 due to the existing dwelling on the Application area, Erf 2908.

- The effect that the 8.40m², which exceeds the Overstrand Municipality's maximum permitted coverage, will have on Erf 2911:

The existing dwelling with its associated out-buildings constructed on the application area, Erf 2908, which exceeds the Overstrand Municipality's maximum permitted coverage of 50%, has been standing in place for approximate 20 years, are minor in nature and in scale, and therefore the impact that the exceeding coverage has on this subject Erf is insignificant and not worth considering.

4.4.3 Erf 4446, 4 Tuna Street, Onrust River

Erf 4446 lies North-West of the Application area, Erf 2908. Erf 4446 is slightly elevated due to the natural topography of the area and generally overlooks the application area, Erf 2908 and Erf 2907, or alternatively has sea views looking down through the open areas between Erf 2907 and Erf 2908.

- The effect the minor changes within the current 2.0m Municipal Building Line will have on Erf 4446:

The minor changes that will be made within the current 2.0m Municipal side building line, as mentioned and highlighted throughout this Departure Application Document will not be visible from Erf 4446 due to the existing dwelling on the Application area, Erf 2908.

- The effect that the 8.40m², which exceeds the Overstrand Municipality's maximum permitted coverage, will have on Erf 4446:

The existing dwelling with its associated out-buildings constructed on the application area, Erf 2908, which exceeds the Overstrand Municipality's maximum permitted coverage of 50%, has been standing in place for approximate 20 years, are minor in nature and in scale, and therefore the impact that the exceeding coverage has on this subject Erf is insignificant and not worth considering.

4.4.4 Erf 2936, 6 Tuna Street, Onrust River

Erf 2936 lies North-East of the Application area, Erf 2908. Erf 2936 are slightly elevated due to the natural topography of the area and generally overlook the application area, Erf 2908 and Erf 2911, or alternatively have sea views looking down through the open areas between Erf 2908 and Erf 2911.

- The effect the minor changes within the current 2.0m Municipal Building Line will have on Erf 2936:

The minor changes that will be made within the current 2.0m Municipal side building line, as mentioned and highlighted throughout this Departure Application Document will not be visible from Erf 2936 due to the existing dwelling constructed on Erf 2908.

- The effect that the 8.40m², which exceeds the Overstrand Municipality's maximum permitted coverage, will have on Erf 2936:

The existing dwelling with its associated out-buildings constructed on the application area, Erf 2908, which exceeds the Overstrand Municipality's maximum permitted coverage of 50%, has been standing in place for approximate 20 years, are minor in nature and in scale and therefore the impact that the exceeding coverage has on this subject Erf is negligible.

5. APPLICATION FOR ADMINISTRATIVE PENALTY

The Overstrand Municipality's amended By-Laws on Municipal Land Use Planning states that a person who is in contravention on this By-Laws, and submit application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof.

Therefore, an application is subsequently made in terms of the Overstrand Municipality's amended By-Law on Municipal Land-use Planning, 2020 for the application of an administrative penalty as contemplated in Section 90 in the Overstrand Municipality's amended By-Laws on Municipal Land Use Planning.

The above-mentioned application for an administrative penalty will only be applicable to the 8.40m² (1.69%) which exceeds the Overstrand Municipality's maximum permitted coverage of 50%.

5.1 Background and site history

- The application area is zoned as Single Residential 1 (SR1) in terms of the Overstrand's Town planning scheme.
- The application area of 496m² in extent is located within the residential suburb of Onrust River at No. 51 Atlantic Drive. The existing dwelling on the application is a typical single-story dwelling comprising a typical family type living accommodation with a double garage on basement / garage level.
- The unauthorized building / construction work is highlighted throughout this Departure Application Document and does not cause any negative impact on nature, the environment, the streetscape, or any of the surrounding properties within the area.
- In total, 8.40m² of the existing dwelling on the application area contravenes the Overstrand Municipality's amended By-Laws on Municipal Land Use Planning

5.2 Summary of the motivation

The motivation and explanation of the existing work that contravenes the Overstrand Municipality's maximum permitted coverage of 50% are highlighted throughout this Departure Application Document, but can be summarized as follows:

- Henk Mantel and Associate Architect CC was appointed by the previous owner of the property, Dr. G. Wyma, in 2002 for a few internal alterations, and the addition of a new double garage and carport on basement level and a new study on the South-Western corner of the application area.

When the area and coverage calculations were done, the appointed Architectural Firm must have made some calculation errors with the provided area and coverage calculations as the square meterage of the new additions to the existing dwelling (as mentioned above) and the total square meterage of the existing dwelling measured more than 248m², the maximum permitted footprint of the dwelling based on the erf size of 596m².

The appointed Architectural Firm also failed to indicate the existing laundry area on the North-Western corner of the property and therefore also failed to include the square meterage of this to their coverage calculations, which would have added even more to the already exceeding coverage of the property.

The above-mentioned was never questioned by the Overstrand Municipality and the drawings was approved in 2002.

- No pervious contraventions were listed.

5.3 Assessment of application

- As mentioned above, the unauthorized building work that contravenes the Overstrand Municipality's amended By-Laws on Municipal Land Use Planning 2020, measures a total of 8.40m², therefore an application on made for the determination of an administrative penalty
- In terms of section 90(5)(b) of the By-Law, an administrative penalty for the building work that contravenes the Overstrand Municipality's Land Use Scheme may not be more than 100% of the total value of the building, construction and engineering work unlawfully carried out.
- Administrative Penalty: Calculation

Unauthorized section that exceeds the Overstrand Municipality's maximum permitted coverage of 50%

Value per m² (R 14 500.00) x Total unlawful area (8.40m²) = R 121 800.00

An amount which is not more than 100% of R 121 800.00 may be imposed as an administrative penalty by the Overstrand Municipality.

5.4 The nature, duration, gravity and extent of the contravention

The following factors need to be considered by the Overstrand Municipality when determining an appropriate administrative penalty, as contemplated by section 90 of the Overstrand Municipality's amended By-laws on Municipal Land Use Planning:

5.4.1 Nature:

The unauthorized building work involves a section of the existing dwelling that exceeds the Overstrand Municipality's maximum permitted coverage of 50%.

5.4.2 Duration:

The drawings were approved by the Overstrand Municipality in 2002, and the exact date of when the proposed construction work was completed is unknown. Our client was not served with a notice, but if a time frame must be allocated, then the structure has been standing in place for approximately 20 years.

5.4.3 Gravity:

The gravity of the contravention is not considered serious insofar as the extent is only limited to 8.40m². The existing footprint on the application area has been in existence for over 20 years and has never caused any negative impact on nature, the environment, the streetscape, or any of the surrounding neighboring properties.

5.4.4 Extent:

8.40m²

5.5 A report by a quantity surveyor in matters of unauthorized building / construction

Refer to Annexure M for a cost estimate report in matters of the unauthorized building / construction work that exceeds the Overstrand Municipality's maximum permitted coverage of 50%.

5.6 Whether the unlawful conduct was stopped

Overstrand Municipality did not stop the building work and have also not issued a notice with regards to the transgression.

5.7 Whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law

As far as can be ascertained, there is no evidence that the owner of the property has previously contravened this By-law

5.8 Reasons for decision

Reasons for the recommended decision may be summarized as follows:

- As mentioned, and highlighted throughout this Departure Application Document, when the area and coverage calculations were done, the appointed Architectural Firm must have made some calculation errors with the provided area and coverage calculations as the square meterage of the new additions to the existing dwelling (as mentioned above) and the total square meterage of the existing dwelling measured more than 248m², the maximum permitted footprint of the dwelling based on the erf size of 596m².
- The appointed Architectural Firm also failed to indicate the existing laundry area on the North-Western corner of the property and therefore also failed to include the square meterage of this to their coverage calculations, which would have added even more to the already exceeding coverage of the property.
- The unauthorized building / construction work is highlighted throughout this Application document and does not cause negative impact on nature, the environment, the streetscape, or any of the surrounding properties within the area.

