



ERF 2225, 34 FOREL STREET, PEARLY BEACH (PEARLY BEACH HOLIDAY RESORT), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: A STIPP & SS DU TOIT

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received for a departure in terms of Section 16(2)(b), to relax the southern lateral building line from 1m to 0.15m, to accommodate a proposed garage on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and Gansbaai Library, Main Road, Gansbaai. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (e) alida@overstrand.gov.za) on or before **Friday, 27 June 2025**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Senior Town Planner, Mr. SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 2225, FORELSTRAAT 34, PEARLY BEACH (PEARLY BEACH VAKANSIE-OORD), OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: A STIPP & SS DU TOIT

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek vir 'n afwyking ontvang is ingevolge Artikel 16(2)(b), om die suidelike lateraleboulyn vanaf 1m na 0.15m te verslap, om 'n voorgestelde motorhuis op die eiendom te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en Gansbaai Biblioteek, Hoofweg, Gansbaai. Enige skriftelike kommentaar moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus (e) alida@overstrand.gov.za) bereik voor of op **Vrydag, 27 Junie 2025**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Senior Stadsbeplanner, Mnr. SW van der Merwe** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 2225, 34 FOREL STREET PEARLY BEACH (INDAWO YEHOLIDE YASE PEARLY BEACH), KUMMANDLA WOMASIPALA WASE-OVERSTRAND: ISICELO SOPHAMBUKO: A STIPP & SS DU TOIT

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokokuba isicelo sifunyenwe sophambuko ngokwemiqathango yeCandelo 16(2)(b) sokunyeniswa komda wesakhiwo osecaleni emzantsi ukususela kwi-1mitha ukuya kwi-0.15mitha ukulungiselela isiphakamiso se garaji kwi propati.

Iinkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, eHermanus nakwiThala leeNcwadi laseGansbaai, Main Road, eGansbaai. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho uyilwayo kaMasipala mazithunyelwe kuMasipala (16 Paterson Street, Hermanus / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi komhla **koLwesihlanu, 27 eyeSilimela 2025**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **kuMnu SW van der Merwe** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe

321/0



PROPOSED APPLICATION FOR DEPARTURE FROM BUILDING LINE

EIENDOM: Erf 2225, Pearly Beach, Pearly Beach Oord,

(Total size: 154 m2)

Overstrand Municipality

Western Cape

OWNERS: A.STIPP and SS. DU TOIT

TITLE FILE: NO T000032210/2023

DATE: 12 April 2025

1. General Information
2. Purpose
3. Proposed development
4. Character of the environment
5. Desirability of the proposed utilisation
6. Investigations carried out in relation to other laws pertaining to
7. Impact on municipal services
8. Consideration of future planning and land use
9. Planning principles
10. Picture
11. Adaptation, lifting, or removal of restrictive conditions
12. Summary

GENERAL INFORMATION

Town planning actions relating to the proposed application for divergent use for exceeding the 1.00 metre side building line, in order to accommodate a proposed garage are initiated and handled by the owners themselves.

PURPOSE

The purpose of this writing is to apply for the following:

DEVIATION- 1m scheme regulations side-building line

The existing side building line in Pearly Beach Resort is currently 1.00 meters, according to the Homeowners Association's Architectural Guidelines dated April 16, 2022. We would like to apply for the exceedance of the side building line, adjacent to erf 2226, to 0.15 metres as the Architectural Guidelines already grant approval so that a garage may be erected up to the boundary line, see point 9.4.8

However, the owner of erf 2226 does not want to give permission.

PROPOSED DEVELOPMENT

The residential property in question namely Erf 2225, Pearly Beach Resort, has no existing dwelling on it. The proposed development involves the erection of residence with garage which will be used to protect the assets of the owners from the elements. The space where the garage is to be erected is on the southern boundary of the property (adjacent erf 2226)

The side building line of 1.00 meters will exceed to 0.15 meters. The reason for said deviation is that erven in Pearly Beach Resort are very small and therefore space is required so that proposed garage will be able to accommodate the width of a vehicle. This structure is erected along existing boundary wall and the proposed structure's length will border erf 2226 and end in front of the only window on that side of the property (see photo attached), so direct sunlight is not affected.

