



ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: MA GREEFF ON BEHALF OF MS LLOYD-YEO

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for **departure** in terms of Section 16(2)(b) of the By-Law to relax the permissible height restriction applicable to boundary walls from 2.1m to 2.92m on the northern lateral building line and from 1.8m to 2.1m on the western street building line.

Determination of an administrative penalty in terms of Section 16(q) of the By-Law,

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) alida@overstrand.gov.za) on or before **15 November 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. B Minnaar** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 260, JAN VAN RIEBEEKSINGEL 132, SANDBAAI, HERMANUS: AANSOEK VIR AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: M A GREEFF NAMENS MS LLOYD-YEO

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek ontvang is vir **afwyking** ingevolge Artikel 16(2)(b) van die Verordening ten einde die toelaatbare hoogtebeperking van toepassing op grensmure vanaf 2.1m na 2.92m op die noordelike lateraleboulyn en vanaf 1.8m na 2.1m op die westelike straatboulyn te verslap.

Bepaling van 'n administratiewe boete ingevolge Artikel 16(2)(q) van die Verordening.

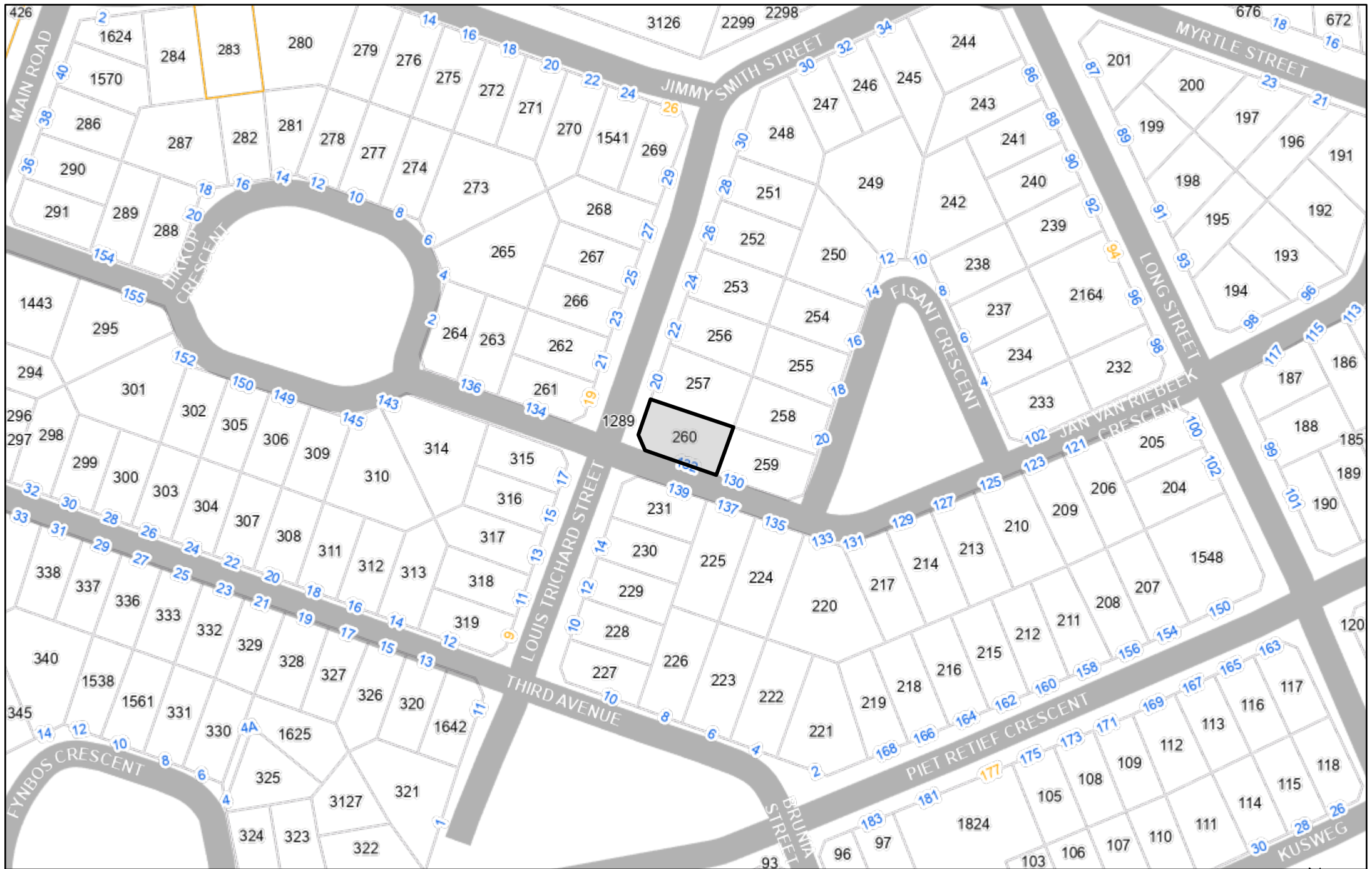
Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (e) alida@overstrand.gov.za) voor of op **15 November 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr. B. Minnaar** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, E-HERMANUS, U-MASIPALA WASE- OVERSTRAND: ISICELO SOKUNYENYISWA KUNYE NOKUGQITYWA KWESOHLWAYO: MA GREEFF EGAMENI LIKA MS LLOYD-YEO

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020(uMthetho kaMasipala) sokuba isicelo sifunyenwe **sokwahlulwahlulwa** ngokwemiqathango yeCandelo 16(2)(d) loMthetho kaMasipala ukunyenyisa ubude obuvumelekileyo obusebenza kwii-ndonga zomda ukusuka kwii-mitha eziyi 2.1m ukuya ku 2.92m kumgca wesakhiwo osecaleni osemantla kunye nokusuka kwii-mitha eziyi 1.8m ukuya kwii-mitha eziyi 2.1m kumgca wesakhiwo ongasentshona.

Nokugqitywa kwesohlwayo emasibhatalwe ngokumayela neCandelo 16(q) ukulungiselela.

Iinkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxesha okusebenza phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: UCwangciso lweDolophu, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / alida@overstrand.gov.za) ngomhla okanye ngaphambi kuka **15 EyeNkanga 2024**, uchaze igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMchwangcisi weDolophu, **uMnzn. B Minaar** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.



MOTIVATION FOR PERMANENT DEPARTURE

Application in terms of Section 66 of the Overstrand Municipality By-Law on Land Use Planning for the Overstrand region. Property known as ERF 260, 132 JAN VAN RIEBEEK CRESCENT, Sandbaai.

APPLICATION & MOTIVATION: -

1. Permanent Departure:

Exceeding Height Departure:

AERIAL 2020 ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI



5/24/2023, 10:07:31 PM

Municipalities Property Standard Image
Districts Roads Primary
Overstrand Primary
Blue: Band_3
Green: Band_2
Red: Band_1 Image
Green: Band_2
Red: Band_1
Boundary

1:282
0 15 30 60 ft
0 4.75 9.5 19 m

GREEFF ARCHITECTURE
Est. HERE, Garmin, USGS, NGA | Overstrand Environmental Section, Ashley Dirk, Taron Dry |

Aerial images:

[Overstrand Public Viewer \(arcgis.com\)](https://arcgis.com)

M. A. Greeff – Departure drawing numbers SB260 A01.4 & SB260 A01.5

ANNEXURES:

1. Power of Attorney and ID documents
2. Copy of Title Deed
3. Owner ID & Rates Account
4. Surveyor-General Diagrams C01300200000026000000 link [sg diagram link](#)
5. Departure Plans – drawings SB260 A01.4 & SB260 A01.5 & Site Plan
6. Zoning
7. Land Use Application form

MOTIVATION FOR PERMANENT DEPARTURE

1. BACKGROUND INFORMATION

ERF 260, SANDBAAI is the property of Mr. Mark Stephen Lloyd-Yeo, and is situated at street address, 132 Jan Van Riebeek Crescent, Sandbaai, WC. The title deed number related to this property is T056230/09 dated 18 November 2009.

Marthinus Anton Greeff (PSAT) is appointed to draw the as-built plans, and to submit such, including any application that may be required by council for the regularization and approval of as-built building plans with drawing numbers SB260 A01.4 & SB260 A01.5 (Annexure 5), as well as address the application for a permanent departure, and submit such to the local authority for scrutiny and approval. Power of attorney is granted. See Annexure 1.

1.1 PROPERTY DETAILS

The table below includes relevant information regarding ERF 260, SANDBAAI, street address 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, WC

Property Description:	ERF 260, SANDBAAI			
Physical Address:	132 Jan Van Riebeek Crescent, Sandbaai, WC			
Owner:	Mr. Mark Stephen Lloyd-Yeo (<i>Annexure 3</i>)			
Title Deed No:	T0056230/09 (<i>Annexure 2</i>)			
Bond Holder:	Standard Bank			
Zoning of the property	Single Residential 1			
SG Diagram	C0130020-00000260-00000 (<i>Annexure 4</i>)			
Size of the property:	822m ² (as per title deed)			
Building Plan Drawings	SB260 A01.4 & SB260 A01.5	M. A GREEFF	(PSAT)	SACAP 0510
HOA/ Body Corporate	N/A	Written Consent	YES	NO <input checked="" type="checkbox"/>

1.2 APPLICATION

This application will address the regularizing of a permanent departure, as per Section 16(2)(b) of the Overstrand zoning scheme, Consent, or Approval in terms of a departure exceeding height on boundary wall as per the Overstrand Zoning Scheme including LUMA & SPLUMA principles.

Permanent Departure:

1. Permit EXCEEDING HEIGHT

BLE - Northern Boundary Line WALL HEIGHT **from 2.100m to 2.920m**

2. Permit EXCEEDING HEIGHT

BLE – Western Street Boundary Line WALL HEIGHT **from 1.800m to 2.100m**

as per drawing SB260 A01.4 & SB260 A01.5

APPLICATION	FROM	TO	PURPOSE
Exceeding Height Restriction Northern Boundary Line Western Street Boundary Line	2.100m 1.800m	2.920m 2.100m	WALL: To accommodate perimeter wall which allows for security & privacy for owner and neighbouring property owners See drawings SB260 A01.4 & SB260 A01.5

MOTIVATION FOR PERMANENT DEPARTURE

1.3 OWNERSHIP / TITLE DEED - Title Deed T0056230/09 (Annexure2)

Mr. Mark Stephen Lloyd-Yeo, ID 6308225174086 (Annexure 3) is the owner of ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, HERMANUS - title deed T056230/09 (Annexure2) dated 18 November 2009. The extent of the property, as confirmed in the Title Deed T0056230/09 dated 18 November 2009, is in extent of 822m² (eight hundred and twenty-two square metres).