5.9 Recommendation

In light of the above assessment, we appeal to your generosity that an administrative penalty of 0% be imposed for the unauthorized as-built structures as this is not the wrong doing of our clients, Mr. and Mrs. Ribeiro.

6. CONCLUSION

6.1 Heritage value

The property is not situated within a heritage overlay zone and has no grading or any heritage value.

6.2 Impact on Municipal Engineering Services

No additional electrical, water or sewerage will be required. The current Municipal provision is adequate to supply the dwelling

3.9 Forward planning

The Overstrand Spatial Development Framework (SDF) 2006 earmarks the area where Erf 2908 is situated for residential purposes. The structures, for which the departure is required, form part of any typical residential component and the Zoning Scheme Regulations make provision for departure procedures to incorporate structures within the building line zone. The character and zoning of the property will remain unchanged and therefore the property falls within the existing planning for the Onrust River area.

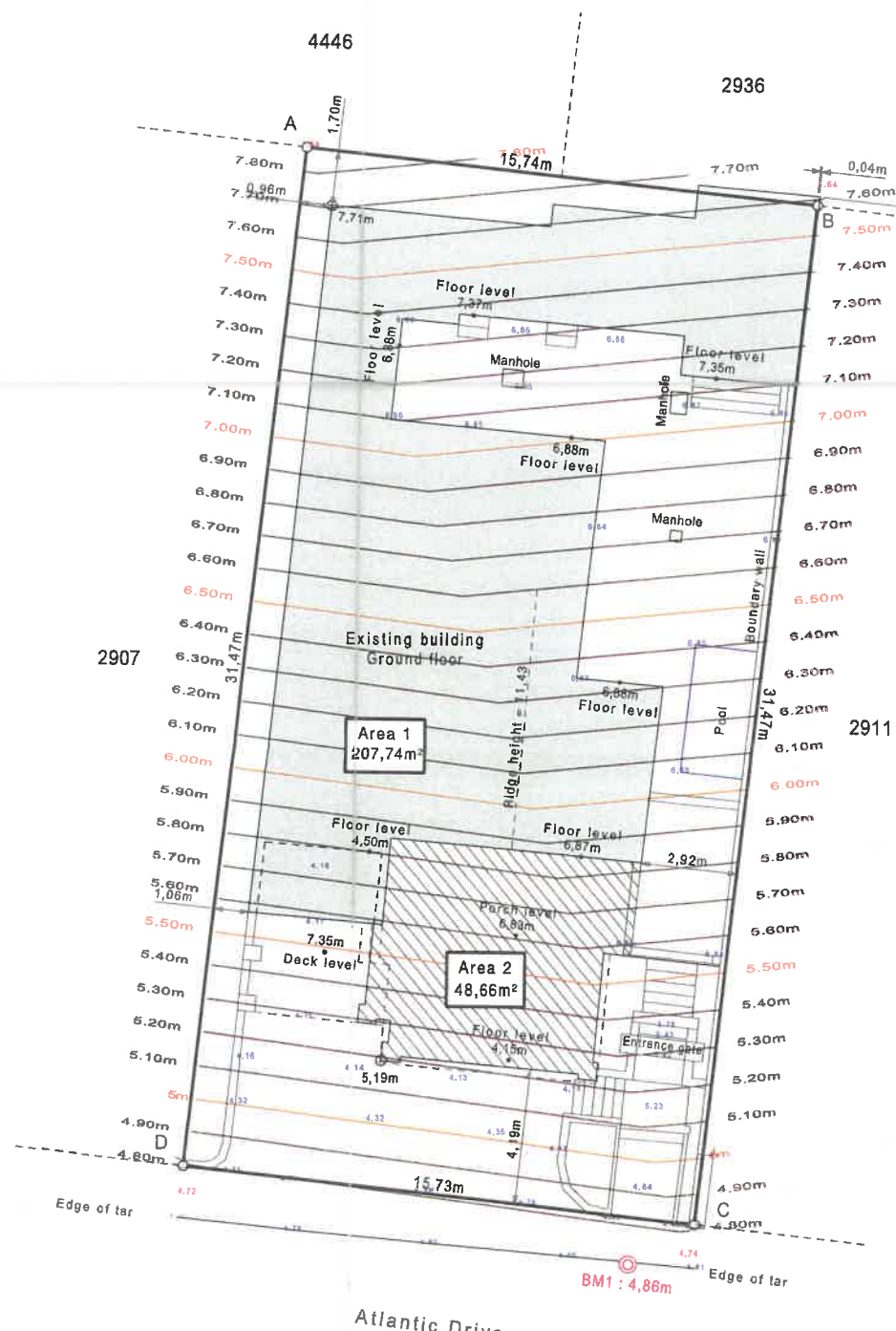
It is therefore recommended that the application be approved in terms of the Overstrand Amendment By-Lay on Municipal Land – use Planning, 2020.

I appeal to your experienced consideration of this Departure Application. I look forward to your correspondence.

Yours sincerely



GERHARD ENGELBRECHT
for Engelbrecht & Scorgie Architectural Office



Note
 Levels in **Red** represent natural ground levels,
 Levels in **Blue** represent actual ground levels,
 Contours represent natural ground levels,
 and not actual ground levels.

Height restriction calculation
 Lowest natural ground level of house : 5,19m
 Highest natural ground level of house : 7,71m
 Baseline : 6,45m
 + allowable building height : 8,00m
 Building height restriction : 14,45m

Area as per hatched area
 Area 1 : 207,74m²
 Area 2 : 48,66m²
 Total : 256,40m²
 Property size : 496m²
 Coverage : 51,69%



Notes: Beacon Certificate: Beacon Description: A,B ... Not beaconed C,D ... Drill hole in wall Benchmark Description: BM1 ... Roofing scow in tar	
VAN DYK & ASS. inc.	
 P.O.Box 2025 HERMANUS 7200 SOUTH AFRICA TEL. (028) 313 0077 FAX. (028) 312 1351	
Stelsel:	WGS84 / Lo 19
Hoogte Stelsel:	Mean Sea Level
Skaal:	1 : 150
Datum:	Mei 2013 and April 2019
Landmeter:	L A van Dyk
Projek Titel:	ERF 2908 ONRUSTRIVIER
Titel: TOPOGRAPHICAL SURVEY	
Tekening Nummer:	V19179
Gateken deur:	DJP
Vel Sheet	1 van of 1

The main contractor is to supply "Lump Sum Cost" and must include the following Labour & Material items. Particular attention must be given to the specific material and finishes as they have a direct bearing on the final aspect.

- All labour for concrete, including formwork & reinforcement.
- All labour for masonry, including formwork & reinforcement.
- All labour for brickwork, including formwork & reinforcement.
- All labour for plastering, including formwork & reinforcement.
- All labour for rendering, including formwork & reinforcement.
- All labour for painting, including formwork & reinforcement.
- All labour for electrical, including formwork & reinforcement.
- All labour for plumbing, including formwork & reinforcement.
- All labour for carpentry, including formwork & reinforcement.
- All labour for ironing, including formwork & reinforcement.
- All labour for window work, including formwork & reinforcement.
- All labour for door work, including formwork & reinforcement.
- All labour for roof work, including formwork & reinforcement.
- All labour for floor work, including formwork & reinforcement.
- All labour for wall work, including formwork & reinforcement.

- The following Trade will be separate contracts, but will still fall within the Main Contractor's responsibility and the cost must be included in the overall Tender price. Access to the site must be negotiated with the Main Contractor.
- Aluminium Doors & Windows as well as Glazing, Glass Sealing of Aluminium etc.
 - Supply of ceiling, floor & wall finishes. This is to be done by a recognized contractor.
 - Electrical & Plumbing Work.
 - Installation of Shower doors, Panels & Mirrors.
 - Alarm System.
 - TV Installation.
 - Internal and external lighting.