The erection of the structure will not cause any additional traffic.

CHARACTER OF THE ENVIRONMENT

The proposed structure will not affect land use, accommodation density, historic architecture, historic conservation areas, natural assets, or the privacy of the neighbors or any views.

DESIRABILITY OF THE PROPOSED USE

The use of the site will not affect the potential for other uses such as agriculture, conservation and mining, as it is already part of a residential space. It will also not adversely affect surrounding landowners, on the contrary, it will hide unsightly standing around of goods.

INVESTIGATION CONDUCTED WITH RESPECT TO OTHER LAWS RELEVANT TO THE CONSIDERATION OF THE APPLICATION

No applicable

THE IMPACT OF THE PROPOSED DEVELOPMENT ON MUNICIPAL SERVICES

Water supply – no impact

Solid waste – no impact

Electricity supply – no impact

Sanitation – no impact

Fire brigade – no impact

The construction of the proposed garage will have no impact in terms of pollution, additional traffic, the main routes as well as other infrastructure.

CONSIDERATION OF FUTURE PLANNING AND USE OF LAND

The survey property is zoned as resort zone 2 and surrounding property is also zoned resort zone 2 which is used for residential purposes.

PLANNING PRINCIPLES

The proposed application is in line with the policy, planning principles, development norms and criteria set out in Pearly Beach Beach Resort Homeowners Association/Architectural Guidelines.

PICTURE

See attached.

ADAPTATION, REMOVAL OR REMOVAL OF RESTRICTIVE CIRCUMSTANCES

Not applicable.

SUMMARY

Taking into account the foregoing motivational report, it is held that the exceedance in no way has a negative impact on adjacent landowners and the environment.

Proposed application for deviant use on Erf 2225, Pearly Beach Resort, Pearly Beach, is boldly recommended for your Council's favourable consideration.

We trust that you will find it in order and would love to hear from you in this regard.

Kind to yours

A.STIPP

SEL: 0837964965

SS. DU TOIT

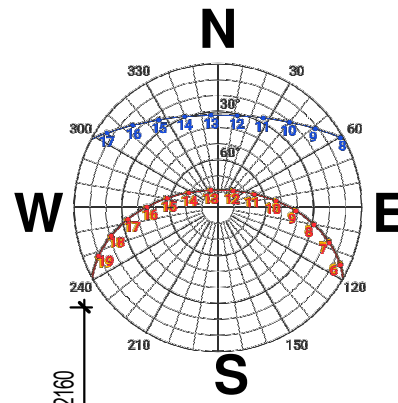
CELL: 0827370380

Nautilus 1

Pearly Beach

7220

Bietou Street



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TO BE CONFIRMED WITH CLIENT:

1. Window/Door configurations
2. Type of timber floor covering
3. Interior door types and handles
4. Any special detail/feature indicated (cladding etc)

TO BE CONFIRMED BY CLIENT:

1. Light & Plug fittings
2. Colour of Paint
3. Floor finishes
4. All tap fittings
5. Bedroom & Kitchen cupboard designs
6. Type of Balustrades
7. Height of Braai/Fireplace
8. Facebrick to be used

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT:
PROPOSED NEW DWELLING ON ERF 2225, FOREL STREET, PEARLY BEACH RESORT FOR A & SS STIPP & DU TOIT.

