



ERF 2819, 157 TENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF FJ KLOMP

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received for a departure in terms of Section 16(2)(b) of the By-Law, to relax the eastern lateral building line from 2m to 1.245m, to accommodate proposed additions and alterations to the existing dwelling.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **Friday, 13 December 2024**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Town Planner, Mr P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 2819, TIENDESTRAAT 157, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: MNRE PLAN ACTIVE STAD -EN STREEKSBEPLANNERS NAMENS FJ KLOMP

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is vir 'n afwyking ingevolge Artikel 16(2)(b) van die Verordening, om die oostelike lateraleboulyn te verslap vanaf 2m na 1.245m, om voorgestelde alterasies en aanbouings tot die bestaande woning te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige skriftelike kommentaar moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) bereik voor of op **Vrydag, 13 Desember 2024**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Stadsbeplanner, Mnr P Roux** 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA ESINGU-ERF 2819, 157 TENTH STREET, VOËLKLIP, HERMANUS, KUMMANDLA KAMASIPALA WASE-OVERSTRAND: ISICELO NGOKWAHLULA: NGABANUM BAKWAPLAN ACTIVE TOWN & REGIONAL PLANNERS EGAMENI LIKA-FJ KLOMP

Kukhutshwe isaziso esimayela nemiba yeSoloty lama-48 Omthethwana kaMasipala wase-Overstrand Ngezicwangciso Zokusetyenziswa koMhlaba kaMasipala nokuSetyenziswa koMhlaba ku2020 (Umthethwana), isaziso esi sithi kufunyenwe isicelo sokwahlula ngokwemiba yeSoloty le16(2)(b) loMthethwana, ukunyenya umgca wesakhiwo omelene mogca wesakhiwo ukusuka kwiimitha ezi-2m ukuya ku-1.245m, ukulungiselela izongezo nezilungiso esele zikhona kwindawo yokuhlala.

linkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi ukususela phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: Izicwangciso zeDolophu, Paterson Street, Hermanus. Naziphi izimvo ezibhaliweyo mazingeniswe ngowezibonelelo zeSoloty lama-51 nelama-52 loMthethwana ochazwe ngentla zifike kwaMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi komhla **Lwesihlanu, 13 EyoMnga 2024**, uchaze igama lakho, idilesi yakho neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zakho zokuhlomla. Imibuzo ngefowuni ingabuzwa ku**Mcwangcisi Omkhulu weDolophu, Mnu P Roux** kwa-028-313 8900. UMasipala angala ukwamkela izimvo ezifunyenwe emva komhla wokuvala. Nabani na ongakwazi ukufunda nokubhala angaya kwiSebe Lezicwangciso zeDolophu apho igosa likamasipala liza kumnceda ukuhlomla ngokusemthethweni.





Scale: NTS
 Drawing Nr: harm2819.dwg
 Date: AUGUST 2024

File Description:
LOCALITY MAP

Property Description:
**ERF 2819
 HERMANUS**

All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

PIAⁿ Active
 Stads- en Streeksbeplanners
 Town & Regional Planners



PROPOSED DEPARTURE
ERF 2819 HERMANUS
OVERSTRAND MUNICIPALITY

MOTIVATION REPORT

1. BACKGROUND

Plan Active Town & Regional Planners has been appointed by F.J. Klomp, the owner of erf 2819 Hermanus, to apply for the departure of the subject property.

There is an existing approved double storey dwelling on the subject property. The property owner intends to alter and add to the existing dwelling. The planned developments are as follows:

- Garage extension: Expanding the existing garage to accommodate additional space;
- New en-suite bedroom above the garage: Adding residential space above the extended garage;
- Disabled Toilet / Room;
- Braai Area: Creating a designated area for outdoor cooking and entertaining.

These additions will all be located beyond the eastern building line. This application proposes to apply for a departure (building line deviations) to accommodate the proposed alterations and additions.

2. APPLICATION DETAILS

Application is made in terms of:

- Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020, for the **departure** of erf 2819 Hermanus.

3. NEED AND DESIRABILITY

3.1 PROPERTY DESCRIPTION

Erf 2819 Hermanus is situated at 157 Tenth Street, Voëlklip, Hermanus. Refer to the locality plan attached. Erf 2819 Hermanus is 496m² in extent and is held by title deed no. T32933/2016.

The subject property gently slopes in a southerly direction and is characterized by residential structures (dwelling with garage).

3.2 ZONING

Erf 2819 Hermanus has the following land use rights:

ERF NUMBER	ZONING
Erf 2819 Hermanus	Residential Zone 1: Single Residential

Surrounding properties are zoned for single residential and public road purposes.

3.3 LAND USE

There is a double storey dwelling (lower ground and ground floor) with a garage on the subject property.

Land uses that surround the subject property are single residential dwellings and public roads.

3.4 PROPOSAL

The following is proposed:

- The **departure** of erf 2819 Hermanus in terms of Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020, to relax the eastern lateral building line from 2m to 1,245m to accommodate the planned development:
 - Garage extension;
 - New en-suite bedroom above the garage on first floor level;
 - Disabled Toilet / Room;
 - Braai room.

It is proposed to add to and alter the existing dwelling and garage on the subject property. The planned development will however encroach the 2m eastern lateral building line.

Erf 2819 Hermanus is situated in Voëlklip, known for its smaller property sizes. Before the latest land use scheme regulations were promulgated, the subject property was developed in line with the land use parameters of the previous Hermanus Zoning Scheme. The aforementioned allowed for 1,2m lateral building lines where the frontage of an erf is less than 18m (which is the case for the subject property). The owner intends to add to and where applicable alter the existing structures – which will entail that the extensions and additions be undertaken on the same less restrictive building line of the approved dwelling and garage.

To accommodate the planned development, an application is submitted for a departure

to relax the eastern lateral building line from 2m to 1,245m to accommodate the:

- Garage extension;
- Disabled Toilet / Room;
- New en-suite bedroom above the garage on first floor level;
- Braai room.