Compliance to Health & Safety Measures:
The main contractor (The client and the Contractor) have to comply with the following:
Occupational Health & Safety Act No. 95 of 1993 as amended by the Occupational Health & Safety Amendment Act No. 181 of 1993; the Construction Regulations No. R1702 of 18 June 2005; General Administrative Regulations, 2003, No. 909 of 23 June 2005; General Safety Regulations, 1989 (No. R103) of 20 May 1989; and all other Regulations that might be applicable.

- Foundations:**
- Site as shown on sections.
 - Dist. of 100mm between retaining walls spaced 200mm apart continuous to foundation level.
 - The entire ground floor slab, cast in 100mm thick concrete with 100mm concrete base.
 - All foundation details to be confirmed as per Engineer specifications.
 - Excavating foundations to be checked by engineer.
- Floors:**
- 25 mm Sarned laid on 100mm concrete base on a 250 Mpaas Damp Proof Membrane.
 - FFing under floor slab composed in 100mm layers.
 - The entire ground floor slab, cast in 100mm thick concrete with 100mm concrete base.
 - Change pipes passing underneath floor and foundations must be cast in 300mm by 300mm concrete slabs.
 - All required drainage pipes must be cast into concrete slab.
 - No staining or 40mm on 100mm pipe work will be permitted in the concrete floor.
 - Suspended floors as per engineer.

- Walls:**
- External walls 200mm by City's Commission.
 - Internal walls 100mm thick.
 - Walls built with brickwork.
 - Walls plastered smooth - Wood float finish.
 - Substrate every slope concrete below floor level above openings cavity bridged with 200mm brickwork.
 - 250 Mpaas DPC around doors, windows & floor level.
 - DPC of floor level must be stepped in at least 100mm on each side of the door.
 - DPC to be stepped in conjunction with window which should be formed every 1000mm.
 - Process concrete blocks over all openings away from positions where a reinforced concrete beam is shown.

- Roof:**
- Colour bond "Micro-ride" not shalving as indicated.
 - Roof sheet must be as indicated by means.
 - Roof to be supported with adequate timber purlins and drainage.
 - Fasteners - standard zinc coated.
 - Only 8mm dia. bolts must be used to secure "Micro-ride" sheeting and should be spaced evenly and evenly.
 - Truss members to manufacturer's specifications.
 - Trusses fixed on 150mm x 75mm wall plate with 12x200mm Galv. straps cast 100mm into brickwork cavity with concrete.
 - Beams 8 x 8 cast in concrete.
 - Concrete min 20 Mpa strength or as otherwise specified by engineer.
 - Reinforcing details, size of beams and concrete slab to structural engineer specifications.
 - Roof slab to be 100mm on indication.
 - Waterproofing of roof to be completed by specialist applicator.
 - Allow for 50mm layer of 10-20mm crushed stone chips onto 80mm Laminboard insulation showing onto the concrete roof.

- Floor Finishes:**
- Refer to detailed specifications and section details.
- Doors/Windows:**
- All gutters & downpipes to be aluminium.
 - Water position of downpipes to be indicated.
 - Faltnote outside 110mm wide outlet type.
 - Faltnote outside connected to 110mm PVC.
 - Downpipes and all joints to be glued with "Tegul" PVC glue.
- Cellings:**
- 8mm x 20mm gypsum ceiling where specified.
 - Downing fixed to 20x25 timbering at 300mm.
 - Underlay of concrete slabs to be indicated.
- Compartments:**
- Polyethylene membrane to weath's check.

- Plumbing & Drainage:**
- Sanitary connections point as shown on site plan to appropriate seal and must first be determined before any drainage is laid out.
 - Soil pipes 100mm, waste pipes 40mm.
 - Take particular care where pipes and conductors to obscure pipes are for protection.
 - Only 1/2" Copper piping to be used for hot & cold water system.
 - Polypropylene to be used for hot water supply from water meter to its dwelling and for garden taps.
 - Plumber to ensure that a balanced water pressure system is installed.
 - Washing machine, dishwasher outlets to be fitted with traps.

Continuation & Movement Joints:

- In conjunction with the engineer designing the concrete deck & beams, the contractor must determine the position of any required movement joint, as well as the seal.

Sanitaryware & Taps:

- Plumber to ensure that all sanitaryware is protected from scratching or damage.
- All taps are to be fixed at appropriate depth and to be in line.

Gas Installation:

- All gas pipes must be minimum 32mm dia up to partitions.
- Gas pipes to be installed as per specifications.
- Existing boundary wall to be reinforced, if needed on both sides must be built over existing boundary wall on same line sitting.
- All required pipes must be protected by colour of wall.

Shower Doors/panels:

- All the shower doors / panels to be toughened safety glass.

Bedroom Accessories:

- Main Contractor is to supply Bedroom Accessories.

Windows & Doors:

- Windows & doors to be powder coated Aluminium.
- Aluminium equipment to be per relevant design.
- Aluminium equipment to be high all windows with traps and property plastic where possible and include Contractor's name on the covers are kept in good order.

Door Furniture & Ironmongery:

- Ensure that all door furniture and ironmongery is protected and kept free from paint.

Traps:

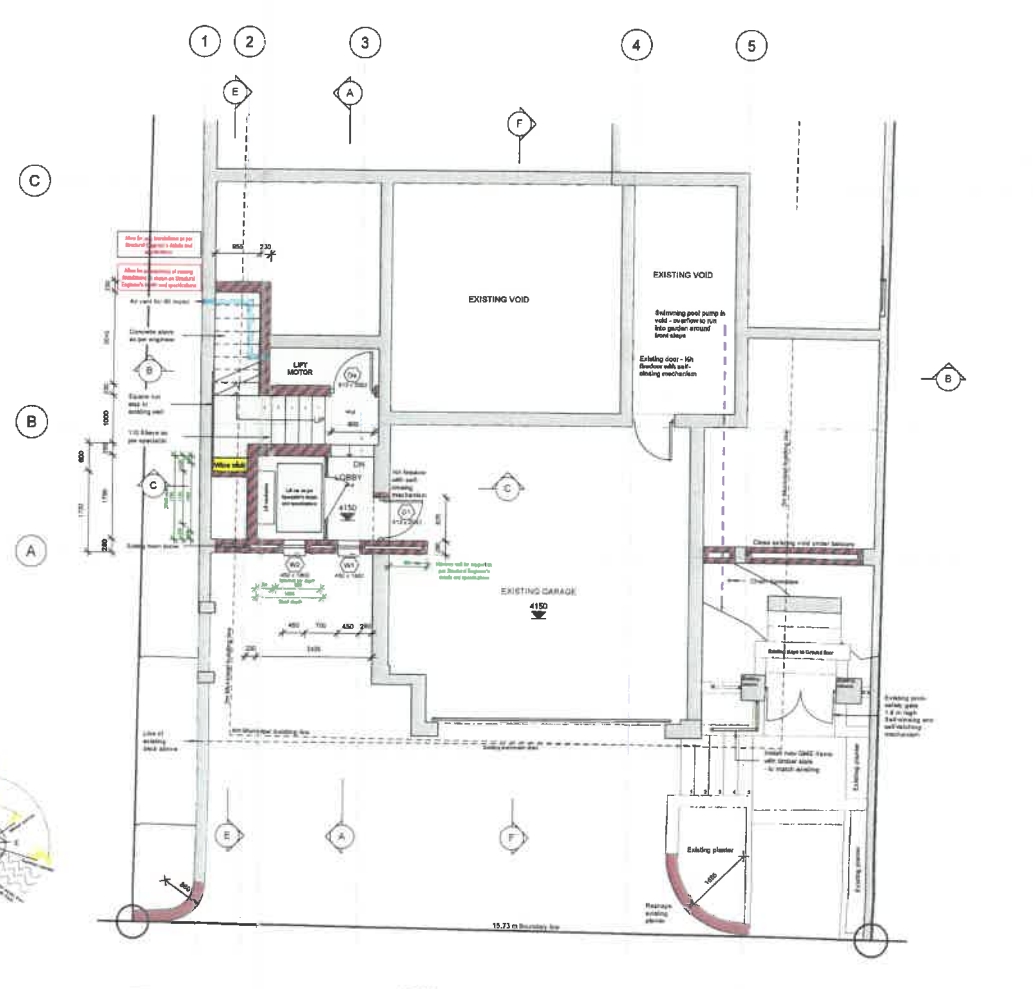
- Showers fixed floor to ceiling - like to be divided later.