2. CONTEXTUAL INFORMATION

2.1 LOCALITY

ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, is located **in a developed area** near Hermanus in the Western Cape.

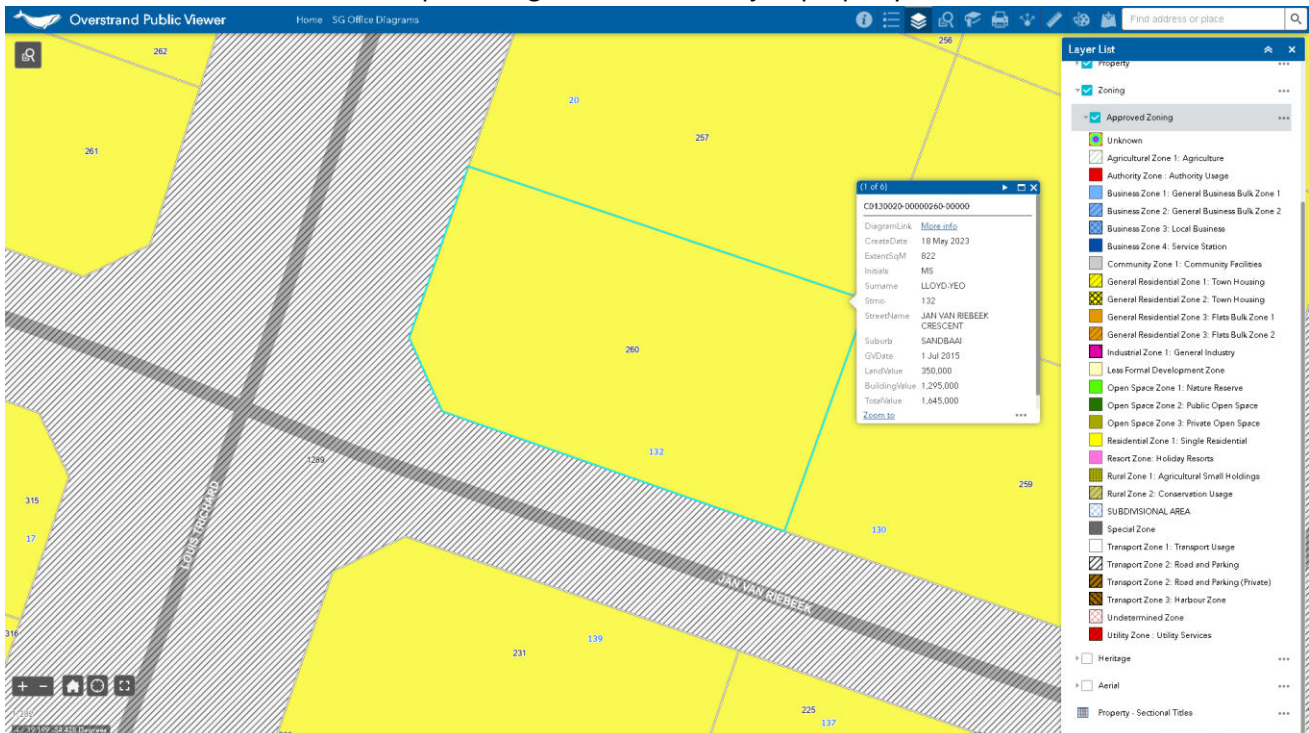
The property is part of a built-up area in ward 7, Overstrand Municipality.

2.2 ZONING & LAND USE

The subject property is zoned Single Residential 1 in terms of the Overstrand Integrated Zoning Scheme By-law. The dominant zoning for the area is Single Residential I. All the surrounding properties in the immediate vicinity are SR1. The primary dwelling, outbuildings, and other structures on the site/erf as per building plan drawings numbered SB260 A01.4 & SB260 A01.5 and drawn by M.A. Greeff, which are submitted for approval (Annexure 5).

The zoning will not change following this land use application. The as-built plans, outbuildings & other structures will not conflict with the character of the area which are similar in nature and usage.

Below is an extract from the municipal zoning viewer of the subject property.



ZONING ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI

2.3 TOPOGRAPHY & NATURAL ENVIRONMENT OF THE PROPERTY AND THE AREA

The topography of property and area is a relatively flat and built-up area.



[ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, OVERSTRAND – link to topography image](#)

Land use will not pose a potential danger to life or any property in terms of fire risks, air pollution or smells, or compromise a person’s right to a safe and secure environment. Slopes, stormwater runoff, geological formations and other environmental constraints have been considered and the correct procedures are being followed.

The primary dwelling, outbuildings and other structure structures have been strategically placed to accommodate the best use of space. No trees of indigenous vegetation are affected.

3. DEVELOPMENT PROPOSAL

The as-built building plans, including the site plan, is attached as *Annexure 5*.

They have been submitted in order to legalize and regularize the property in accordance with the by-laws and zoning of the area.

4. CRITERIA FOR CONSIDERATION

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the Overstrand Municipality: By-law on Municipal Land Use Planning (2015) builds on each other.

SPLUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA, Overstrand Municipality with the Municipal Land

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Use Planning By-law (2015), the Wilderness Lakes Hoekwil Local Spatial Development Framework (2015) and the Western Cape Land Use Planning Guidelines: What is relevant to this land use application is discussed in the paragraphs to follow.

4.1 STATUTORY INFORMATION

4.1.1. SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management, and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to: -

4.1.1.1. Five development principles

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application.

Spatial justice as described in Section 7(a) of SPLUMA is not relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is not relevant to this land use application as the property is already in a built-up urban area. The effective and fair functioning of land markets is not negatively affected by this land use application.

It is stated that all current and future costs to all parties for the provision of infrastructure and social services in land developments must be considered.

No negative impacts are expected on surrounding properties and the area.

Spatial Efficiency as described in Section 7(c) of SPLUMA is not relevant to this land use application.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this land use application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

The paragraphs above show that the land use application for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, supports the relevant development principles of SPLUMA.

4.1.1.2. Public Interest

The as-built primary dwelling, outbuildings, and other structures will not have any negative effect on the neighbouring properties or the public. All have been strategically placed to consider the environment and privacy of all parties relevant to this application. The abutting property owners will be approached for written consent (*Annexure 6*). The public interest of this land use application is therefore limited.

4.1.1.3. Municipal Engineering Services & Access

There is already municipal engineering services and access in the area.

The existing vehicular to the property is already existing and will not be changed to affect any services.

4.1.1.4. Environmental considerations

The proposed land use will have no disastrous impact on the biodiversity of the area as the area has already been urbanised. The property does not fall within a Critical Biodiversity Area – CBA or heritage area.

4.1.2. WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

MOTIVATION FOR PERMANENT DEPARTURE

Applicable spatial development frameworks.

Applicable structure plans.

Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA.

Desirability of the proposed land use; and

Guidelines that may be issued by the Provincial Minister about the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA which is discussed in previous paragraphs.

Section 19(1) and (2) of LUPA refers to consistency and compliance of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, no conflict is found with the Overstrand Municipal Spatial Development Framework.

4.1.3. OVERSTRAND MUNICIPALITY: LAND USE PLANNING BY-LAW 2015

The general criteria for the consideration of applications in terms of this By-law are included, inter alia:

Desirability of the proposed utilisation of land.

Impact of the proposed development on municipal engineering services.

Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans.

Relevant municipal policies.

Western Cape Provincial Spatial Development Framework.

Section 42 of SPLUMA (public interest, constitutionality).

Land use planning principles transposed from LUPA; and

Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this motivation report as relevant.

4.1.4. OVERSTRAND INTEGRATED ZONING SCHEME BY-LAW

ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI is zoned Single Residential 1 in terms of the Overstrand Integrated Zoning Scheme By-law. The zoning of the property will not change following the approval of this land use application.

All other relevant development parameters applicable to the property will be followed, and this application will bring the encroachment on the building line into compliance.

4.2. SPATIAL PLANNING CRITERIA AND INFORMATION

4.2.1 WESTERN CAPE PROVINCIAL SPATIAL DEVELOPMENT FRAMEWORK (PSDF) (2014)

The PSDF aims to restructure the urban and rural landscape of the Western Cape to offer socio-economic opportunities for all. The focus is strong on the communities dependent on the agricultural economy and land reform. In addressing the vulnerability of farm workers' it is stated that rural livelihoods and income opportunities should be diversified.

Due to the nature of the area where ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, is located, this should not be relevant. The guiding principles for the PSDF are spatial justice, sustainability & resilience, spatial efficiency, accessibility, quality & livability.

Spatial Justice:

The fair and equitable distribution in space of socially valued resources and opportunities to use them is met as there are measures taken to harvest natural resources.

Sustainability & Resilience:

MOTIVATION FOR PERMANENT DEPARTURE

Regarding sustainability the proposal for the subject property does not involve impacts on high potential agricultural land and it will not compromise ecosystems.

Spatial Efficiency:

Regarding spatial efficiency, the proposal will not lead to urban sprawl as the area is already built-up.

Accessibility:

Accessibility is not regarded as applicable due to the location of the property and the fact that further municipal services are not required – it is already in existence.

Quality & Liveability:

Regarding quality & liveability, the Sandbaai area is characterized as required or urban residential occupation. The environmental quality of the area is improved through the systematic removal of invasive alien vegetation.

This proposal for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI will not negatively impact on the coastal landscape or the surrounding neighbourhood landscape negatively.

4.2.2. OVERSTRAND MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK

ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, is not addressed, specifically in the scheme. However, this land use application and the nature thereof is found to be consistent as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA).

ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, is not located in an identified significant rural place and considering Policy, ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, does not impact negatively on the economy and is not located in a significant agricultural area.

The context and character of the neighbourhood in Sandbaai will not be altered. The proposal is found to not conflict with the designation of the property in this spatial framework. The subject property is zoned Single Residential 1, and the property is used as a private residence H4- Dwelling House.

This land use application for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI:

will not expand the area.

will not have any negative effect on the character of the area.

will not be visually obtrusive / create something that is visually obtrusive.

does not interfere with the skyline, landmarks, major views & vistas.

should not result in light, noise, or effluent pollution.

will not result in excessive water consumption.

will not have a visual impact from any main road.

4.3 NEED & DESIRABILITY

Need and desirability is the balancing of a range of factors. Need depends on the nature of a development proposal and is based on the principle of sustainability.

This motivation report has shown that this proposal and the permanent departure for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, does not impact negatively on the character of the property with no negative impact on surrounding properties or visual impacts.

Desirability:

From a planning perspective, is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services.

Physical characteristics of the properties:

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MOTIVATION FOR PERMANENT DEPARTURE

This proposal for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, has no negative impact on the physical characteristics of the property or vice versa as to the neighbouring properties or the public. Existing planning in the area:

This land use application is not in conflict with the Overstrand Municipal Spatial Development Framework.