3.4.1 Extended garage and disabled toilet / room

The garage will be extended in length and width and will be 5,119m x 5,9m. The total extent of the garage will be 25,7m². The extension of the garage in width is to accommodate the new staircase to give access to the proposed new en-suite bedroom to be situated above the garage. No windows will be placed in the eastern garage wall facing the neighbours, only an entrance door as shown on the ground floor plan and elevations.

The garage is extended in length to fit a new disabled room with toilet at the back of the garage. A portion of the existing garage therefore changes use to a disabled room with toilet. The proposed disabled room with toilet will encroach the eastern lateral building line since this structure follows the building line of the existing dwelling and proposed extended width of the garage.

A small bathroom window will be placed in the toilet facing the eastern erf boundary as depicted on the ground floor plan and elevations. The extended garage is interleading with the existing dwelling and proposed new en-suite bedroom. As a result (and as confirmed by Overstrand Municipality's town planning department), the title deed street building line applicable to outbuildings does not have to be removed to accommodate the proposed extended garage with staircase. The extended garage does not exceed the maximum permissible length, width or height (garage / ground floor only) for the consideration of a garage within the lateral building line. Refer to the ground floor plan below showing the extended garage, staircase and disabled room with toilet:

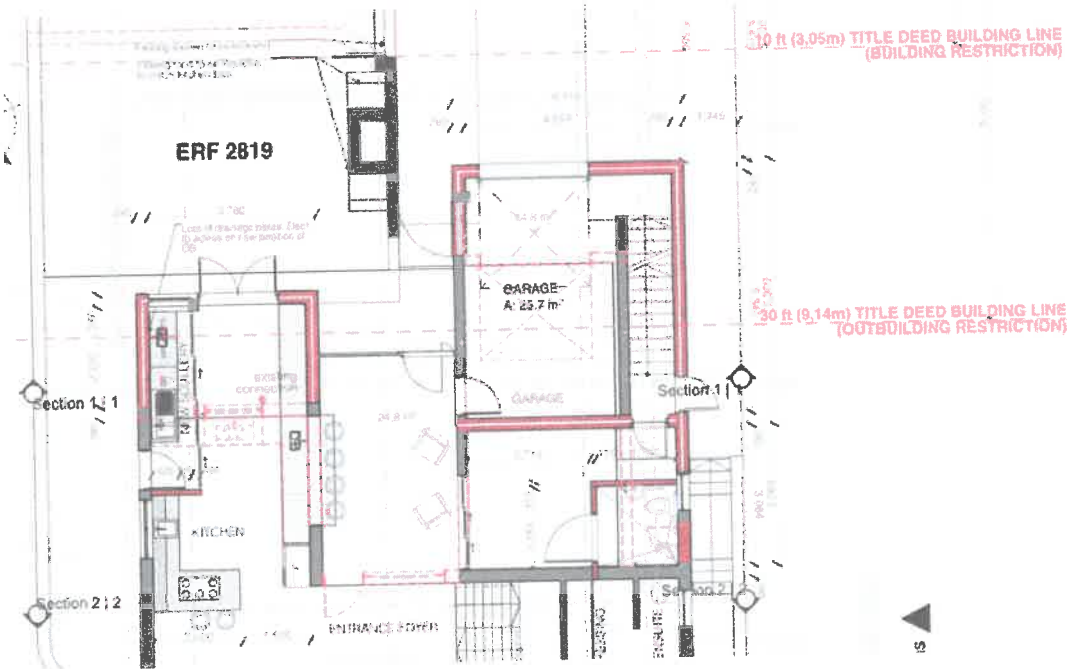


Image 1: Ground floor layout of new extended garage and disabled room with toilet

3.4.2 New en-suite bedroom

A new en-suite bedroom is proposed to be situated above the extended garage. The owner plans to align with the existing lateral building line of the approved structures, which already encroach on the eastern lateral building line. This encroachment is due to the previous, less restrictive lateral building line of 1.2 meters that was in place. Structurally it will not be possible to step the en-suite bedroom on top of the garage to adhere to the 2m eastern lateral building line due to the position of the new staircase on that erf boundary. It is therefore proposed to deviate from the 2m eastern lateral building line to accommodate the new en-suite bedroom with kitchenette and balcony on top of the garage (on first floor level).

No windows or doors are proposed in the wall facing the eastern erf boundary, or in the section of the structure that encroaches the eastern lateral building line. The new en-suite bedroom will be 35,2m² in extent and is interleading with the existing dwelling as depicted on the site development plan. The proposed en-suite bedroom and balcony do not encroach the land use scheme or title deed *street* building lines as is evident on the site development plan. The total height of the dwelling to top of roof of the en-suite bedroom addition to be situated above the extended garage will be 6,766m as indicated on the elevation plans. Refer to the floor layout plan indicating the new bedroom on first floor level:

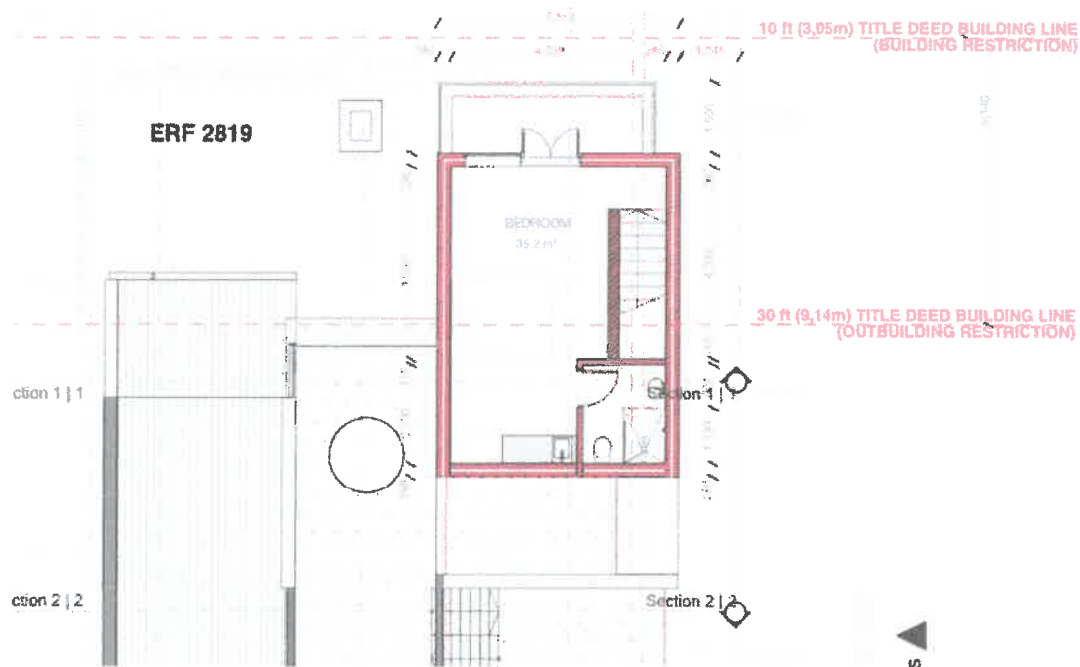


Image 2: First floor layout plan showing the proposed en-suite bedroom

3.4.3 Braai room

Lastly, the owner proposes to extend the building on the southern side by extending the stoep and enclosing it to develop a new indoor braai area / entertainment room. The new braai room will merely follow the existing building line of the dwelling and stoep (which already encroaches the 2m eastern lateral building line). As a result, the new braai room / entertainment area as an extension of the existing stoep will encroach the eastern lateral building line. The extent of the braai room / entertainment area (existing stoep and new braai room) will be 63,5m². No new windows or doors will be placed in the wall facing the eastern erf boundary as depicted on the ground storey plan and elevations. It is largely the proposed braai and chimney that will encroach the eastern lateral building line. Refer to the ground floor plan indicating the new braai room:

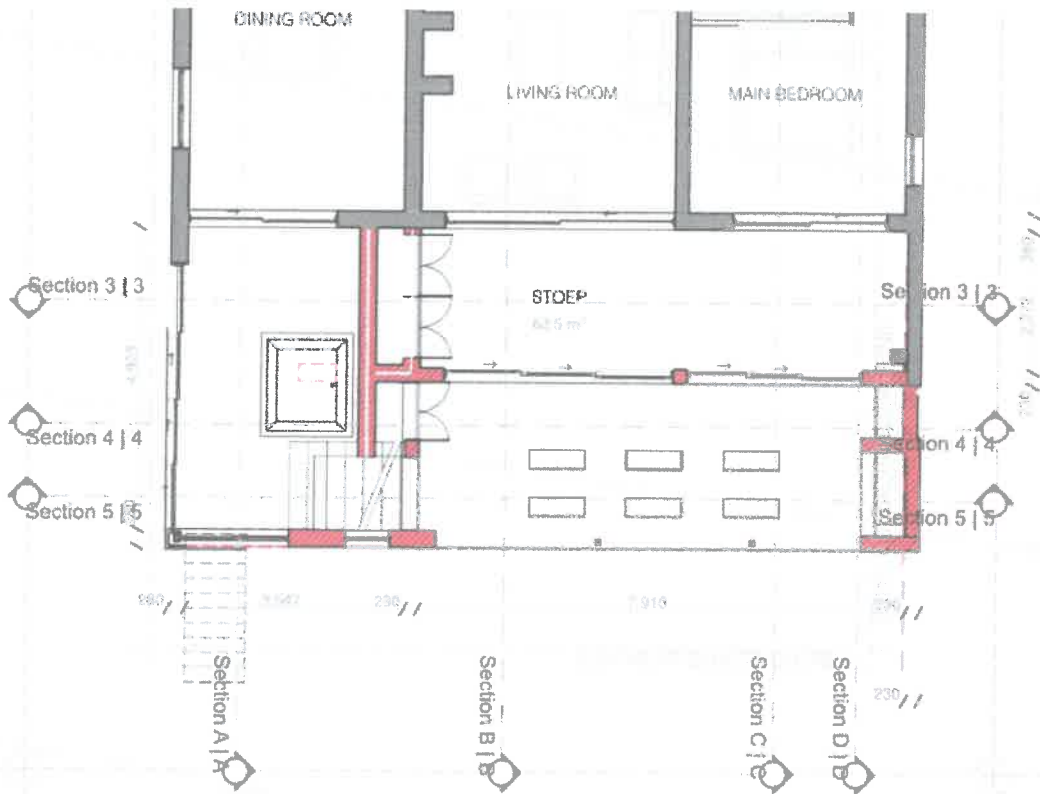


Image 3: Ground floor layout of proposed braai room

3.4.4 General

All the As Built structures that encroach the building line are located on the eastern boundary of the subject property. The structures are visible from neighbouring erven. However, most of the dwellings and outbuildings in this residential block were also constructed closer to the lateral building lines (due to limited property sizes and the previous land use scheme regulations that applied to the area). The position of the dwelling on erf 2819 Hermanus does however not create a negative impact on neighbours' views towards the ocean and mountain.

The following should be noted when considering the proposed structures:

- The materials to be used and the design of the dwelling are aesthetically pleasing;
- The visual impact is considered minimal. The subject property and surrounding properties slope in a southerly direction.
- The proposed additions will form an essential part of the dwelling on the subject property and will add to the aesthetic and property value of the property.

Refer to the attached site development plan, floor layout and elevations.

The proposed application has a low to no impact on the character and property values of the surrounding properties. The redeveloped structure on the subject property will not create an infringement to any passing traffic or public activity due the low impact use of the structures. It is submitted that the massing and height of the redeveloped dwelling are compatible with the character of the area, regardless of the departure being applied for.