DESCRIPTION:
SITE PLAN & LOFT PLAN

SHEET FORMAT: A3
OCCUPATION: H4

SCALE: As indicated
DRAWING #: 32/AS/24

PAGE #: 1
DRAWING DATE: 26 JUNE 2024
PLOT DATE: 19/03/2025 14:58:05

DRAWN: Johan Gericke
SIGNATURE: *Johan Gericke*

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PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
JOHAN LODEWYCK SERFONTEIN GERICKE
16:51 PM (Africa/Johannesburg) on 21 Sep 2020

ERF 2225

154 m²

Site Boundary 9.94 m

Site Boundary 3.12 m

Site Boundary 10.42 m

Site Boundary 12.57 m

Erf 2226

Forel Street

LOFT LAYOUT

1 : 100

SCHEDULE OF RIGHTS

PROPERTY DESCRIPTION

Erf Number: 2225 Site Area: PEARLY BEACH RESORT
Erf size: 154m²

ZONING INFORMATION

Town planning Scheme: OVERSTRAND
Use Zone: RESORT ZONE 2

DEVELOPMENT CONTROL MEASURES

New Ground Floor	: 69.76m ²
New Garage	: 23.44m ²
New Loft	: 28.29m ²
New Stoep	: 10.76m ²
TOTAL	: 132.25m ²
Coverage	67.51%

LINES/PIPES:

- New Sewerage line Above Slab/Wall - 110mm PVC
- - - New Waste line Above Slab/Wall- 50mm PVC
- New Sewerage line Under Slab - 110mm PVC
- New Waste line Under Slab- 50mm PVC
- Existing sewer line
- - - New Stormwater Line
- New Gas line
- New Cold water line
- New Hot water line

PLUMBING WORK

- RE Rodding Eye
- IE Inspection Eye
- VP Vent pipe
- WP Waste pipe
- SP Soil pipe
- IC Inspection chamber
- CE Cleaning Eye

GENERAL

- NGL Natural Ground Level
- FGL Finished Ground Level
- FFL Finish Floor Level
- IL Invert level
- RC Reinforced Concrete
- FC Fibre cement

SITE PLAN - GROUND FFL

1 : 100

LEGEND:

- █ New Brickwork
- █ New Timberwork
- █ New Steel Elements
- █ New Foundation/ Concrete work
- █ Existing buildings/structures
- █ Demolished work
- █ New Fire Protection Elements

NEIGHBOUR'S CONSENT:

Erf : 2226

Owner:

Date:

Erf 2249

Site Boundary 12.78 m

1m Scheme Building Line

1m Scheme Building Line

1m Scheme Building Line

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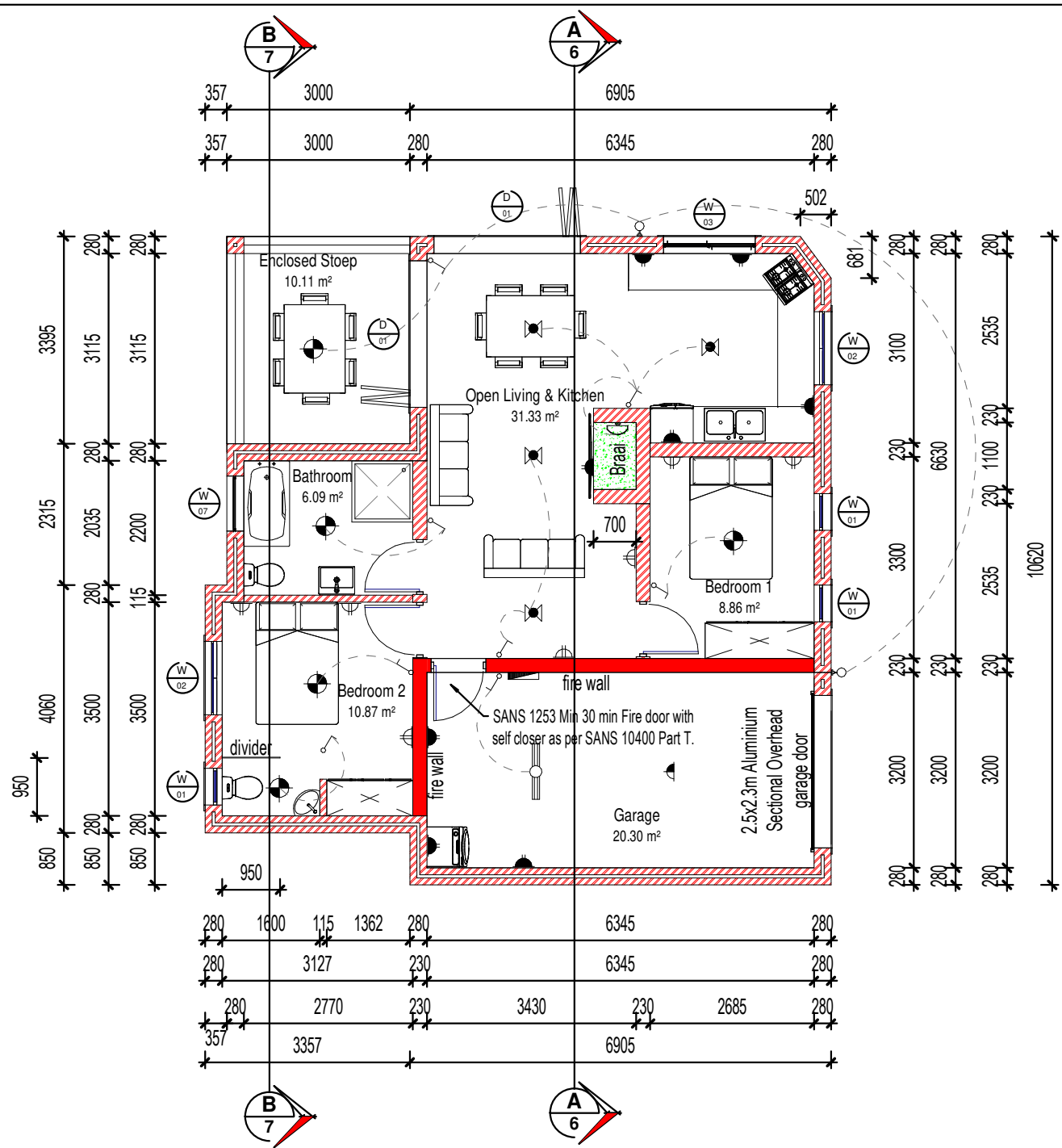
1m Scheme Building Line