Bedroom & Kitchen Cupboards:

- Bedroom & Kitchen cupboards as shown on plan.
- Allow for exterior canopy walls as shown on the outside.
- Draw & Hub supplied by client.

General:

- All signs are to be cast in e.g. Brass or other galvanized metal.
- All exposed nails are to be painted and filled, or otherwise covered to be in line.
- Excess mortar must be in the neatly spaced, and not with any hammer or screw bit material.
- Only SABS approved materials and workmanship will be permitted on site.
- No dimensions are to be used. Any variations in size and in the plan must be discussed with the project manager.



GARAGE / BASEMENT PLAN
1 : 50

NOTES:

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ARCHITECTURAL OFFICE
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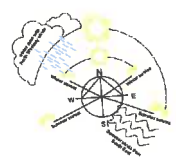
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1	Issue and layout drawings	11/08/2012
2	Revised drawings	11/08/2012
3	Revised drawings	11/08/2012
4	Revised drawings	11/08/2012
5	Revised drawings	11/08/2012
6	Revised drawings	11/08/2012
7	Revised drawings	11/08/2012
8	Revised drawings	11/08/2012
9	Revised drawings	11/08/2012
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14	Revised drawings	11/08/2012
15	Revised drawings	11/08/2012
16	Revised drawings	11/08/2012
17	Revised drawings	11/08/2012
18	Revised drawings	11/08/2012
19	Revised drawings	11/08/2012
20	Revised drawings	11/08/2012

archoffice@maxtec.co.za	
DRAWN BY: Mercedes Marais - P04851948	
CHECKED BY: Gert Engelbrecht - 671338	
PROJECT: LIAISON TRUST	
CLIENT: LIAISON TRUST	
ADDRESS: 61 Alameda Drive Coast Road	
DATE: 28 November 2012	SCALE: 1:50
REVISION: 16	



GROUND FLOOR FFL
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NOTES:

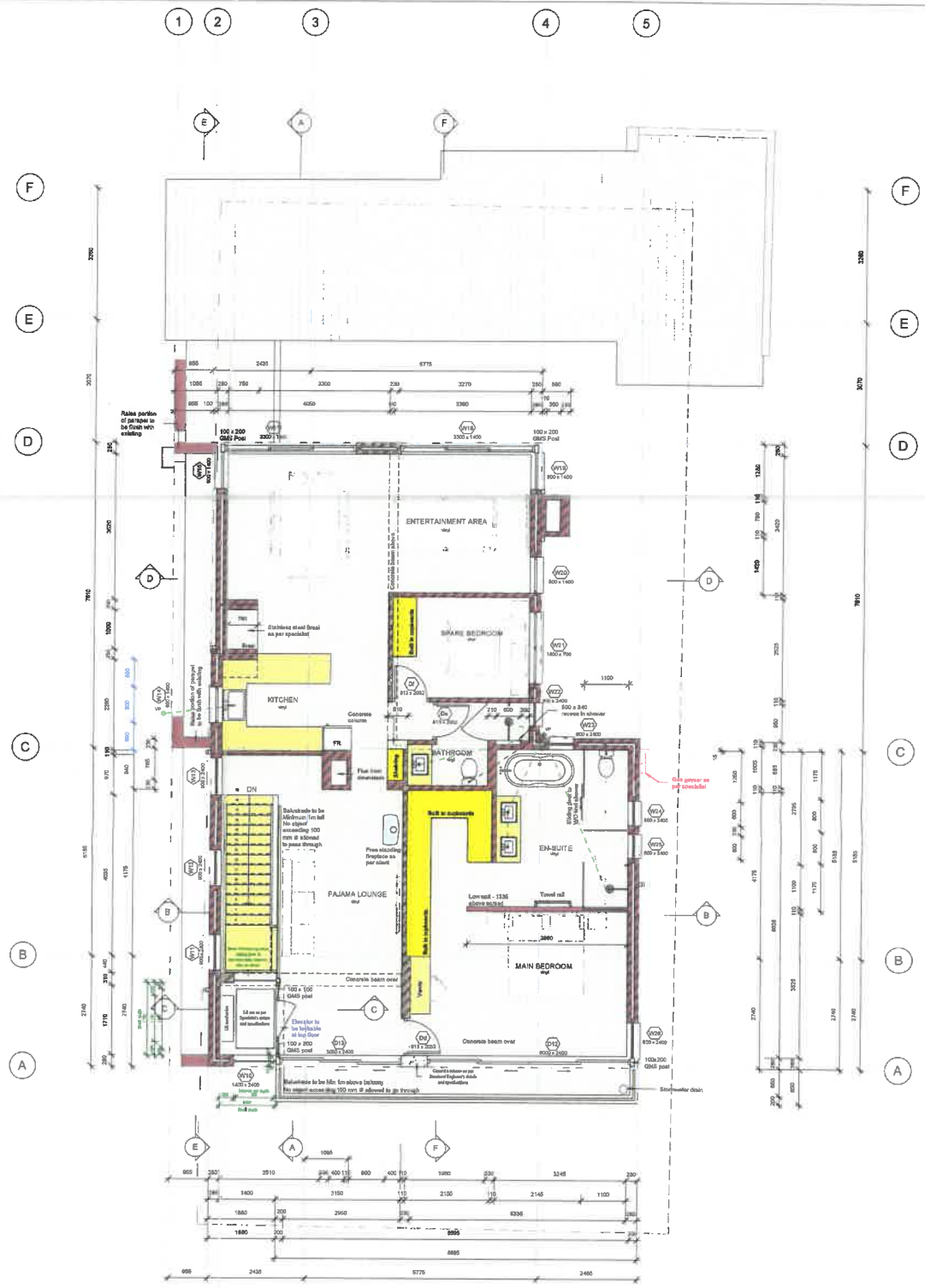



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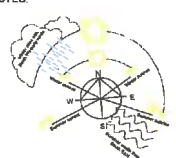
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1	Issue and Introduction Sheet	14 Nov 20
2	Issue	27 Nov 20
3	Issue	27 Nov 20
4	Issue	27 Nov 20
5	Issue	27 Nov 20
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7	Issue	27 Nov 20
8	Issue	27 Nov 20
9	Issue	27 Nov 20
10	Issue	27 Nov 20
11	Issue	27 Nov 20
12	Issue	27 Nov 20
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14	Issue	27 Nov 20
15	Issue	27 Nov 20
16	Issue	27 Nov 20
17	Issue	27 Nov 20
18	Issue	27 Nov 20
19	Issue	27 Nov 20
20	Issue	27 Nov 20

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DRAWN BY:	Stephan Steyn Project Self-Start
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PROJECT:	LIAN/RN TRUST
CLIENT:	LIAN/RN TRUST
ADDRESS:	51 Alhambra Drive Dunoon-Rose
ENV:	2504
PHASE DESCRIPTION:	PROJECT AND PHASE NUMBER
Ground Floor Plan	21174_41-42
DATE:	SCALE:
20 November 2023	1 : 50
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FIRST FLOOR
1 : 50

NOTES:



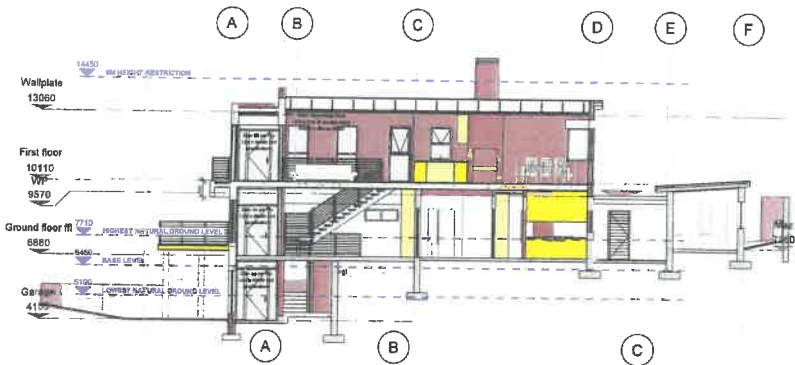
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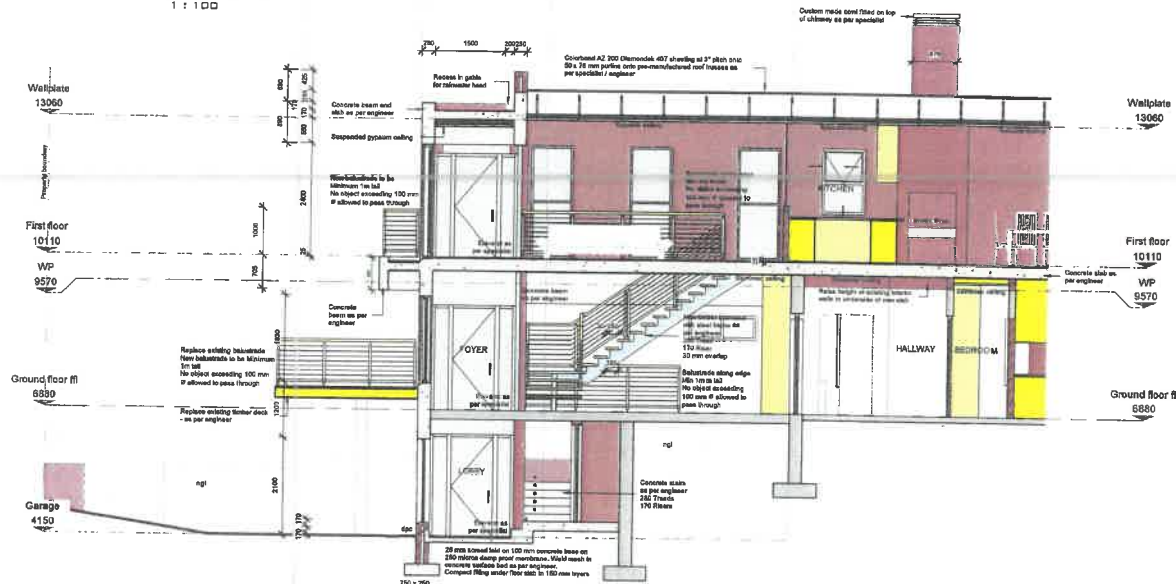
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Rev	Description	Date
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2	Issue and Start Shop Drawings	27 Feb 20
3	Issue and Start Shop Drawings	27 Feb 20
4	Issue and Start Shop Drawings	27 Feb 20
5	Issue and Start Shop Drawings	27 Feb 20
6	Issue and Start Shop Drawings	27 Feb 20
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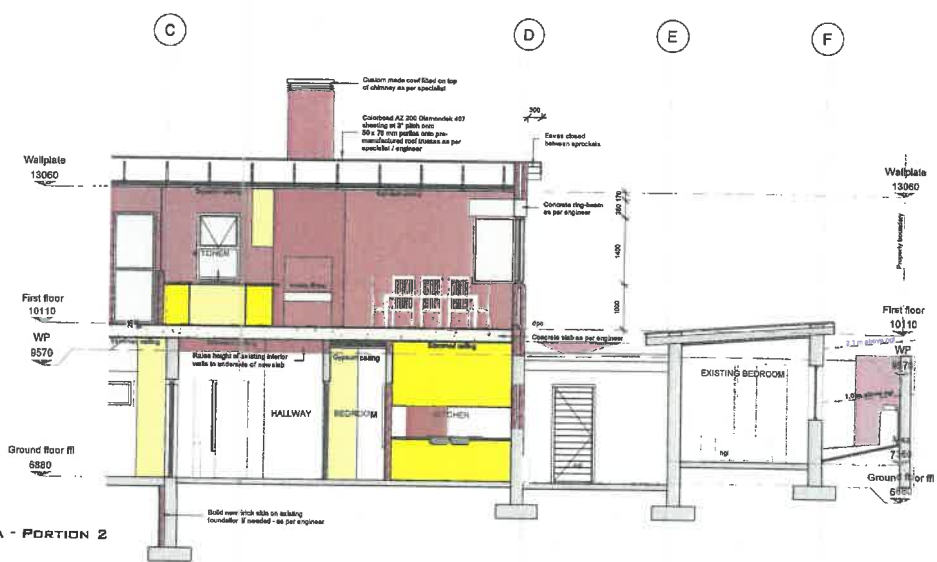
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PAGE DESCRIPTION:	PROJECT AND PAGE NUMBER
DATE:	28 November 2022
SCALE:	1 : 50
REVISION:	12



SECTION A-A
1 : 100



SECTION A-A - PORTION 1
1 : 50



SECTION A-A - PORTION 2
1 : 50

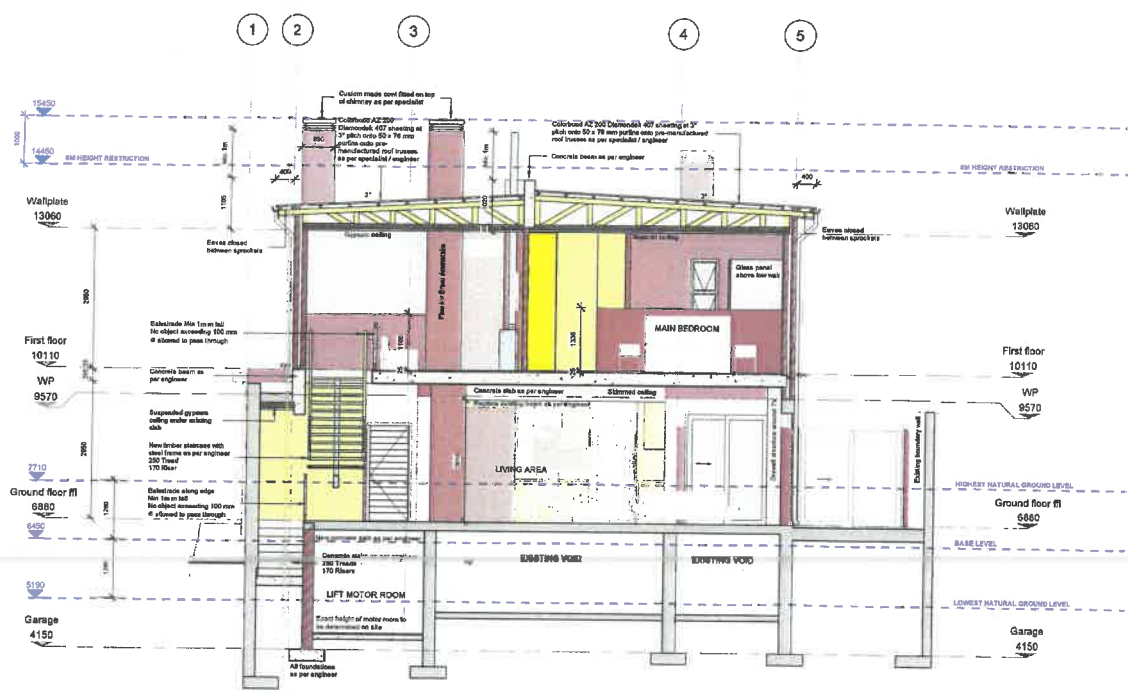
NOTES:


ENSELBRICHT & GEORGIE
 ARCHITECTURAL OFFICE
 48 West Hill, Central Durban - P.O. Box 181 - Durban, South Africa
 Tel: 031 284 2004 • Fax: 031 284 3800 • archoffice@maxitrac.co.za
 Members of Engineers & Surveyors of South Africa