The zoning of erf 2819 Hermanus will remain unchanged (Residential Zone I: Single Residential) as well as the primary land use (single residential purposes). The height of all the structures on the subject property will comply with the permissible height requirements for SR1 zoned properties. The planned development (new structures and uses thereof) that encroach the applicable eastern lateral building line, as indicated on the site development plans follows the existing lateral building line of the approved dwelling. The impact on the adjacent property owners and the passers-by will be marginally higher than if these structures were set back and constructed outside of the relevant building line.

The proposed area schedule and coverage for the subject property are as follows:

AREAS:	
EXISTING:	
Lower Ground:	108m ²
Ground Storey:	142m ²
NEW ADDITION:	
Ground Storey:	103m ²
First Storey:	35m ²
TOTAL	388m²
FOOTPRINT	247m ²
ERF	495m ²
COVERAGE	49,9%

The new coverage will be 49,9% (247m²). The total coverage does not exceed the maximum permissible coverage of 50% for SR1 zoned properties.

It is submitted that the proposed development is compatible with the character of the area, does not impact negatively on the rights of anyone else and that no good reason exists for not approving this application. When considering the proposed building line deviation, the point of departure is the need to discourage the phenomenon of urban sprawl and to

encourage densification and more compact towns and cities, all of which relates to more responsible resource use or sustainable development.

The proposed departure of erf 2819 Hermanus is not in contrast to the existing land use tendencies in the surrounding environment and we therefore do not foresee any problems with the proposed application.

3.5 THE POTENTIAL OF THE PROPERTY

The zoning and primary land use of the subject property will remain unchanged. The location of the subject property within a single residential area allows the property to be developed for low impact land uses only (such as bed-and-breakfast establishments, day care, second dwelling, guest house and home occupation uses). The proposed departure will not hinder any possible future land use applications on erf 2819 Hermanus.

The subject property has the potential and allows for the deviations being applied for. The proposed redeveloped structure will meet all other lateral and street building lines, coverage and maximum of 8m height requirement for SR1 zoned properties as depicted on the site development plan. Erf 2819 Hermanus is situated in Voëklip, known for its smaller property sizes. Before the latest land use scheme regulations were promulgated, the subject property was developed in line with the land use parameters of the previous Hermanus Zoning Scheme. The aforementioned allowed for 1,2m lateral building lines and the owner intends to follow the same building line with the proposed additions and alterations. Most erven in Voëklip is developed with dwellings and outbuildings situated closer to lateral erf boundaries due to the extent and width of the erven.

The following should be noted when considering the potential of the site:

- The position of the dwelling on erf 2819 Hermanus does not have a negative impact on neighbours' views towards the ocean and mountain.
- The massing and scale of the proposed development are compatible with the area.

- Except for the eastern lateral building line deviation, all other land use parameters are met.

The scale of the surrounding built environment and the low impact on the streetscape are also factors that must be considered when contemplating the potential of the property to accommodate the departure. The following factors confirm the potential of the property to accommodate the proposed building line deviation:

- Good quality materials will be used for the construction of the dwelling;
- The dwelling will add value to the property and the area.

3.6 ECONOMIC IMPACT

The proposed departure is to accommodate the planned development (alterations and additions) to the existing garage and dwelling on erf 2819 Hermanus. The approval of the encroachment will allow the owner to develop the property in line with the site development plan attached and have a positive impact on the property value of the site. Additionally, the upcoming construction work will create temporary employment opportunities, benefiting the local community.

The proposed building line deviation will have a low but positive impact on the local economy.

3.7 SOCIAL IMPACT

The proposed application will have no impact on the social status quo of the area.

No negative impact on the social wellbeing of the surrounding community is anticipated. It is submitted that the proposed development and completion of the dwelling in its current position on site is compatible with the character of the area and does not impact negatively on the rights of anyone else.

3.8 COMPATIBILITY WITH SURROUNDING LAND USES

The subject property is situated in an existing low-density residential area. The application does not propose to change the zoning or land use of the subject property and therefore the proposal is compatible with the surrounding land uses.

The surrounding properties are developed with single and double storey dwellings and the use of the surrounding properties is for permanent residences and holiday houses. The scale of the proposed development on erf 2819 Hermanus merges well with the scale of the surrounding dwellings in the immediate area.

In addition, to accommodate the proposed additions and alterations encroaching the eastern lateral building line will contribute towards the value of the subject property and consequently have a positive impact on the area. The use of the subject property will remain for residential purposes.

3.9 IMPACT ON EXTERNAL ENGINEERING SERVICES

All services on the subject property already exist. The planned development will have no impact on the scale and usage of the existing available services since no additional loading of the existing civil infrastructure is anticipated.

Additional services (if required) will be provided to the satisfaction of the Overstrand Municipality.

3.10 IMPACT ON SAFETY, HEALTH AND WELLBEING OF SURROUNDING COMMUNITY

The proposed departure will have no impact on the general safety and wellbeing of the surrounding community. It is anticipated that one family will occupy the subject property once the development is complete.

Since the proposed departure is not associated with a noxious trade with polluting air emissions the impact on the health of the community will be kept to a minimum.

3.11 IMPACT ON HERITAGE

The application does not involve changing the character of a site larger than 5 000m². Consequently, the proposed application for the departure does not trigger Section 38 of the National Heritage Resources Act, 1999 (Act No. 25 of 1999).

Erf 2819 Hermanus is not situated within the Heritage Protection Overlay Zone as determined by the Overstrand Municipality's Zoning Scheme (2020). The subject property is also not earmarked for heritage conservation purposes with reference to the Overstrand Municipal Growth Management Strategy (2010).

The subject property is not associated with any important persons or groups or important events and activities. The subject property has no association with the history of slavery and is not used for living heritage.

In the light of the above mentioned it is evident that the proposed departure will not have a negative impact on the heritage value of the Voëlklip area.

3.12 IMPACT ON THE BIOPHYSICAL ENVIRONMENT

The proposed departure does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998).

The subject property is not situated within the Overstrand Municipality's Zoning Scheme Environmental Management Overlay Zone (2020).

3.13 TRAFFIC IMPACT, PARKING AND ACCESS

Access to erf 2819 Hermanus will remain unchanged and will be from Tenth Street. Refer to the site development plan. No new access points are proposed.