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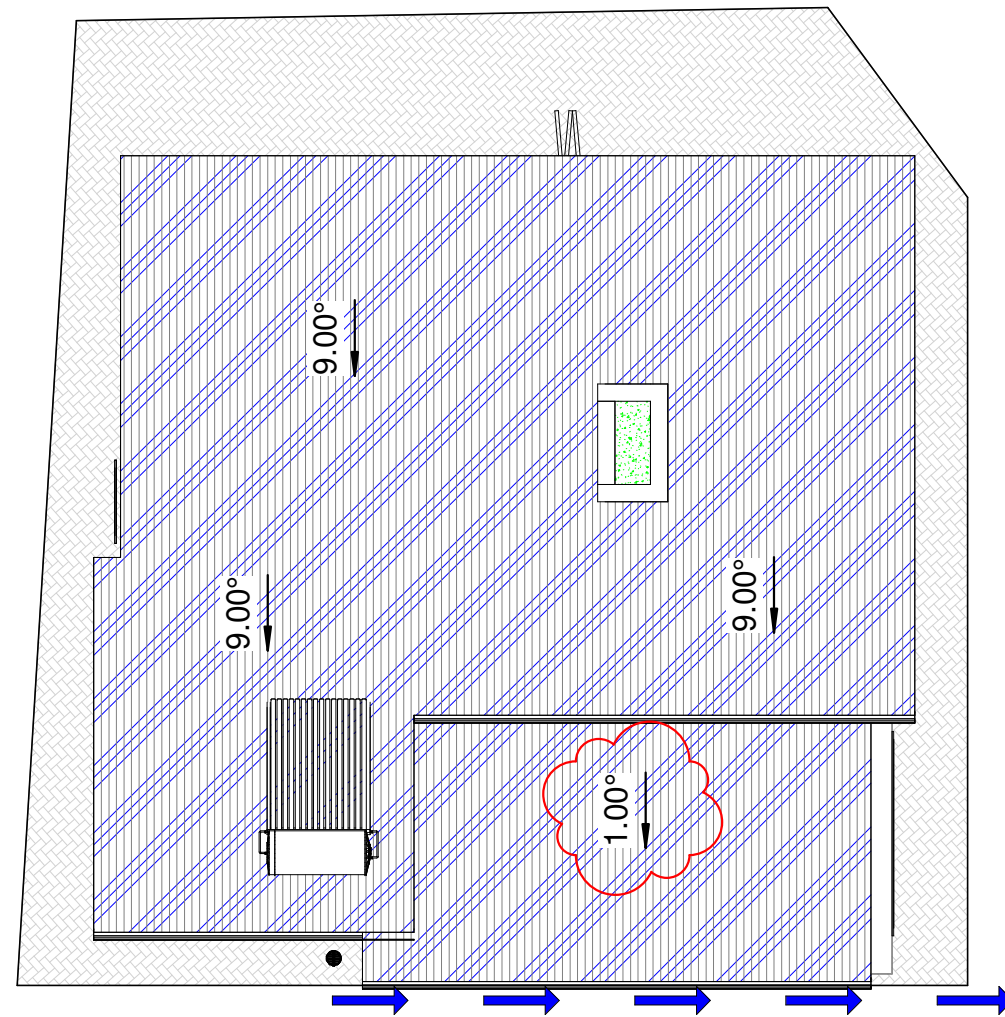
GROUND FFL

1 : 100

GENERAL:

1. All work to comply with National Building Regulations.
2. All dimensions and levels to be checked on site before any work commences.
3. This drawing is not to be scaled and only figured dimensions are to be used.
4. All work is to be carried out in accordance with local authority requirements.
5. All levels unless otherwise indicated are finished floor levels.
6. Finished floor levels are to be min. 150mm above N.G.L.
7. Any discrepancies are to be reported to the offices of the Architects.
8. All glazing is to comply with part N of the NBR.
9. Building to comply with National Building Regulations.
10. Structural work to comply strictly with accordance to Eng's spec's & details.

SPECIAL NOTE:
Engineer may alter/change specifications or materials as deemed fit.



SITE PLAN - ROOF PLAN

1 : 100

ELECTRICAL LEGEND

	DISTRIBUTION BOARD @ 1400mm AUFL WITH PREPAID KEYPAD		INTERIOR RECESSED LED DOWNLIGHTER IN SLAB.
	WALL MOUNTED LIGHT SWITCH @ 1200mm FROM FFL.		FREEHANGING PENDANT LIGHTS
	SINGLE 16 AMP CEILING MOUNTED SOCKET OUTLET.		300mm ABOVE STAIR LIGHT (FOOT LIGHT).
	SINGLE 16 AMP SOCKET OUTLET @ 350mm FROM FFL OR AS INDICATED.		EXTERNAL WALL MOUNTED LED LIGHT.
	DOUBLE 16 AMP SOCKET OUTLET @ 350mm FROM FFL OR AS INDICATED.		CAST IRON BULKHEAD LIGHT POINT.
	SINGLE 16 AMP SOCKET OUTLET @ 1200mm FROM FFL OR AS INDICATED.		CEILING MOUNTED LIGHT POINT.
	DOUBLE 16 AMP SOCKET OUTLET @ 1200mm FROM FFL OR AS INDICATED.		CEILING HANGING CHANDELIER
	DOUBLE 16 AMP WATERPROOF SOCKET OUTLET @ 350mm FROM FFL OR AS INDICATED.		UNDER COUNTER LED STRIP LIGHTS
	60A ISOLATOR POLE SWITCH		CEILING MOUNTED EXTRACTOR FAN WITH CONTROLLED LIGHT SWITCH.
	WALL MOUNTED ALARM KEYPAD & GATE ACCESS CONTROLLER		4 HOUR BATTERY BACKUP EMERGENCY WALL LIGHT.
	1500mm DOUBLE LED TUBE LIGHT.		