Character of the area:

As discussed, and shown earlier in this motivation report, this proposal will have no negative effect on the character of the area. Furthermore, the perimeter walls allow for the privacy, safety and security needed to provide peace of mind to the property owner and neighbouring property owners.

Provision of services:

Municipal engineering services and infra-structure are already available in the area.

Economic impact:

The as-built plans for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, remains in accordance with the character of the property and surrounding properties, and will have no negative economic impact, save to say that the property adds value to the area.

Direct impact on surrounding properties:

No neighbour will be overshadowed or disturbed by the pas-built plans for the property, or by the land use for a permanent departure in terms of the building line and height departure.

It is our view that the need and desirability of permanent departure for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, showed no negative impact.

5. CLOSING

In closing from the above-mentioned points in this motivation report, it is our opinion that the proposed land use application for ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, is consistent with all relevant considerations as prescribed by the planning legislation. It does not create conflict with the overall spatial objectives for the area, and as such the permanent departure applied for should be granted.

The completed municipal application form is attached hereto as *Annexure 7*.

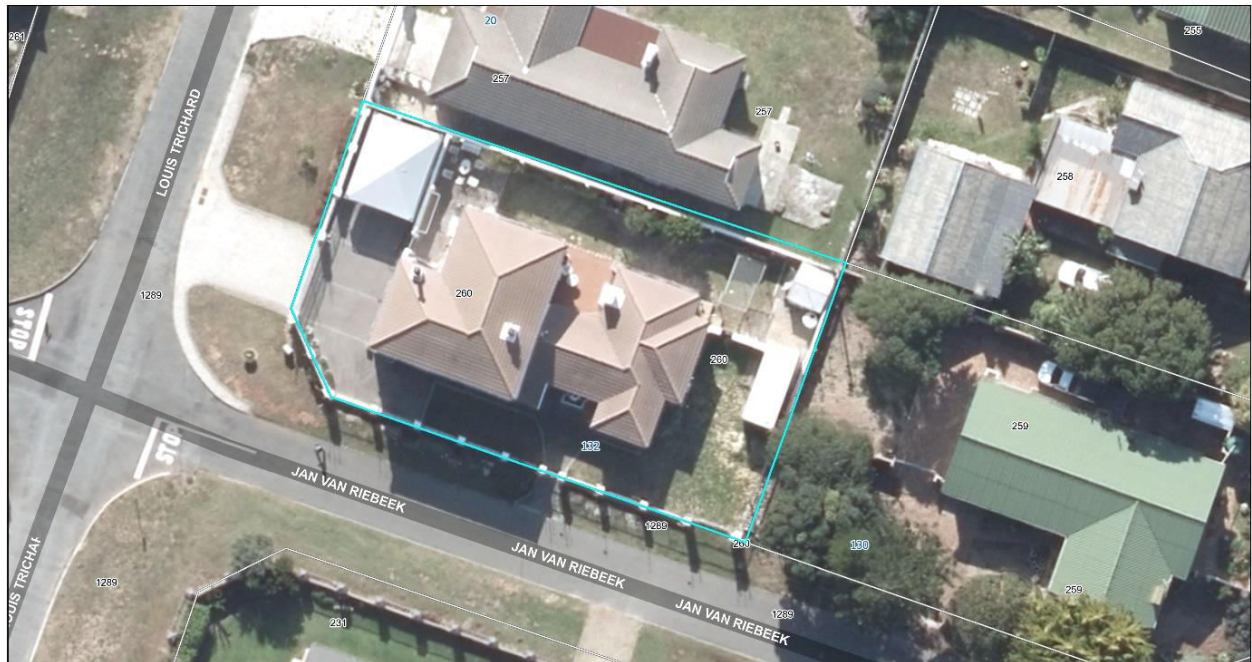
DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION

Aerial images:



[Overstrand Public Viewer \(arcgis.com\)](https://arcgis.com)

AERIAL 2020 ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI



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Municipalities Property Standard Image
 Districts Roads Red: Band 1 Image
 Overstrand Primary Green: Band_2 Red: Band_1 Boundary
 Blue: Band_3 Green: Band_2
 Blue: Band_3

1:282
0 15 30 45 60 ft
0 4.75 9.5 19 m

GREEFF ARCHITECTURE
Esri, HERE, Garmin, USGS, NGA | Overstrand Environmental Section, AshMey Dir, Tarron Dry |

Building plans

M. A. Greeff – Building Plan drawing numbers SB260 A01.1 & SB260 A01.2

Submission to the Overstrand Municipality for:

LAND SIZE 822m² SINLGE RESIDENTIAL ZONE 1	AREA m ²	FLOOR SPACE m ²	COVER m ²
EXISTING HOUSE GROUND FLOOR	156.92	156.926	156.926
EXISTING HOUSE FIRST FLOOR	92.982	92.982	-
EXISTING GARAGE GROUND FLOOR	60.955	-	60.955
NEW SHADE NETTING CARPORT	37.427	-	37.427
EXISTING COVERED BALCONY/SUNROOM	21.517	21.517	-
NEW BOUNDARY WALL PORTIONS			
TOTALS	369.807	271.425	255.308
NEW AS-BUILT TOTALS	37.427	FAR 0.33	COVER 31.059%

1.1 PROPERTY DETAILS

The table below includes relevant information regarding ERF 260, SANDBAAI, street address 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, WC

Property Description:	ERF 260, SANDBAAI
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DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION

Physical Address:	132 Jan Van Riebeek Crescent, Sandbaai, WC			
Owner:	Mr. Mark Stephen Lloyd-Yeo (<i>Annexure 3</i>)			
Title Deed No:	T0056230/09 (<i>Annexure 2</i>)			
Bond Holder:	Standard Bank			
Zoning of the property	Single Residential 1			
SG Diagram	C0130020-00000260-00000 (<i>Annexure 4</i>)			
Size of the property:	822m ² (as per title deed)			
Building Plan Drawings	SB260 A01.1 & SB260 A01.2	M. A GREEFF	(PSAT)	SACAP 0510
HOA/Body Corporate	N/A	Written Consent	YES	NO <input checked="" type="checkbox"/>

1.2 APPLICATION

This application is solely for the unauthorised structures and land use, which is in contravention of the Chapter 4, Section 16(2)(q) of the Overstrand Municipality's Amended By-law on Land Use Planning, 2020 and is to rectify the contravention of unlawful building works on Erf 260, 132 Jan Van Riebeek Crescent, Sandbaai, site extent of 822m² is in contravention of Section 90. (1) and 90.(3) OF THE BY-LAW.

The Unauthorized building works as described in the building plan drawings SB260 A01.1 & SB260 A01.2 : - at a cost of R580 000.00 built by the owner in the year 2018, exact date and timeframe unknown.

Please Note: That the following illegal structures are on the site at present:			
	Qty	Description	Value R
1	37.427m ²	shade-netting	10000.00
2	1x6m	shipping container - owner will remove - no application	10000.00
3	58m ²	increase in boundary wall height submitted to council	24000.00
4	Wendy	2nd hand metal garden shed- owner will remove - no application	6000.00
5	Balcony & new braai	enclose of existing balcony - glass windows and new braai	30000.00
Total Cost of Above			80000.00

Costed by Marius Greef from BuilditBetter Construction. See attached.

The unauthorized building work done was to provide privacy and extra security to the premises and shade netting parking for vehicles. The owner was unaware that building plans were required for the works at the time of construction. The contravention is ongoing, and the owner would like to rectify the contravention and apply for approval of building plans.

2. CONTEXTUAL BACKGROUND INFORMATION

ERF 260, SANDBAAI is the property of Mr. Mark Stephen Lloyd-Yeo, and is situated at street address, 132 Jan Van Riebeek Crescent, Sandbaai, WC. The title deed number related to this property is T056230/09

DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION

dated 18 November 2009.

Marthinus Anton Greeff (PSAT) is appointed to draw the as-built plans, and to submit such, including any application that may be required by council for the regularization and approval of as-built building plans with drawing numbers SB260 A01.1 & SB260 A01.2 (Annexure 5), as well as address the application for a permanent departure, and, the relaxation of a title deed restriction in combination with a BL departure on the street boundary, and submit such to the local authority for scrutiny and approval. Power of attorney is granted. See Annexure 1.

2.1 LOCALITY

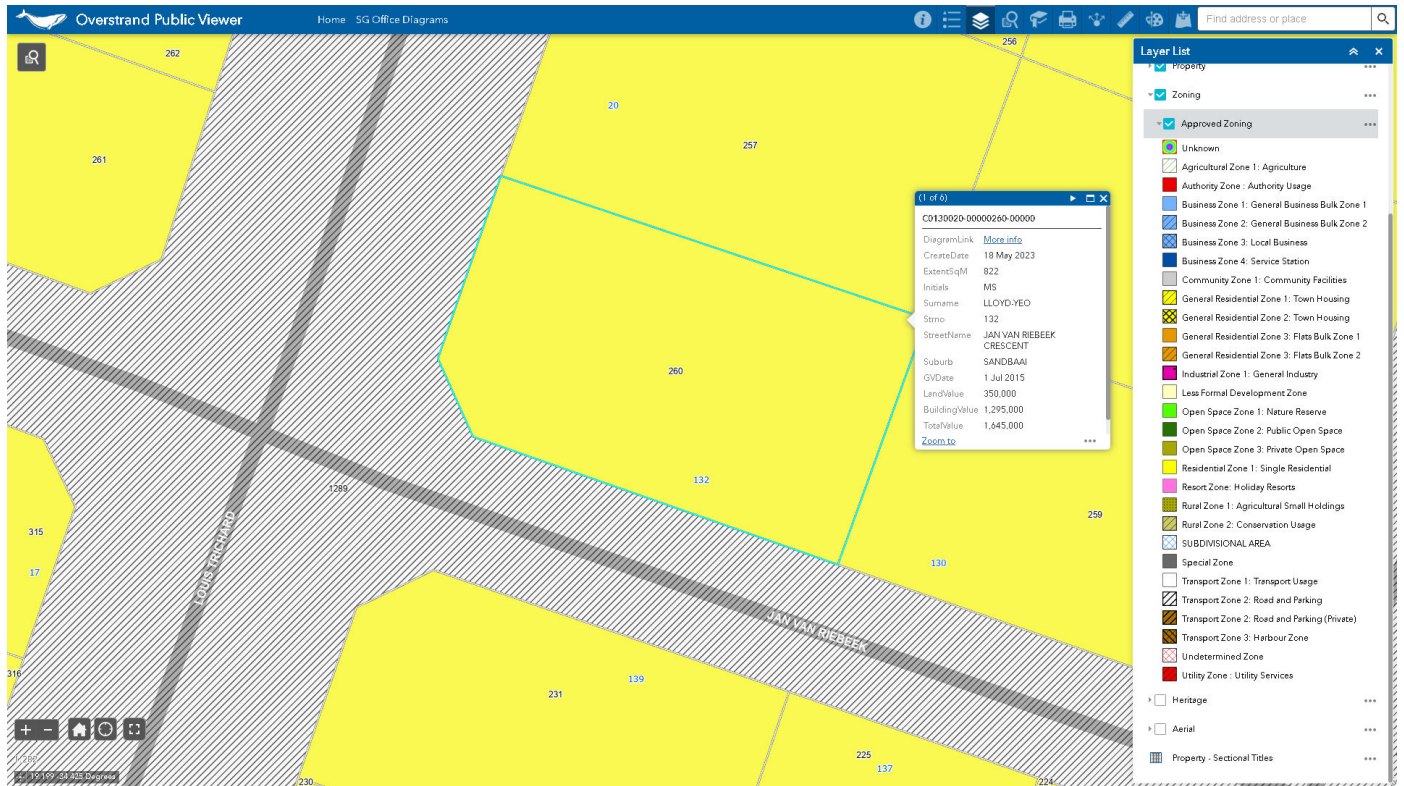
ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, is located in a developed area near Hermanus in the Western Cape. Land uses that surround ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI are single dwellings, public roads, and public open spaces. It is therefore evident that ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI is situated within a predominantly single residential area. The property is part of a developed area in ward 7, Overstrand Municipality