The Overstrand Municipality Land Use Scheme (2020) requires a minimum of two parking bays for a dwelling house. The dwelling is currently equipped with a single garage, and the second vehicle parks in front of this garage. This arrangement will remain unchanged for the purposes of the application.

Considering the above the proposed main dwelling on erf 2819 Hermanus will comply with the minimum parking requirements for SR1 zoned properties. The subject property will continue to be used primarily for single residential purposes and therefore the impact on the traffic flow in the area will remain unchanged.

3.14 TITLE DEED

Title Deed No. T32933/2016 has no restrictive title deed conditions that need to be removed to accommodate the encroachment of the dwelling and garage over the eastern lateral building line on the subject property. A conveyancer's certificate is not included with this application since the title deed is straight forward.

The extended garage is interleading with the existing dwelling and proposed new ensuite bedroom. As a result (and as confirmed by Overstrand Municipality's town planning department), the title deed outbuilding building line does not have to be removed to accommodate the proposed extended garage. All other As Built structures and proposed additions meet the land use scheme and title deed street and lateral building line requirements.

There is a bond registered against erf 2819 Hermanus. The bondholder's consent dated 23 September 2024 is attached.

3.15 FORWARD PLANNING AND LAND USE DOCUMENTS

The *Overstrand Spatial Development Framework (2020)* earmarks the area where erf 2819 Hermanus is situated, for urban development purposes. The zoning and use of the subject property will remain unchanged (Residential Zone 1: Single Residential). As a result, the impact of the proposed departure on the spatial integrity of the area will be minimal and is therefore consistent with the Overstrand SDF (2020).

The *Overstrand Municipal Growth Management Strategy (OMGMS, 2010)* specifies that erf 2819 Hermanus forms part of Planning Unit no. 6. This planning unit stipulates an increase in density from 8,7 du/ha to 11,6du/ha. A main dwelling is developed on the property, with no additional densification proposed under this application. The current status will remain unchanged. Therefore, the land use application is consistent with the existing planning for the Voëlklip area.

The proposal will promote land development in a location that is sustainable. The proposed departure is to an improved erf within an established residential area and will not impact on urban sprawl or upon a sensitive environment. There is no impact on the overall density of Voëlklip and therefore the proposed application still promotes a low-density residential area.

From the above it is evident that the proposed development **adheres and complies** with the relevant municipal spatial planning policies.

3.16 PLANNING PRINCIPLES

The planning principle of spatial resilience does not apply to this application.

Spatial justice: The proposed land use application ties in with the existing character of the area and will not have a negative impact on the surrounding neighbours. The impact on the biophysical environment will be low as the subject property has been in existence since 1942. The proposed application will not promote spatial development imbalances. This application is for an erf as per the establishment of the existing Hermanus Township. The proposed application is in character with the existing area where similar applications have been approved in the past and therefore, the approval of the proposed application will not be spatially biased.

Spatial sustainability: The proposed departure will have a low impact on the visual elements of the subject property and surroundings. It is submitted that the proposed application is compatible with the character of the area (as motivated in previous sections of this report). The encroachment of the eastern lateral building line has a low impact on the massing of the buildings and the streetscape or passers-by. The dwelling and garage (once completed) will merge well with the surrounding built environment. The impact on the biophysical environment will also be kept to a minimum since the development does neither trigger any listed activities in terms of NEMA nor is it positioned within Overstrand Municipality's EMOZ.

Factors such as the good quality materials to be used, the overall layout of the structures on the subject property, the scale of the surrounding built environment, the extent and width of erven in Voëlklip, the approved eastern lateral building line for As Built structures, compliance with all other land use and title deed development parameters, etc. allow for the consideration and approval of the proposed deviations without having an adverse impact on the spatial sustainability of the area. To accommodate the proposed development is to an improved erf within an established residential area will not impact on urban sprawl, or upon a sensitive environment.

The application is considered spatially sustainable as the existing property will be more optimally utilised without affecting natural vegetation. The property is compatible with the character of the area and does not impact negatively on the rights of any adjacent property owners.

Efficiency: The subject property is easily accessible and conveniently located close to Hermanus CBD and major routes. The massing and height of the property will be in line with the relevant land use scheme regulations. It proves to be resourceful to approve the additions and alterations and proposed use thereof since it is compatible with the existing built environment and the way the dwelling was designed (and will ultimately be constructed) proves to be aesthetically pleasing.

It proves to be efficient to accommodate the planned development by approving the proposed departure of erf 2819 Hermanus since the anticipated impact on the character of the area and on neighbouring properties is considered low.

The proposed departure proves to be efficient since it discourages the phenomenon of urban sprawl, encourages densification and more compact towns and cities, all of which relates to more responsible resource and infrastructure use and sustainable development. Furthermore, the proposal is efficient in that it optimizes existing resources and infrastructure and continues the existing suburban development typology.

Good administration: Our firm is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The land use application will follow due process as stipulated in the relevant municipality's bylaw and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020.

4. RECOMMENDATION

When this application is evaluated, it is important to take note of the following:

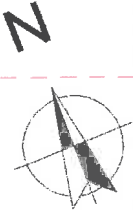
- All services on the subject property already exist and no additional loading of the existing infrastructure is anticipated;
- The zoning and primary land use of the subject property will remain unchanged;
- The deviation from the applicable scheme regulations' eastern lateral building line is to accommodate the additions and alterations to the existing dwelling and garage encroaching the eastern lateral building line;
- The proposal is compatible with the existing built character of the area;
- Impact on the traffic will be kept to a minimum;
- There are no heritage aspects that will negatively impact the application;
- There are no environmental aspects that will negatively impact the application and the application will not have a negative impact on any environmental factors;
- The proposal is compatible with the spatial planning strategies for the area;
- The application is fully compliant with the applicable planning principles described in the LUPA (2014) and SPLUMA (2013).