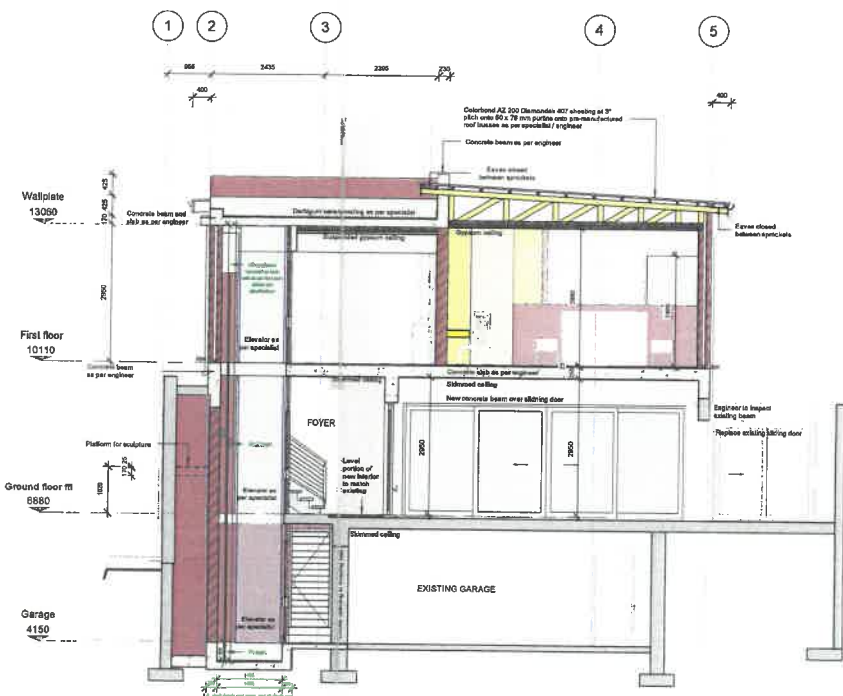
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Rev	Description	Date
1	Issue and format drawings	10 Nov 2021
2	Revised contract	17 Jan 22
3	Revised drawings	18 Jan 22
4	Revised drawings	27 Jan 22
5	Revised drawings	18 Feb 22
6	Revised drawings	19 Feb 22
7	Revised drawings	22 Feb 22
8	Revised drawings	23 Feb 22
9	Revised drawings	23 Feb 22
10	Revised drawings	23 Feb 22
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41	Revised drawings	23 Feb 22
42	Revised drawings	23 Feb 22
43	Revised drawings	23 Feb 22
44	Revised drawings	23 Feb 22
45	Revised drawings	23 Feb 22
46	Revised drawings	23 Feb 22
47	Revised drawings	23 Feb 22
48	Revised drawings	23 Feb 22
49	Revised drawings	23 Feb 22
50	Revised drawings	23 Feb 22

archoffice@maxitrac.co.za	
DRAWN BY:	Mackie Meeus Project 6421048
CHECKED BY:	Geoff Spalding 471786
PROJECT:	LIANNE TRUST
CLIENT:	LIANNE TRUST
ADDRESS:	11 Albert Drive Durban
REF:	2884
PROJECT DESCRIPTION	PROJECT AND PAGE NUMBER
Section A-A	1 OF 4
DATE	SCALE
28 November 2022	As Issued
REVISION	14



SECTION B-B
1 : 50



SECTION C-C
1 : 50

NOTES:

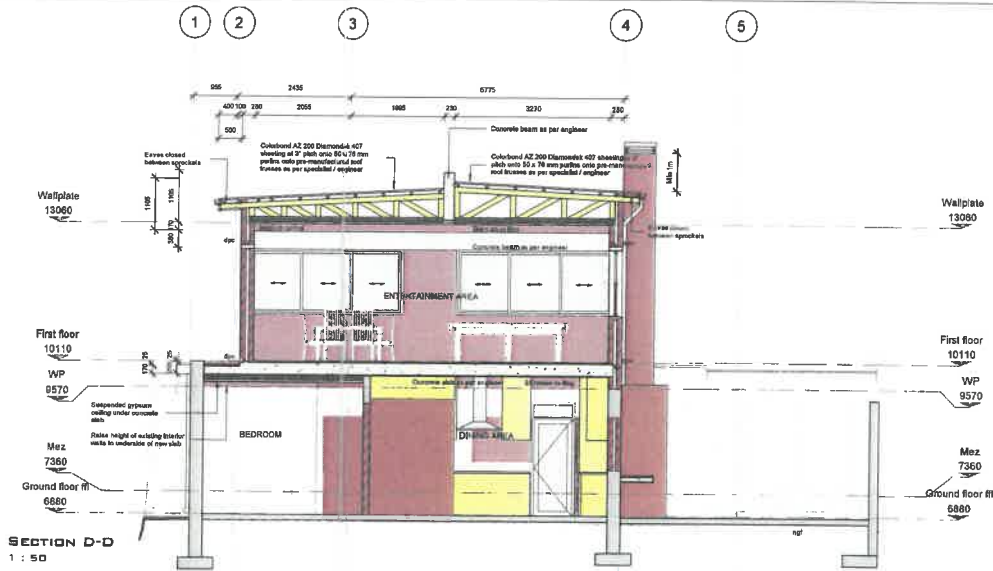
Blank area for notes.


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 ARCHITECTURAL CPY FILE
 68 Glen St, Central Reef • PO Box 181 • Central Reef 2201
 Tel 022 818 2024 • Fax 022 814 2200 • arch@enselbrecht.co.za
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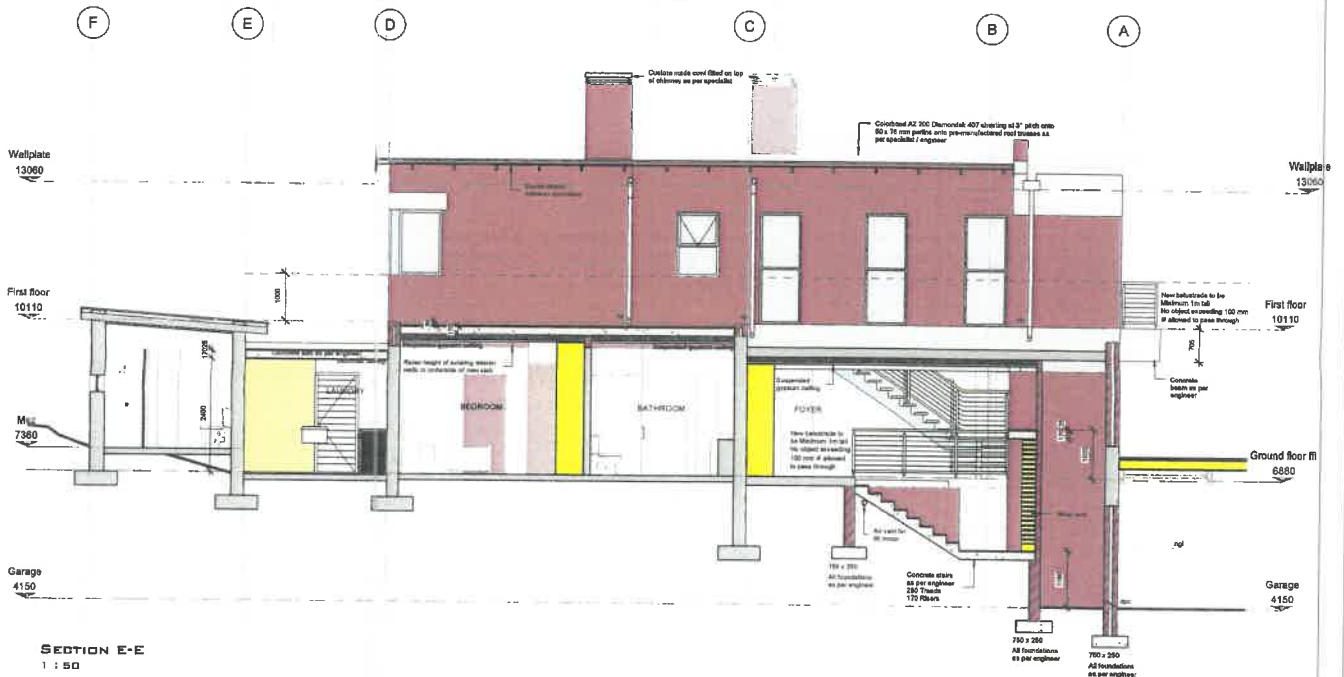
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Rev	Description	Date
1	Issue for tender documents	15 Aug 21
2	Issue for design	27 Aug 21
3	Issued for M&E	02 Sep 21
4	Issued for M&E	05 Sep 21
5	Issued for M&E	16 Sep 21
6	Issue for M&E	17 Sep 21
7	Issue for M&E	29 Sep 21
8	Issue for M&E	13 Oct 21
9	Issue for M&E	14 Oct 21
10	Issue for M&E	13 Nov 21
11	Issue for M&E	13 Nov 21
12	Issue for M&E	01 Dec 21
13	Issue for M&E	24 Dec 21
14	Issue for M&E	24 Dec 21
15	Issue for M&E	27 Dec 21
16	Issue for M&E	11 Jan 22