2.2 ZONING & LAND USE

The subject property is zoned Single Residential 1 in terms of the Overstrand Integrated Zoning Scheme By-law. The dominant zoning for the area is Single Residential I. All the surrounding properties in the immediate vicinity are SR1. The primary dwelling, outbuildings, and other structures on the site/erf as per building plan drawings numbered SB260 A01.1 & SB260 A01.2 and drawn by M.A. Greeff, which are submitted for approval (*Annexure 5*).

The zoning will not change following this land use application. The as-built plans, outbuildings & other structures will not conflict with the character of the area which are similar in nature and usage. Below is an extract from the municipal zoning viewer of the subject property.

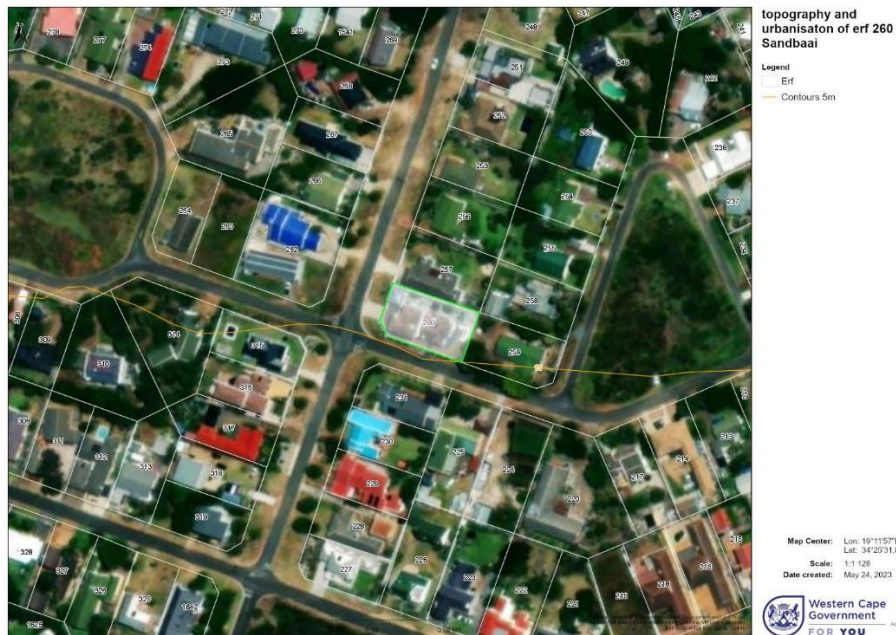
DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION



ZONING ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI

2.3 TOPOGRAPHY & NATURAL ENVIRONMENT OF THE PROPERTY AND THE AREA

The topography of property and area is a relatively flat and built-up area.



[ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAI, OVERSTRAND – link to topography image](#)

DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION

3. THE PROPOSAL

The determination of an administrative penalty in terms of Chapter 4, Section 16(2)(q) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020.

ERF 260, 132 JAN VAN RIEBEEK CRESCENT, SANDBAAL is 822m² in extent. The intention of the owner of the subject property is to legalise the encroachments on the subject property. As per the amended Overstrand Municipal Land Use Scheme Regulations, 2020, certain structures may be erected over the prescribed building lines, provided that they do not extend beyond the boundaries of the land unit. The as-built drawing plans SB260 A01.1 & SB260 A01.2 confirm that some of the boundary walls on the subject property are higher than the prescribed height of 2.1m and that the shade net parking is encroaching on the street front and lateral boundaries. There is also a container on the subject property for which the owner is obtaining a temporary structure.

The intention of the owner is to legalise these encroachments that are addressed in the departure application.

3.1 DETERMINATION OF AN ADMINISTRATIVE PENALTY

Marthinus Anton Greeff was asked to draw as-built plans and submit to council for scrutiny and approval. As a result, it was discovered that the boundary walls were higher than 2.1m and that the shade netting carport encroached on lateral and street front boundaries.

The owner now intends to legalise the encroachments and to submit as built building plans after the land use approval is obtained.

In terms of Chapter 4, Section of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020 an application is made for the determination of an administrative penalty for unauthorised land use. In terms of Chapter 9, Section 90(1), "A person who is in contravention of this By-Law, and submits an application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof concerned".

In terms of Chapter 9, Section 90(3), of the Overstrand Municipality's Amended Bylaw on Municipal Land Use Planning, 2020 the applicant must, to the satisfaction of the municipality , provide the following:

We request that the following factors be considered when determining the appropriate administrative penalty, as contemplated in terms of Section 90.(3) of the By-Law.

3.1.2. CRITERIA FOR DETERMINATION OF AN ADMINISTRATIVE PENALTY

a) The Nature, duration, gravity, and extent of the contravention.

As previously mentioned, an as built survey was conducted that confirmed that the boundary walls were constructed higher than the permissible height of 2.1m. The shade netting carport encroaches on the lateral and street front boundary. All these encroachments became clear during the drawing up of as-built plans by Marthinus Anton Greeff (PSAT)

DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION

The extent of the unauthorised building work that encroaches the building lines can be tabled as follow: LAND SIZE 822m² SINGLE RESIDENTIAL ZONE 1	SURFACE AREA m ²	AREA m ²	FLOOR SPACE m ²	COVER m ²
EXISTING HOUSE GROUND FLOOR		156.92	156.926	156.926
EXISTING HOUSE FIRST FLOOR		92.982	92.982	-
EXISTING GARAGE GROUND FLOOR		60.955	-	60.955
NEW SHADE NETTING CARPORT		37.427	-	37.427
EXISTING COVERED BALCONY/SUNROOM		21.517	21.517	-
NEW BOUNDARY WALL PORTIONS SURFACE AREA	58.00			
TOTALS	58.00	369.807	271.425	255.308
NEW AS-BUILT TOTALS		37.427	FAR 0.33	COVER 31.059%

The owner of the subject property intends to provide their full co-operation to the Overstrand Municipality to rectify the encroachments as it was always their responsibility to ensure that the structures are constructed according to the approved building plans.

<p>a) The nature, duration, gravity and extent of the contravention</p> <p>Position & Nature: The position and nature of the unauthorised encroachments on 132 Jan Van Riebeek Crescent, Sandbaai are unobtrusive in nature and do not impact negatively on the surrounding properties, as no complaints from surrounding property owners have been received. A departure application is also submitted to rectify the encroachments on the subject property.</p> <p>Duration: The building works were carried out in 2018, exact month and date are unknown.</p> <p>Gravity: The gravity of the contraventions is not serious. The contraventions can be remedied by means of a departure application to comply with the building regulations and the municipal By-Laws.</p> <p>Extent : the extent of the unauthorized braai is 37.427m² and 58m² for the wall - thus the contravention is small. The total cost of the unauthorised building work is estimated at R80 000.00 by the owner in 2018 who did most of the building works himself with the assistance of 2 helpers. The cost estimate is provided by M. A. Greeff from BuilditBetter (Pty) Ltd.</p> <p>Please Note: That the following illegal structures are on the site at present:</p>			
	Qty	Description	Value R
1	37.427m ²	shade-netting	10000.00
2	1x6m	shipping container - owner will remove - no application	10000.00
3	58m ²	increase in boundary wall height submitted to council	24000.00
4	Wendy	2nd hand metal garden shed- owner will remove - no application	6000.00
5	Balcony & new braai	enclose of existing balcony – glass windows and new braai	30000.00
Total Cost of Above			80000.00

b) The conduct of the person involved in the contravention

The owner was unaware of any contravention at the time of construction as he did not know that he

DETERMINATION OF AN ADMINISTRATIVE PENALTY AND MOTIVATION

needed approved building plans to carry out the works.

The as-built plans confirm the encroachments on the subject property and the owner started investigations on how to rectify these defaults on

c) Whether the unlawful conduct was stopped

The unauthorised building works are in existence, therefore the unlawful building works have not ceased. Hence the application to rectify the contravention.

d) A quantity surveyor in matters of unauthorised building or construction

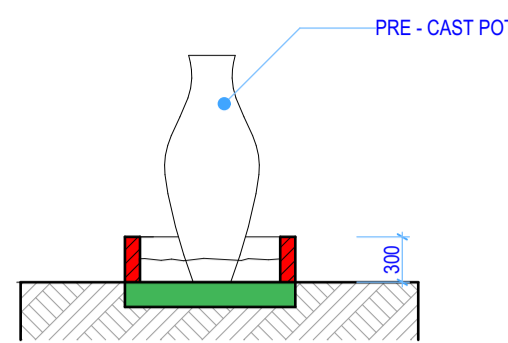
A quantity surveyor has not been appointed as the owner carried out the building works himself and estimates the cost to be R80 000.00.

e) Whether a person involved in the contravention has previously contravened by this By-Law or any other planning law

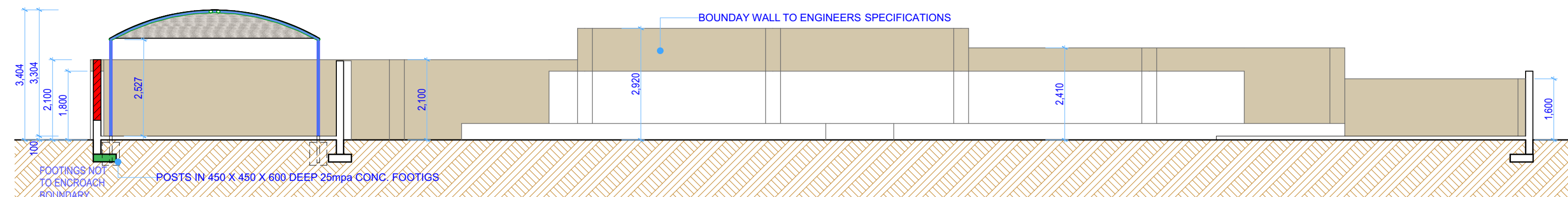
The person involved in the contravention has not previously contravened this By-Law or any other planning by-law.