The application can be supported for your favourable evaluation. The opinion is held that this application will have no negative impact on the land values, privacy, built environment and character of the area.

North Elevations

AREAS:

EXISTING	
Lower Ground	106m ²
Ground Storey	142m ²
NEW ADDITION	
Ground Storey	103m ²
First Storey	35m ²
TOTAL	388m²
FOOTPRINT	247m ²
ERF	495m ²
COVERAGE	49,0%



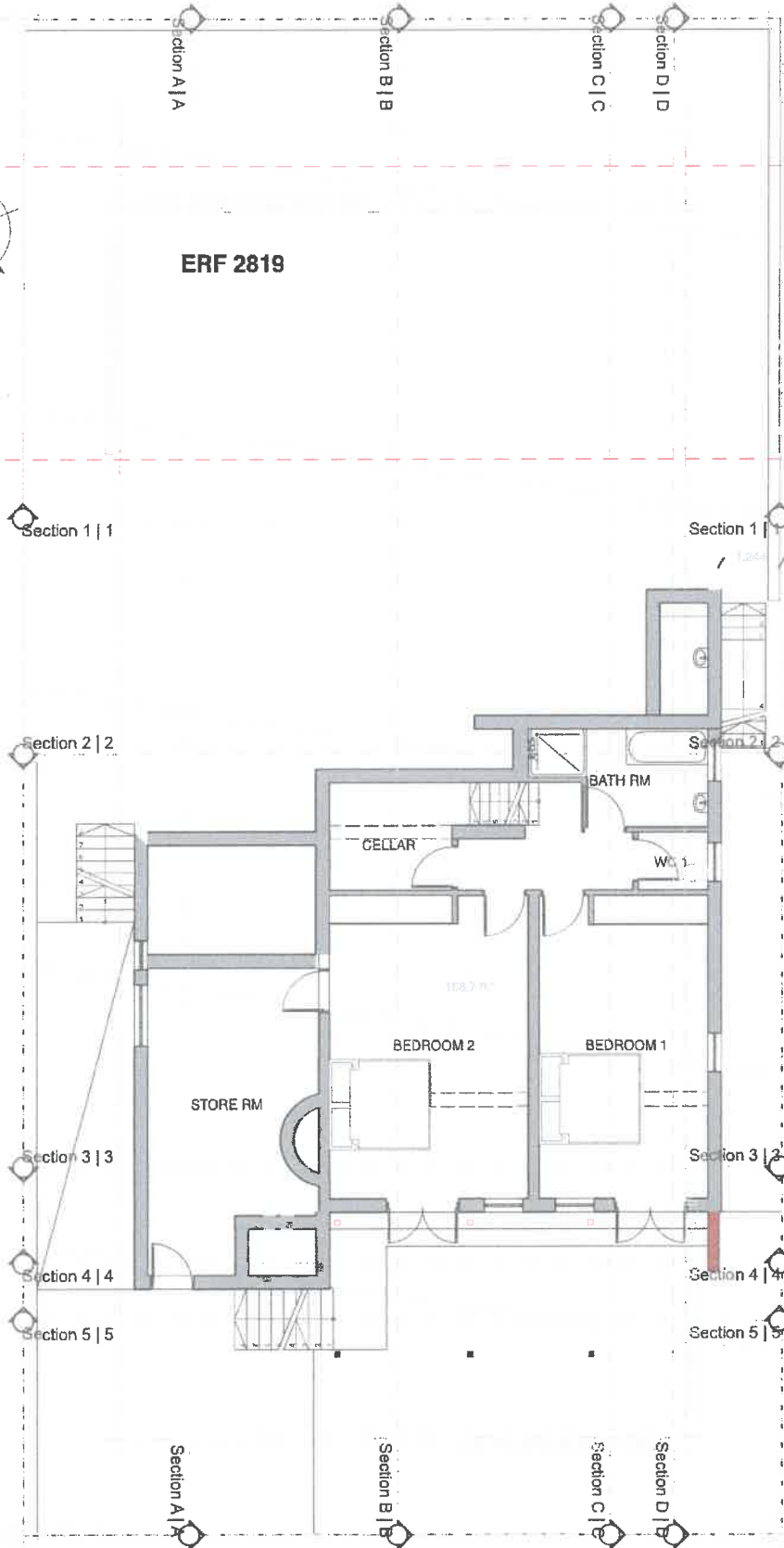
ERF 2819

10 ft (3,05m) TITLE DEED BUILDING LINE (BUILDING RESTRICTION)

30 ft (9,14m) TITLE DEED BUILDING LINE (OUTBUILDING RESTRICTION)

West Elevations

East Elevations



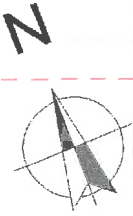
Lower Level
1:100

5123 - HOUSE KLOMP

FINLAYSON
VAN DER MERWE

North Elevations

AREAS:	
EXISTING	
Lower Ground:	108m ²
Ground Storey:	142m ²
NEW ADDITION	
Ground Storey	103m ²
First Storey	135m ²
TOTAL	388m²
FOOTPRINT	247m ²
ERF	495m ²
COVERAGE	49.9%



ERF 2819

Existing shower to be removed. Existing tops to be replaced to match kitchen tons.