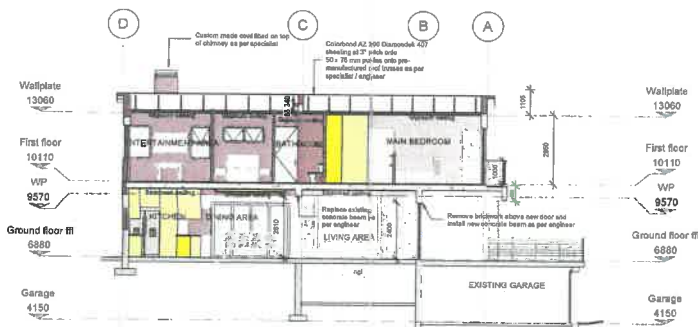
archoffice@maxtec.co.za	
DRAWN BY:	Masha Adams - Project S&C Issues
CHECKED BY:	Carl Engelbrecht - S1102
PROJECT:	LIANN TRUST
CLIENT:	LIANN TRUST
ADDRESS:	51 Almond, Cape Drive Reef
ENV:	2504
PAGE DESCRIPTION:	SECTION B-B AND C-C
PROJECT AND PAGE NUMBER:	S1102_A1104
DATE:	20 November 2022
SCALE:	1:50
REVISION:	51



SECTION D-D
1 : 50



SECTION E-E
1 : 50



SECTION F-F
1 : 100

NOTES:

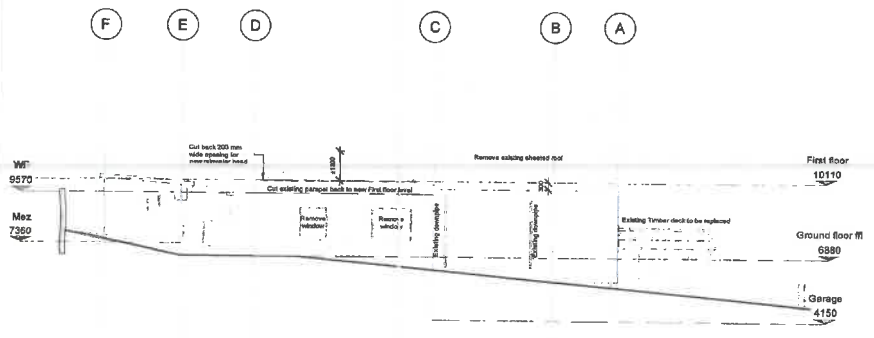
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48 West Nile Street, Rosebank - PO Box 101 - Durban Road 2021
Tel: 031 294 2294 / Fax: 031 294 2222 - info@engelscorie.co.za
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CR 2009000000

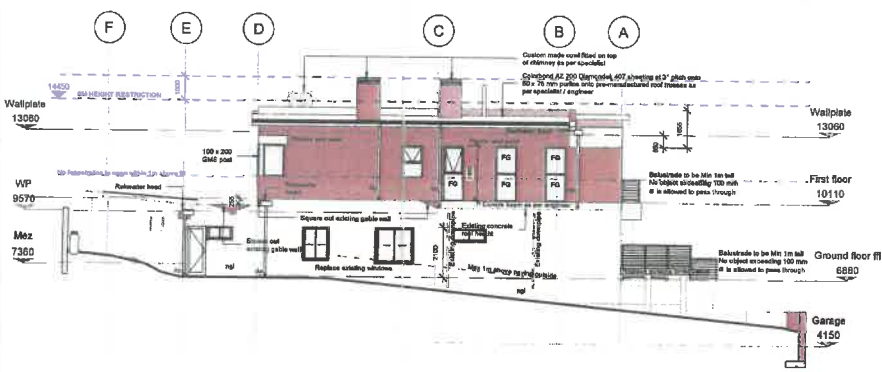
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Rev	Description	Date
1	Issue and format final plans	18 Nov 21
2	Issue of floor	27 Nov 21
3	Change of floor	27 Nov 21
4	Change of floor	27 Nov 21
5	Change of floor	18 Nov 21
6	2nd floor	18 Nov 21
7	2nd floor	20 Nov 21
8	Change of floor	11 Nov 21
9	Change of floor	12 Nov 21
10	Change of floor	27 Nov 21
11	Change of floor	27 Nov 21
12	Change of floor	27 Nov 21
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18	Change of floor	27 Nov 21

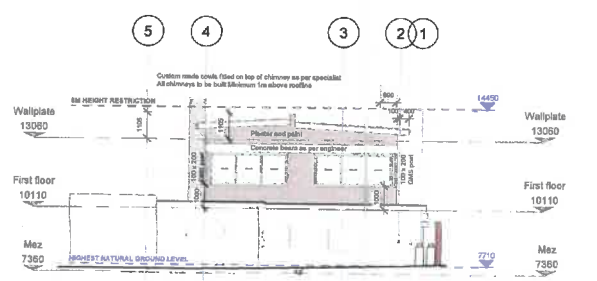
archoffice@maxtec.co.za	
DESIGNED BY:	Melika Mhoni - Project Sub-Manager
CHECKED BY:	Corey Engelnorth - 837938
PROJECT:	LIANNI TRUST
ADDRESS:	11 Albany Drive Claremont
ENR:	2025
PAGE DESCRIPTION:	Structural D-D, E-E & F-F
PROJECT AND PAGE NUMBER:	LIANNI TRUST 1/111, H107
DATE:	28 November 2022
SCALE:	As indicated
REVISION:	18



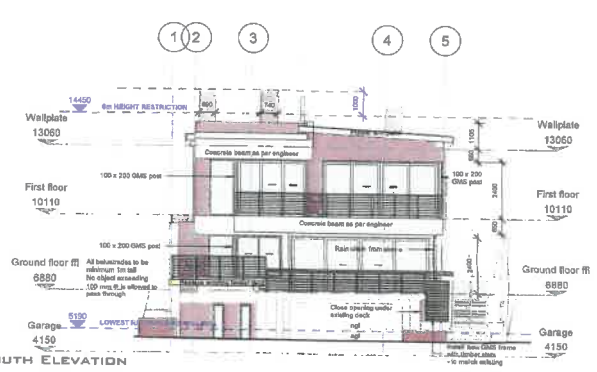
WEST ELEVATION - BEFORE
1 : 100



WEST ELEVATION - AFTER
1 : 100



NORTH ELEVATION
1 : 100



SOUTH ELEVATION
1 : 100

NOTES:

ENGELBRECHT & SCORBIE
ARCHITECTURAL OFFICE

48 Main Rd. Grand Reef • PO Box 100 • Central Reef 7200
Tel: 031 914 3304 • Fax: 031 914 2500 • info@eas.co.za
Members: G. Engelbrecht & B. Scobie
G. Scobie (Pretoria)