In view of the abovementioned considerations, and particularly that the building work was by the owner without prior knowledge that there was a contravention of building regulations and By-Laws, we request that the administration penalty be waived or that the minimum penalty be imposed.

D-02 TYPICAL SECTION OF WATER FEATURE 1:50



S-02



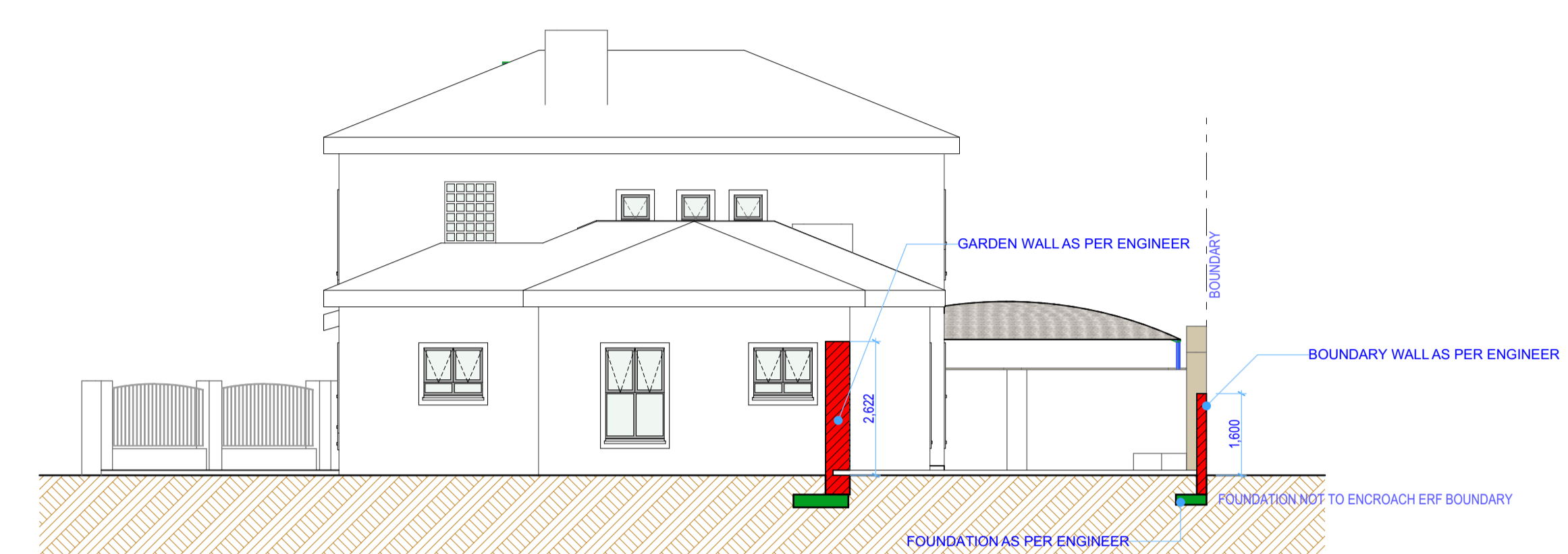
Building Section (1)

1:100



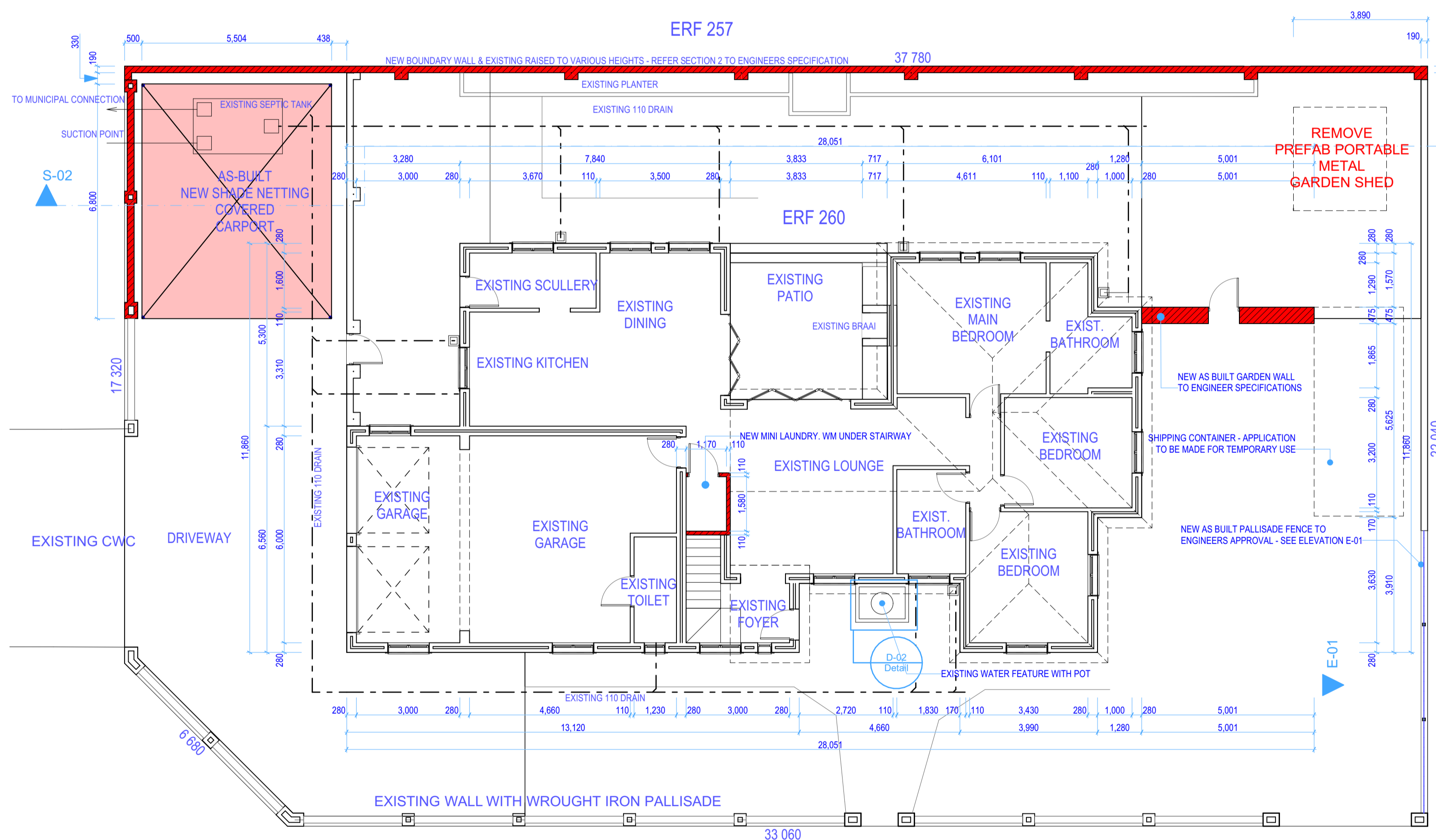
North Elevation

1:100



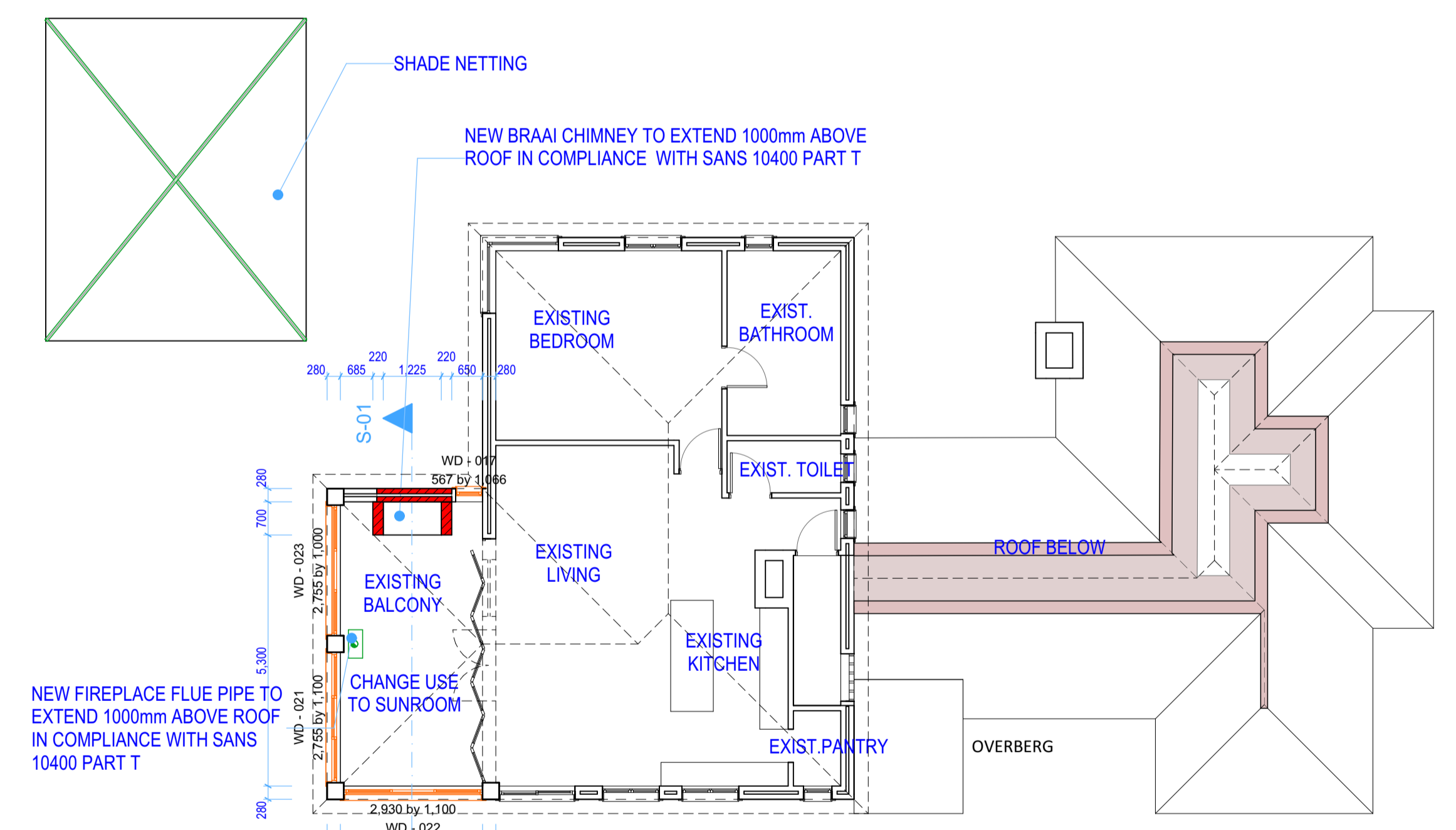
East Elevation

1:100



Ground Floor Story

1:100



First Floor Story

1:100

ALL WORK SHALL COMPLY WITH THE FOLLOWING PARTS OF SANS 10400 (The application of the National Building Regulations) AS UPDATED FROM TIME TO TIME
 Part A: General principles and requirements.
 Part B: Structural design.
 Part C: Dimensions.
 Part D: Public safety.
 Part E: Site operations.
 Part G: Excavations.
 Part H: Foundations.
 Part J: Floors.
 Part K: Walls.
 Part L: Roofs.
 Part M: Stairways.
 Part N: Glazing.
 Part O: Lighting and ventilation.
 Part P: Drainage.
 Part Q: Non-water-borne means of sanitary disposal.
 Part R: Stormwater disposal.