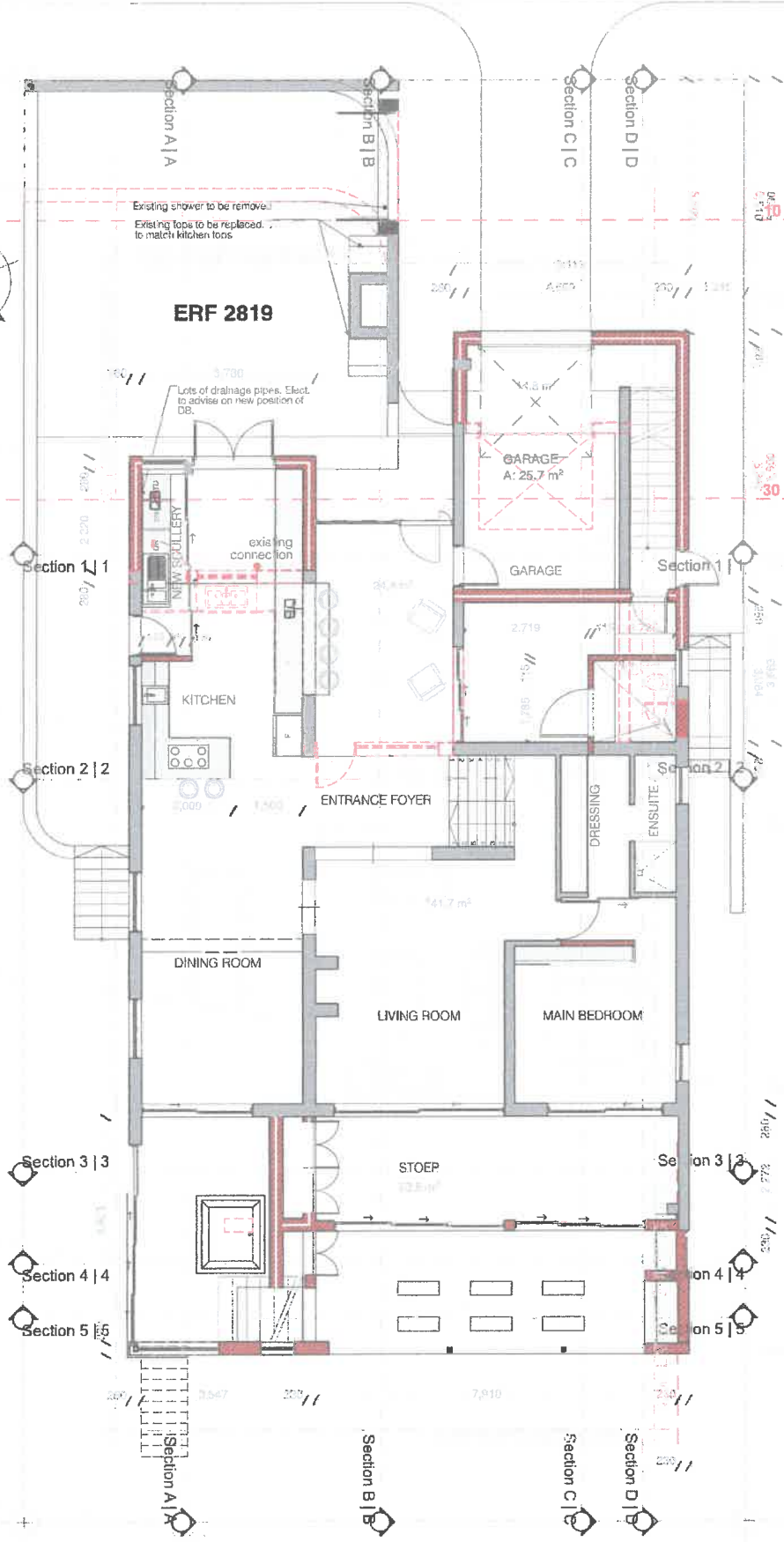
Lots of drainage pipes. Elect. to advise on new position of DB.

10 ft (3,05m) TITLE DEED BUILDING LINE (BUILDING RESTRICTION)

30 ft (9,14m) TITLE DEED BUILDING LINE (OUTBUILDING RESTRICTION)

West Elevations

East Elevations

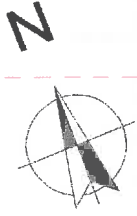


Ground Storey
1:100



North Elevations ▼

AREAS:	
EXISTING	
Lower Ground	105m ²
Ground Storey	142m ²
NEW ADDITION:	
Ground Storey	103m ²
First Storey	35m ²
TOTAL	388m²
FOOTPRINT	247m ²
ERF	485m ²
COVERAGE	49.9%



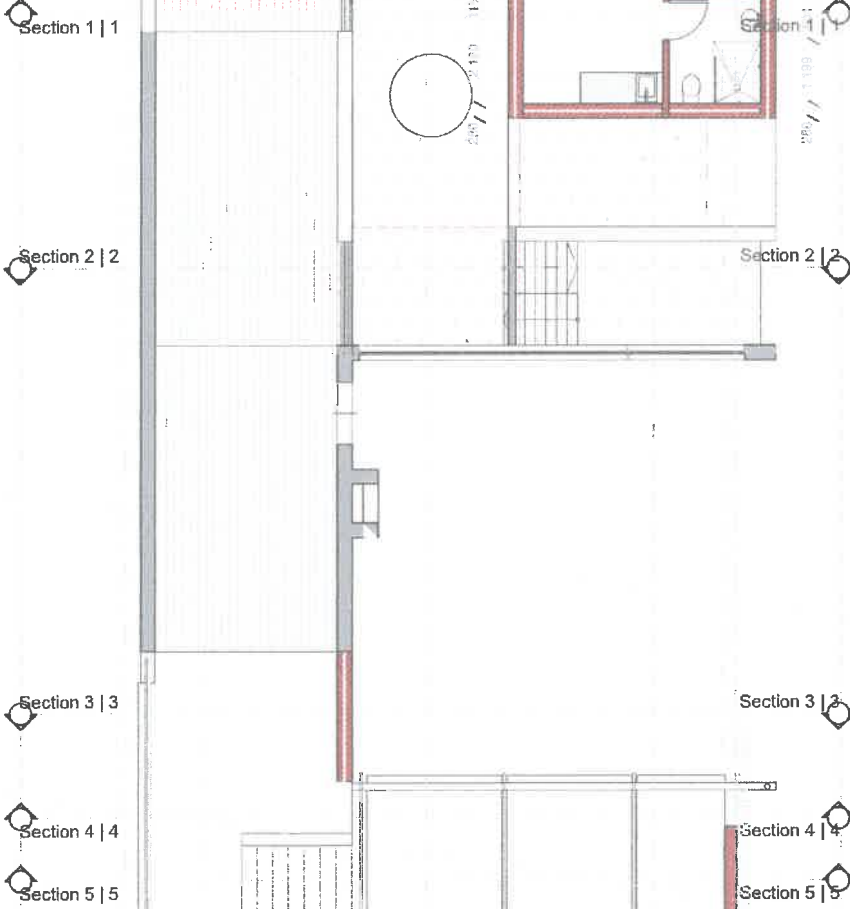
Section A | A Section B | B Section C | C Section D | D