Rev	Description	Date
1	Initial design	21 Aug '21
2	Revised design	21 Aug '21
3	Revised design	21 Aug '21
4	Revised design	21 Aug '21
5	Revised design	21 Aug '21
6	Revised design	21 Aug '21
7	Revised design	21 Aug '21
8	Revised design	21 Aug '21
9	Revised design	21 Aug '21
10	Revised design	21 Aug '21
11	Revised design	21 Aug '21
12	Revised design	21 Aug '21
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14	Revised design	21 Aug '21
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16	Revised design	21 Aug '21
17	Revised design	21 Aug '21
18	Revised design	21 Aug '21
19	Revised design	21 Aug '21
20	Revised design	21 Aug '21

archoffice@maxfile.co.za

DESIGNED BY: Morika Steels Pouch, Salford

CHECKED BY: Gert Engelbrecht, ET1003

PROJECT: LIANRI TRUST

CLIENT: LIANRI TRUST

ADDRESS: 51 Avenue One, Grand Reef

EDP: 2006

DATE: 28 November 2022

SCALE: 1 : 100

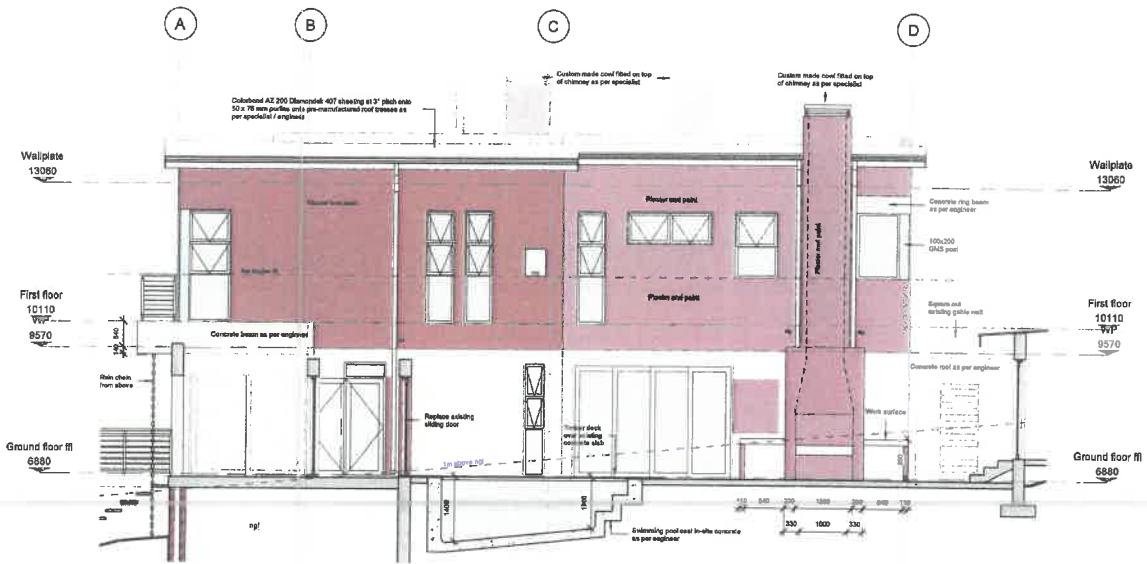
PROJECT AND PAGE NUMBER: 21174_41-008

DATE: 28 November 2022

SCALE: 1 : 100

FIGURE: 16

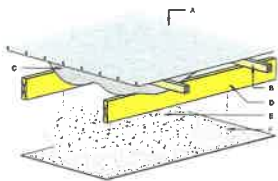
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SECTION G-G
1 : 50

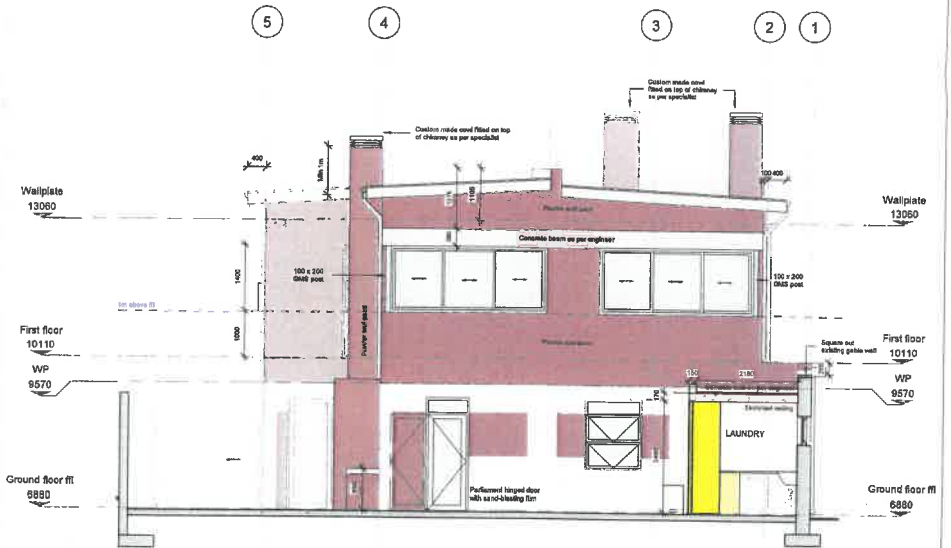
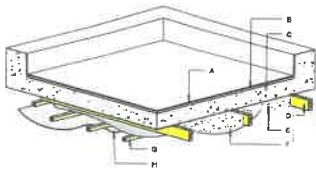
ROOF INSULATION DETAIL 1

A	OUTSIDE AIR FILM	0.033
B	DAKBOARD 407 SHEETING	0.033
C	50 X 75 PURLING	0.080
D	DOUBLE SIDED RADENSHIELD	1.850
E	TRIMMER BEAMS	0.030
F	ROOF AIR SPACE	2.040
G	100 MM ISOTHERM	0.032
H	8 MM MFC CEILING BOARD	0.110
I	INDOOR AIR FILM	0.100
	TOTAL	4.500



ROOF INSULATION DETAIL 2

A	OUTSIDE AIR FILM	0.033
B	CERAMIC WATERPROOFING	0.010
C	400 X 200 RADENSHIELD	0.080
D	800 X 1200 CONCRETE SLAB	0.130
E	30 X 118 TRIMMER BEAMS	0.030
F	100 MM ISOTHERM	2.040
G	DOUBLE SIDED RADENSHIELD	1.850
H	25 X 28 SPACERS	0.032
I	8 MM SYSTEM CEILING	0.110
J	INDOOR AIR FILM	0.100
	TOTAL	4.422



SECTION H-H
1 : 50

NOTES:



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Rev	Description	Date
01	Issue and issue with sheets	10 Aug 21
02	Revised drawing	10 Aug 21
03	Revised drawing	10 Aug 21
04	Revised drawing	10 Aug 21
05	Revised drawing	10 Aug 21
06	Revised drawing	10 Aug 21
07	Revised drawing	10 Aug 21
08	Revised drawing	10 Aug 21
09	Revised drawing	10 Aug 21
10	Revised drawing	10 Aug 21
11	Revised drawing	10 Aug 21
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13	Revised drawing	10 Aug 21
14	Revised drawing	10 Aug 21
15	Revised drawing	10 Aug 21
16	Revised drawing	10 Aug 21
17	Revised drawing	10 Aug 21
18	Revised drawing	10 Aug 21
19	Revised drawing	10 Aug 21
20	Revised drawing	10 Aug 21

<p>archofice@maxtec.co.za</p>	
<p>DESIGN BY: Ivanhoé Mouton - Ph: 031 561 9444</p>	<p>CHECKED BY: Gert Engelenhorst - 071 888 4111</p>
<p>PROJECT: LJAANR TRUST</p>	<p>CLIENT: LJAANR TRUST</p>
<p>ADDRESS: 21 Avenue Drive Durban West</p>	<p>PROJECT AND TRADE NUMBER: 21174-03-08</p>
<p>DATE: 28 November 2022</p>	<p>SCALE: As indicated</p>
<p>PROJECT: 18</p>	<p>PROJECT: 18</p>