Part S: Facilities for persons with disabilities.
 Part T: Fire protection.
 Part V: Space heating.
 Part W: Fire installation.
 Part X: Environmental sustainability.
 Part YA: Energy usage in buildings.

FOUNDATIONS:
 ALL FOUNDATIONS TO COMPLY TO SANS 10400 PART H OR PART B THE BOTTOM OF ALL FOUNDATIONS SHALL BE NOT LESS 300mm BELOW LEVEL OF THE FINISHED GROUND.
 MINIMUM FOUNDATION THICKNESS 200 AND WIDTH 600 OR AS SPECIFIED BY ENGINEER.
 THICKENING OUT OF CONCRETE SURFACE BEDS TO FORM FOUNDATIONS FOR INTERNAL WALLS TO HAVE NOMINAL DIMENSIONS SIMILAR TO STANDARD STRIP FOOTINGS OR AS SPECIFIED BY ENGINEER.
 ALL UNREINFORCED CONCRETE FOUNDATIONS TO BE 150mm MIN. ALL REINFORCED CONCRETE FOUNDATIONS TO BE 25mpa MIN. AND VIBRATED ALL REINFORCED CONCRETE WORK TO BE MECHANICALLY VIBRATED

WALLS:
 ALL WALLS TO COMPLY TO SANS 10400 PART K & X. ALL EXTERIOR WALLS TO BE 200 CAVITY WALLS WITH MINIMUM 50mm CAVITY. REINFORCED WITH WHOLE APPROVED REINFORCE AND WIRE TIES @ MINIMUM 2m.
 INSTALL 375 MICRON EMBOSSED DPC UNDER ALL WALLS AT SURFACE BED LEVEL.
 INSTALL 375 MICRON EMBOSSED DPC UNDER ALL WINDOW SILLS AS PER NBR/C DETAIL.
 ALL UNREINFORCED CONCRETE FOUNDATIONS TO BE 150mm MIN. ALL REINFORCED CONCRETE FOUNDATIONS TO BE 25mpa MIN. AND VIBRATED ALL REINFORCED CONCRETE WORK TO BE MECHANICALLY VIBRATED

ROOF:
 ALL ROOFS AND / OR ROOF STRUCTURES TO COMPLY TO SANS 10400 PART - L WHERE NO EAVES / GUTTERS AT 1m CONCRETE APRON TO BE INSTALLED WITH 150mm THICKENED EDGES.
 SABS APPROVED UNDERLAY MEMBRANE TO BE INSTALLED TO ALL TILED ROOFS.
 TRUSSES TO MAX 750 CCS TILED ROOFS.
 TRUSSES TO MAX. 1200 CCS SHEETED ROOFS.

CHIMNEYS / FLUES:
 ALL CHIMNEYS / FLUES SHALL BE A MINIMUM OF 1m ABOVE THE ROOF ABUTTING THE CHIMNEY / FLUE.

GLAZING:
 ALL GLAZING TO COMPLY WITH THE REQUIREMENTS OF SANS 10137 & SANS 10400 PART N - ACCESS DOORS AND SIDE LIGHTS. WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE PITCH LINE OF STAIRS AND SHOP FRONTS SHALL BE SAFETY GLASS IN COMPLIANCE TO SANS 10400 PART N AND CLEARLY MARKED INDICATING AN OBSTRUCTION ON GLASS AT EYE LEVEL.

WALLS:
 ALL WALLS TO COMPLY TO SANS 10400 PART - K ALL CAVITY WALLS TO BE MIN 50mm & MAX. 100mm IN STALL 375µ MICRON EMBOSSED DPC UNDER ALL WALLS AND WINDOW SILLS.

PUBLIC SAFETY:
 ALL AREAS WITH A CHANGE OF LEVEL OF MORE THAN 1m SHALL COMPLY WITH SANS 10400 PARTS D & M FOR PREVENTION AGAINST FALLING AND HAVE A BALUSTRADE MIN. 1m HIGH AND SHALL NOT PERMIT THE PASSING OF A 100mm BALL.

POOL SAFETY AND FENCING:
 ALL FENCING TO COMPLY TO NBR DD4.DD4.1 TO DD4.3 ALL FENCING TO BE MINIMUM 1200 HIGH WITH ALL GATES SELF CLOSING AND SELF LOCKING.

ACTS OF PARLIAMENT:
 ALL CONTRACTORS SHALL ENSURE THAT BEFORE ANY WORK IS PUT IN HAND, THEY COMPLY WITH THE NECESSARY ACTS OF PARLIAMENT OF THE REPUBLIC OF SOUTH AFRICA.

GENERAL:
 THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF THE BUILDING, WITH PARTICULAR REFERENCE TO ALL BOUNDARIES, BUILDING LINES, SERVITUDES ETC.
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 CONTRACTOR TO CHECK AND VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT WITH ANY WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE AUTHOR OF THIS DRAWING IN WRITING IMMEDIATELY.
 CONTRACTORS ARE TO LOCATE AND IDENTIFY EXISTING SERVICES ON SITE AND PROTECT THESE FROM DAMAGE THROUGHOUT THE DURATION OF THE WORKS.
 CONTRACTORS MUST ENSURE THAT DPC'S ARE BUILT IN UNDER ALL WALLS, BEAMS, WINDOWS, AND TO ANY OTHER POSITION AS REQUIRED BY THE NBR/C OR SANS 10400 REGARDLESS OF WHETHER THE BUILDING IS ENROLLED WITH THE NBR/C OR NOT AND IRRESPECTIVE OF WHETHER IT IS INDICATED ON PLAN OR NOT.
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BOUNDARY CORNER BEACONS:
 ALL BOUNDARY BEACONS TO BE EXPOSED AND DEMARCATED.
 OWNER IS RESPONSIBLE FOR THE POINTING OUT OF BOUNDARY CORNER BEACONS PRIOR TO CONTRACTORS OR OWNERS PROCEEDING WITH ANY CONSTRUCTION WORK. BUILDING TO BOUNDARY DIMENSIONS ON PLAN ARE INDICATIVE ONLY AND MUST BE VERIFIED ON SITE ONCE CORNER BEACONS ARE ESTABLISHED. ANY DIMENSION DISCREPANCIES MUST BE REPORTED TO THE AUTHOR / ARCHITECT OF THESE PLANS IN WRITING.

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 DETERMINATION OF FOUNDATION SIZES, PLACEMENT OF UNDERLAY MEMBRANES, DPC'S, BRICKFORCE, ANY UNDERGROUND ITEMS, ETC.

IMPORTANT NOTICE:
 IT IS IMPERATIVE THAT THE CONTRACTOR ADHERES TO ALL INSULATION NOTES ON THIS PLAN, FAILURE TO DO SO WILL RENDER THE BUILDING NON-COMPLIANT TO SANS 10400 XA AND THE CONTRACTOR WILL BE RESPONSIBLE FOR THE RECTIFICATION COSTS THEREOF.
 CHANGING OF WINDOW AND DOOR SIZED MAY RENDER THE BUILDING NON-COMPLIANT TO SANS 10400XA. REMEDIAL COST MAY BE INCURRED SHOULD DEVIATIONS OCCUR.

GREEFF ARCHITECTURE
 MARTINUS ANTON GREEFF
 PSAT (SACAP REG. #10916)
 B.Tech. Architectural Technology
 NMD Architecture 14
 Office 2, 205 Porter Road, Betsys Bay 7141
 Cellular: 082 821 7837
 Email: greeffarchitecture@builditbetter.co.za

MARIUS GREEFF (MARTINUS A GREEFF)
 PSAT (SACAP REG. #10916)
 B.Tech. Architectural Technology
 NMD Architecture 14
 Office 2, 205 Porter Road, Betsys Bay 7141
 Cellular: 082 821 7837
 Email: greeffarchitecture@builditbetter.co.za

PROJECT DETAILS:
ADDITIONS & ALTERATIONS
 PROJECT NAME:
HOUSE LLOYD
 PROPERTY DETAILS:
ERF 260, 132 JAN VAN RIEBEECK CRESCENT, SANDBAAI

OWNER'S NAME & SIGNATURES:
 LLOYD-SEO, MARK STEPHEN

SIGNATURE:
 DATE: 26/05/2023

Revision History

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	26/05/2023

ZONING:	SR1	COVER:	31.059%
FAR: FLOOR FACTOR:	0.33	ERF SIZE:	822
EXISTING HOUSE G F	156.926	AREA	156.926
EXISTING HOUSE F FL	92.982	FLOOR SPACE	156.926
EXISTING GARAGE F FL	60.955	COVER	60.955
NEW SHADE NETTING CARPORT	37.427		37.427
NEW GARDEN SHED TO BE REMOVED			
EXISTING COVERED BALCONY F FL (CHANGE USE TO SUNROOM)	21.517	21.517	
NEW BOUNDARY WALL PORTIONS	369.807	271.425	255.308
TOTAL NEW	37.427		

Drawing Name
 Ground Floor Story, North Elevation, East Elevation, First Floor Story, Building Section (1), TYPICAL SECTION OF WATER FEATURE, Ground Floor (2)

Drawing Status:
 Modified by:
 Checked by:

Drawing Scale
1:100, 1:50

Layout ID
SB260 / A.01.1

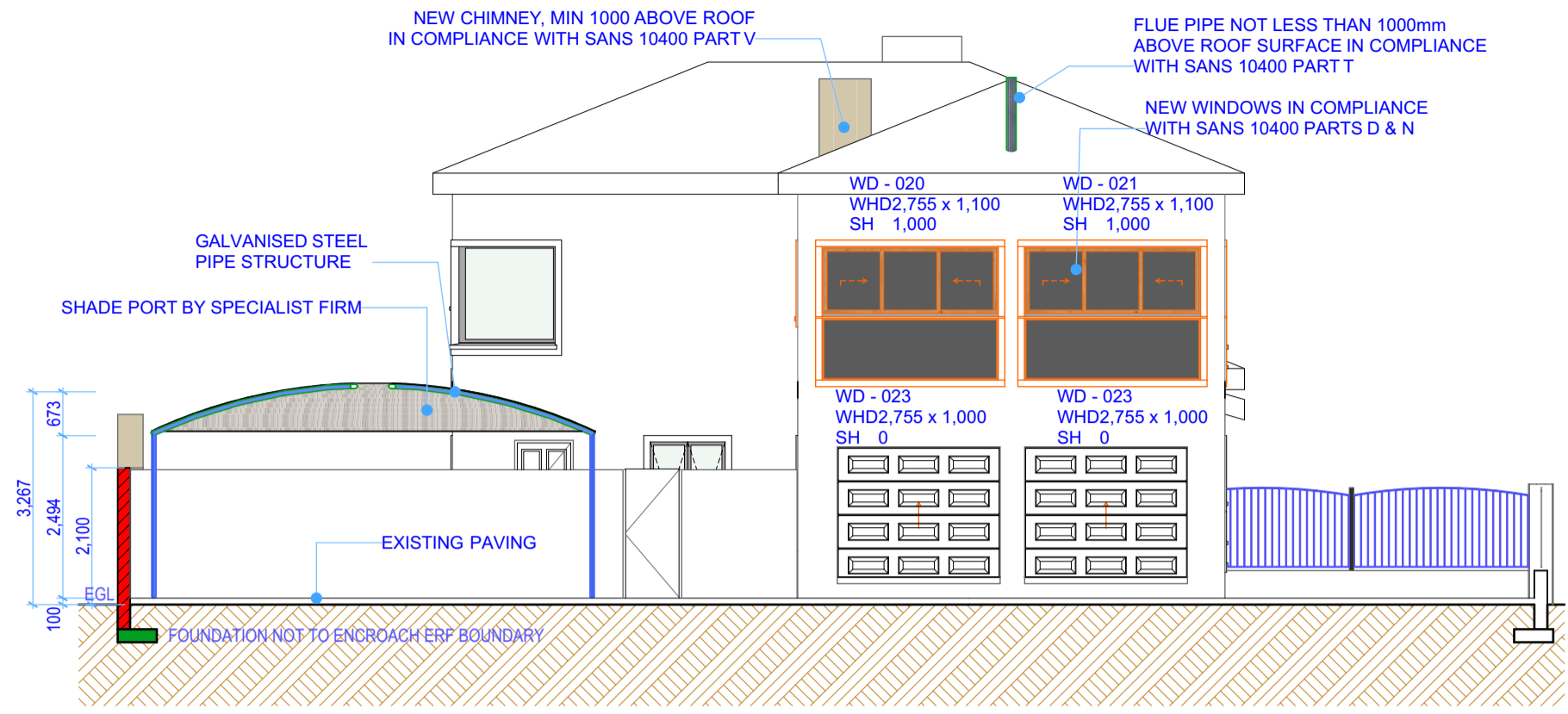
Revision

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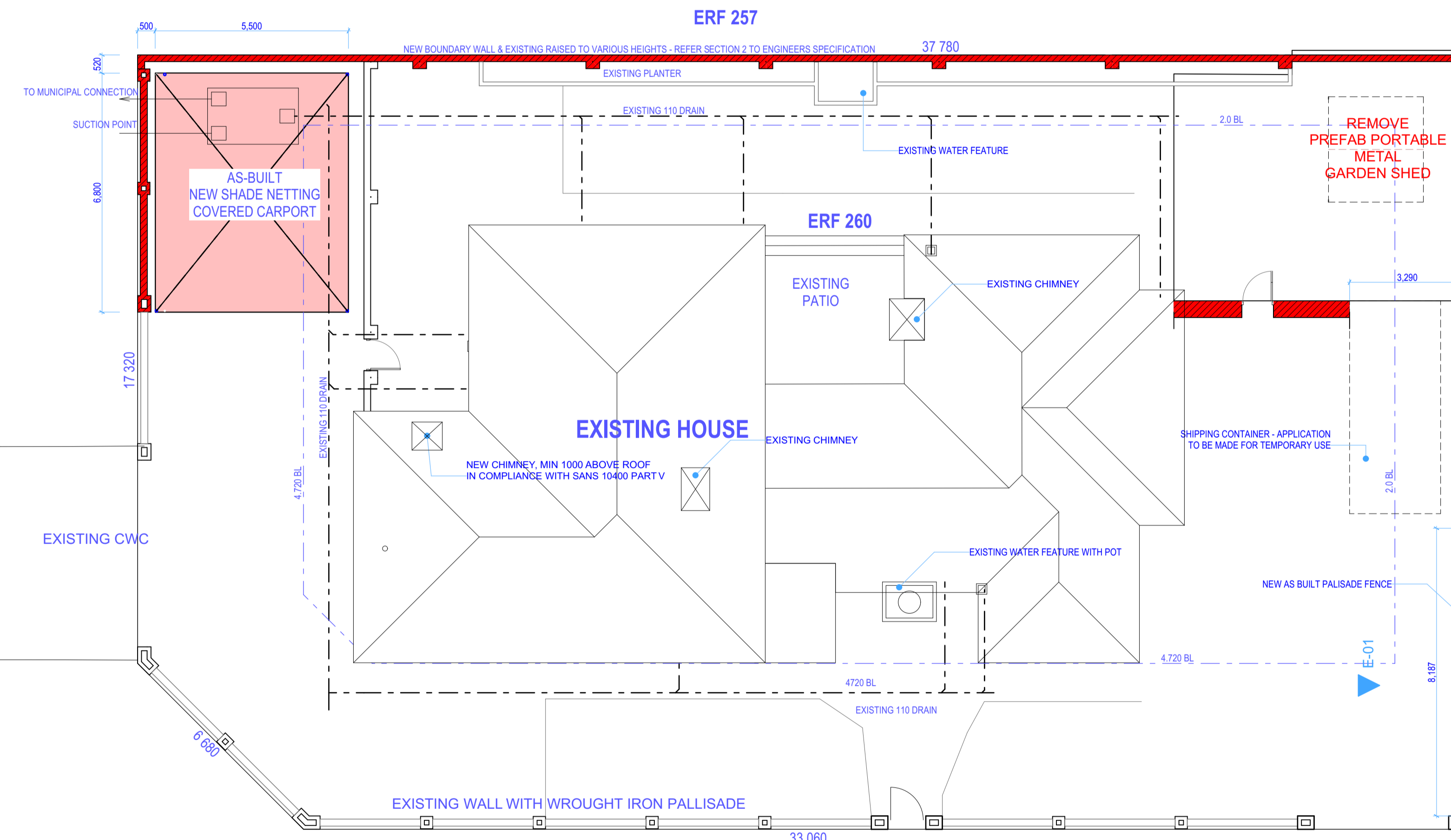
South Elevation

1:100



West Elevation

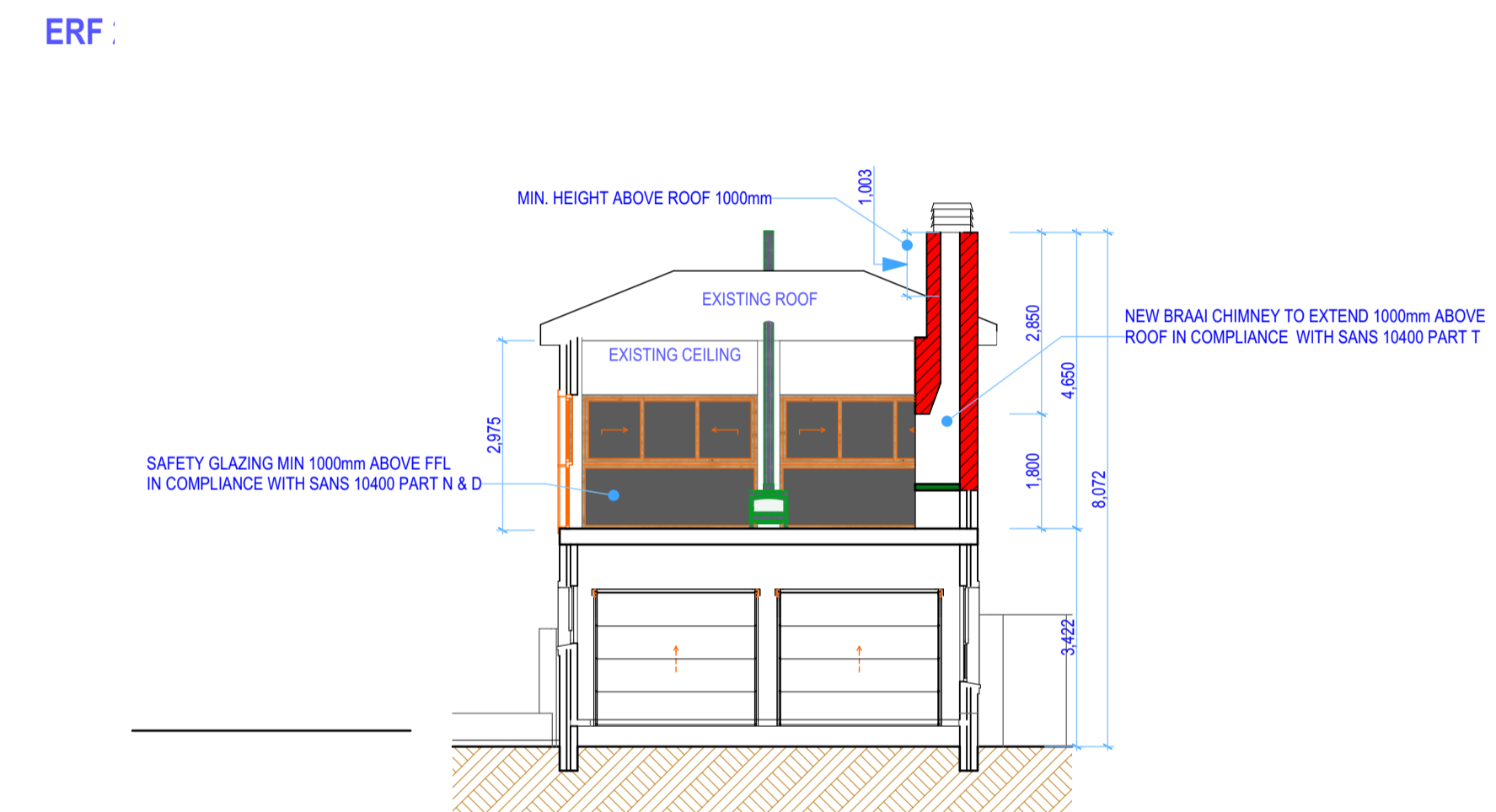
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JAN VAN RIEBEECK CRESCENT