ERF 2819

BEDROOM
35,27m²

10 ft (3,05m) TITLE DEED BUILDING LINE
(BUILDING RESTRICTION)

30 ft (9,14m) TITLE DEED BUILDING LINE
(OUTBUILDING RESTRICTION)



West Elevations ▼

East Elevations ▼

First Floor
1:100



North Elevations ▼

AREAS:		
EXISTING		
Lower Ground	108m ²	
Ground Storey	142m ²	
NEW ADDITION:		
Ground Storey	103m ²	
First Storey	35m ²	
TOTAL	388m²	
FOOTPRINT	247m ²	
ERF	495m ²	
COVERAGE	49,9%	

N



Section A | A

Section B | B

Section C | C

Section D | D

10 ft (3,05m) TITLE DEED BUILDING LINE (BUILDING RESTRICTION)

30 ft (9,14m) TITLE DEED BUILDING LINE (OUTBUILDING RESTRICTION)

Section 1 | 1

Section 1 | 1

Section 2 | 2

Section 2 | 2

Section 3 | 3

Section 3 | 3

Section 4 | 4

Section 4 | 4

Section 5 | 5

Section 5 | 5

Section A | A

Section B | B

Section C | C

Section D | D

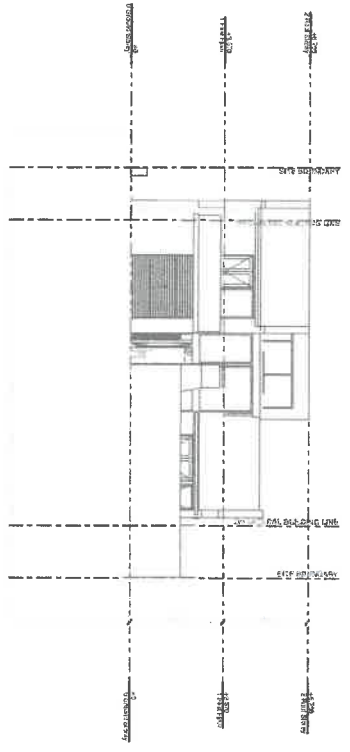
West Elevations ▼

East Elevations ▼

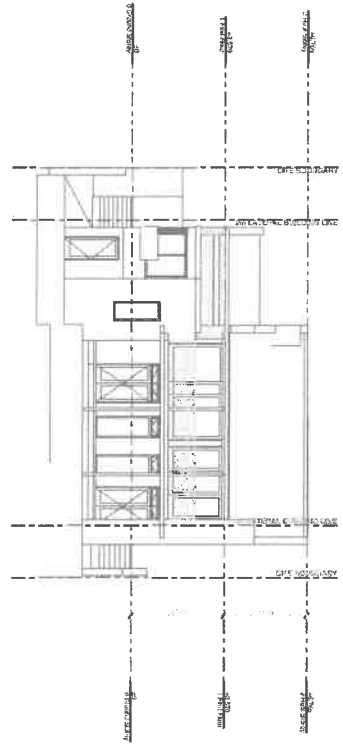
Roof Storey
1:100



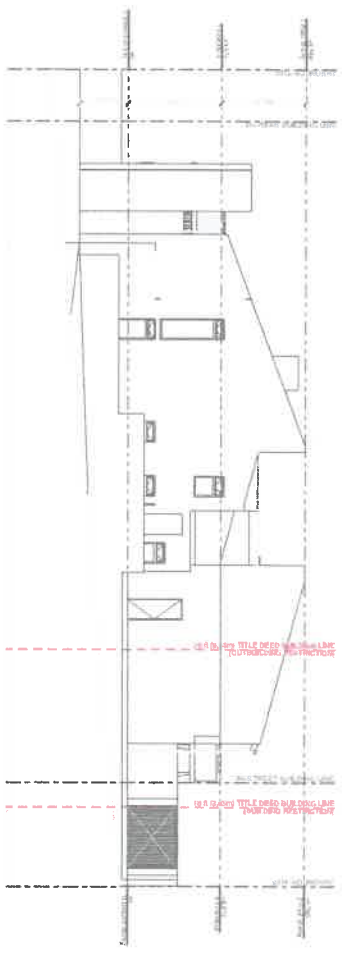
5123 - HOUSE KLOMP



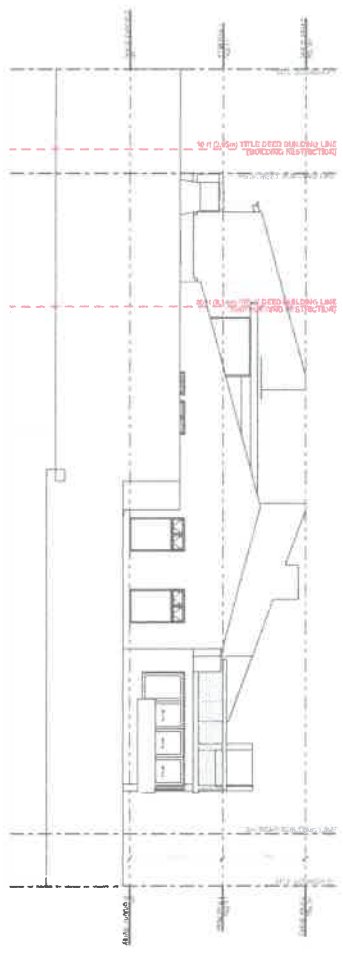
North Elevations
1:200



South Elevations
1:200



East Elevations
1:200



West Elevations
1:200