Site Plan & Roof Plan

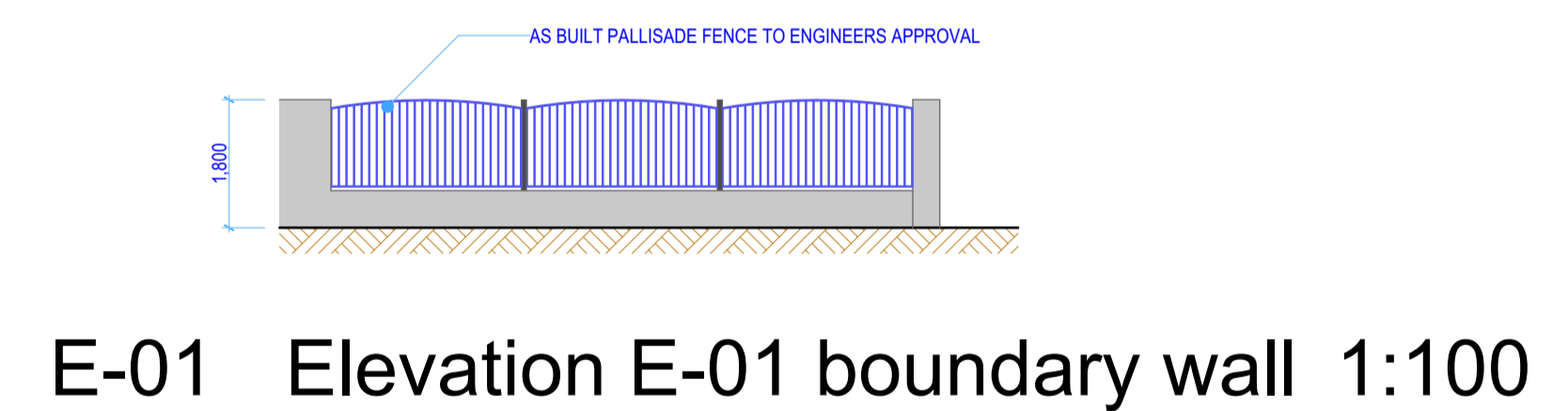
1:100



S-01

Building Section

1:100



E-01 Elevation E-01 boundary wall 1:100

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GREEFF ARCHITECTURE
MARTINUS ANTON GREEFF
MARIUS GREEFF (MARTINUS A GREEFF)
PSAT (SACAP REG: 570916)
B.Tech. Architectural Technology
14/03/2018:14
Office 2, 205 Porter Road, Betsys Bay 7141
Cellular: 082 821 7837
Email: greeffarchitecture@builditcenter.co.za

PROJECT DETAILS:
ADDITIONS & ALTERATIONS
PROJECT NAME:
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ERF 260, 132 JAN VAN RIEBEECK CRESCENT, SANDBAAI

OWNER'S NAME & SIGNATURE/S
LLOYD-SEO, MARK STEPHEN

SIGNATURE
DATE: 26/05/2023

Revision History

Drawing Name
Site Plan & Roof Plan, West Elevation, South Elevation, Building Section, Elevation E-01 boundary wall

Drawing Status:
Modified by:
Checked by:

Drawing Scale
1:100

Layout ID
SB260 / A.01.2

Revision

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ALL WORK SHALL COMPLY WITH THE FOLLOWING PARTS OF SANS 10400 (The application of the National Building Regulations) AS UPDATED FROM TIME TO TIME
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Part D: Public safety.
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Part S: Facilities for persons with disabilities.
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MINIMUM FOUNDATION THICKNESS 200 AND WIDTH 600 OR AS SPECIFIED BY ENGINEER.
THICKENING OUT OF CONCRETE SURFACE BEDS TO FORM FOUNDATIONS FOR INTERNAL WALLS TO HAVE NOMINAL DIMENSIONS SIMILAR TO STANDARD STRIP FOOTINGS OR AS SPECIFIED BY ENGINEER.
ALL UNREINFORCED CONCRETE FOUNDATIONS TO BE 15mm MIN. ALL REINFORCED CONCRETE FOUNDATIONS TO BE 25mm MIN. AND VIBRATED ALL REINFORCED CONCRETE WORK TO BE MECHANICALLY VIBRATED

SURFACE BEDS:
ALL FLOORS TO COMPLY TO SANS 10400 PART J.
HANDCORE FILLING TO BE COMPACTED IN LAYERS OF 100mm MAX.
INSTALL 250 MICRON SABS APPROVED POLYOLEFIN USB PVC SHEETING UNDER ALL CONCRETE SURFACE BEDS.
CONCRETE STRENGTH TO BE MIN. 15mpa AT 28 DAYS.
CONCRETE SURFACE BEDS TO BE MIN. 75mm THICK.
GARAGE SURFACE BEDS TO BE MIN. 100mm THICK.
SOIL POISONING TO BE IN ACCORDANCE WITH SANS 10124 AND CERTIFICATE TO BE PROVIDED.
WALLS:
ALL WALLS TO COMPLY TO SANS 10400 PART K & XA. ALL EXTERIOR WALLS TO BE 200 CAVITY WALLS WITH MINIMUM 50mm CAVITY. REINFORCED WITH NBR/C APPROVED BRICKFORCE AND WIRE TIES @ MINIMUM 2m.
INSTALL 375 MICRON EMBOSSED DPC UNDER ALL WALLS AT SURFACE BED LEVEL.
INSTALL 375 MICRON EMBOSSED DPC UNDER ALL WINDOW SILLS AS PER NBR/C DETAILS.
VERTICAL DPC TO BE INSTALLED AT ALL CHANGES OF LEVEL TO FORM TANKING. DPC TO BE SABS APPROVED FOR PURPOSE.

ROOF:
ALL ROOFS AND / OR ROOF STRUCTURES TO COMPLY TO SANS 10400 PART - L WHERE NO EAVES/ GUTTERS A 1m CONCRETE APRON TO BE INSTALLED WITH 150mm THICKENED EDGES.
SABS APPROVED UNDERLAY MEMBRANE TO BE INSTALLED TO ALL TILED ROOFS.
TRUSSES TO MAX 750 CCS TILED ROOFS.
TRUSSES TO MAX. 1200 CCS SHEETED ROOFS.
BOUNDARY WALLS:
MAXIMUM 1.8m HIGH AT THE STREET BOUNDARY.
MAXIMUM 2.1m HIGH BETWEEN PROPERTIES MEASURED FROM THE HIGHER SIDE.
STAIRWAYS:
STAIRWAYS TO COMPLY TO SANS 10400 PART M.
TREADS 250 MIN. - RISERS 200 MAX.
BALUSTRADES MAY NOT PERMIT THE PASSAGE OF A 100mm BALL.
GEYSER INSTALLATIONS TO BE IN ACCORDANCE WITH SABS 0524

CHIMNEYS / FLUES:
ALL CHIMNEYS / FLUES SHALL BE A MINIMUM OF 1m ABOVE THE ROOF ABUTTING THE CHIMNEY / FLUE.
DRAINAGE:
ALL WORK TO SANS 10400 PART P.
DISHED GULLEYS WITH GREASE TRAP TO ALL KITCHENS.
IE'S AT ALL SOIL PIPE CONNECTIONS.
RE'S AT ALL DIRECTION CHANGES.
ALL SOIL PIPES TO BE 110 DIA. uPVC.
ALL WASTE PIPES (WP) TO BE 90 DIA. MIN. uPVC.
ALL INVERT LEVELS TO BE MIN. 450mm.
ALL STACK PIPES TO HAVE ACCESS EYES (AE'S) TO EACH FLOOR LEVEL.
GEYSER INSTALLATIONS TO BE IN ACCORDANCE WITH SABS 0524

GLAZING:
ALL GLAZING TO COMPLY WITH THE REQUIREMENTS OF SANS 10137 & SANS 10400 PART N - ACCESS DOORS AND SIDE LIGHTS, WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE PITCH LINE OF STAIRS AND SHOP FRONTS SHALL BE SAFETY GLASS IN COMPLIANCE TO SANS 10400 PART N AND CLEARLY MARKED INDICATING AN OBSTRUCTION ON GLASS AT EYE LEVEL.
WALLS:
ALL WALLS TO COMPLY TO SANS 10400 PART - K.
ALL CAVITY WALLS TO BE MIN 50mm & MAX. 100mm IN STALL 375µ MICRON EMBOSSED DPC UNDER ALL WALLS AND WINDOW SILLS.

PUBLIC SAFETY:
ALL AREAS WITH A CHANGE OF LEVEL OF MORE THAN 1m SHALL COMPLY WITH SANS 10400 PART N - ACCESS DOORS AND SIDE LIGHTS, WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE PITCH LINE OF STAIRS AND SHOP FRONTS SHALL BE SAFETY GLASS IN COMPLIANCE TO SANS 10400 PART N AND CLEARLY MARKED INDICATING AN OBSTRUCTION ON GLASS AT EYE LEVEL.
POOL:
SAFETY AND FENCING TO COMPLY TO NBR DD4.DD4.1 TO DD4.3.
ALL FENCING TO BE MINIMUM 1200 HIGH WITH ALL GATES SELF CLOSING AND SELF LOCKING.
CHIMNEYS / FLUES:
ALL CHIMNEYS SHALL ME A MIN. OF 1.0m ABOVE ROOFS ABUTTING THE CHIMNEY.

ZONING:	SR1	COVER:	31.059%
FAR: FLOOR FACTOR:	0.33	ERF SIZE:	822
EXISTING HOUSE G.F	156.026	FLOOR SPACE	156.026
EXISTING HOUSE F.FL	92.982	COVER	92.982
EXISTING GARAGE G.FL	60.955		60.955
NEW SHADE NETTING CARPORT	37.427		37.427
NEW GARDEN SHED TO BE REMOVED			
EXISTING COVERED BALCONY F.FL (CHANGE USE TO STAIRCOM)	21.517	21.517	
NEW BOUNDARY WALL PORTIONS	369.807	271.425	255.308
TOTAL NEW	37.427		