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3. Floor finishes
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2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT: PROPOSED NEW DWELLING ON ERF 2225, FOREL STREET, PEARLY BEACH RESORT FOR A & SS STIPP & DU TOIT.

DESCRIPTION:
GROUND FLOOR & ROOF PLAN

SHEET FORMAT: A3
OCCUPATION: H4

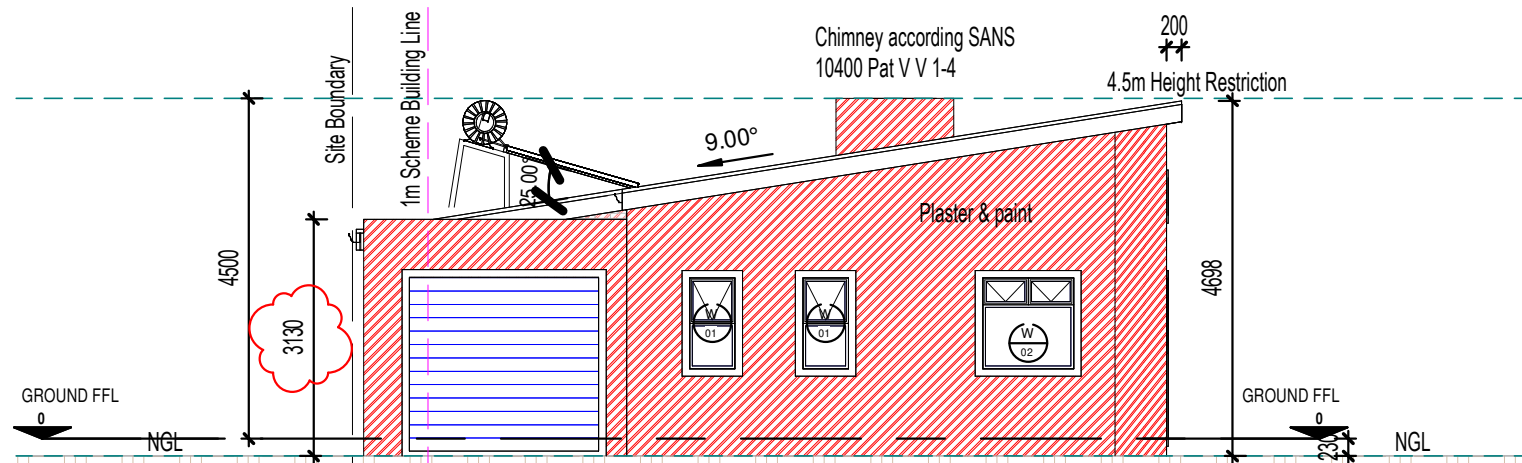
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PAGE #: 2
DRAWING DATE: 26 JUNE 2024
PLOT DATE: 19/03/2025 14:58:06

DRAWN: Johan Gericke
SIGNATURE:

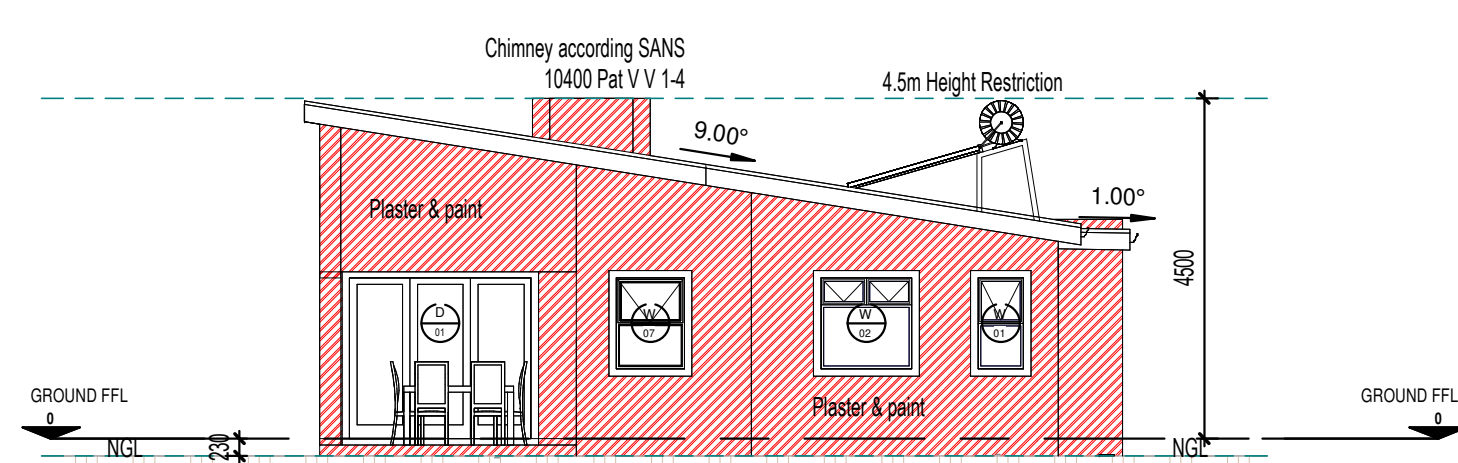
GERICKE ARCHITECTURE
www.gericke-architecture.co.za
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Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
JOHAN LODEWYCK SERFONTEIN GERICKE
16:51 PM (Africa/Johannesburg) on 21 Sep 2020



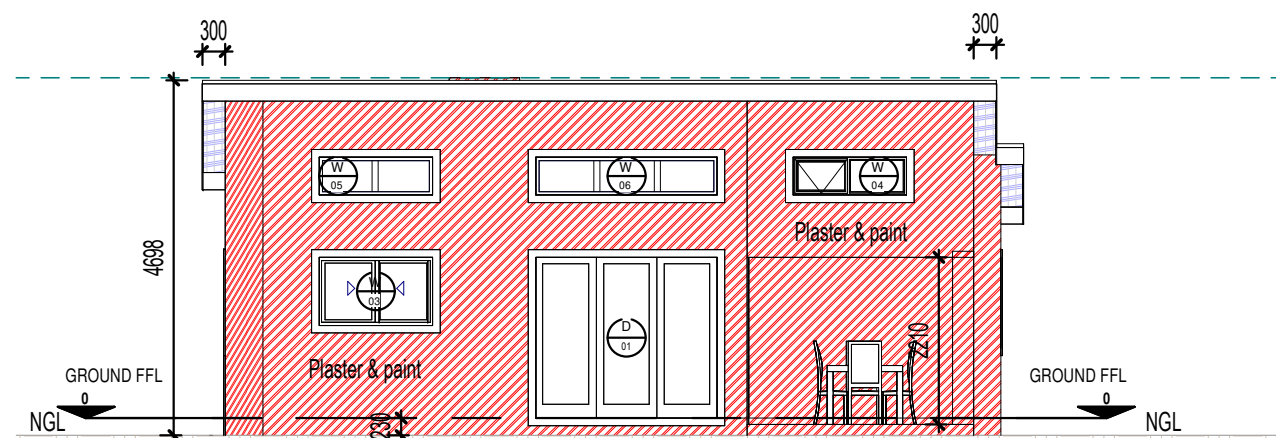
East Elevation

1 : 100



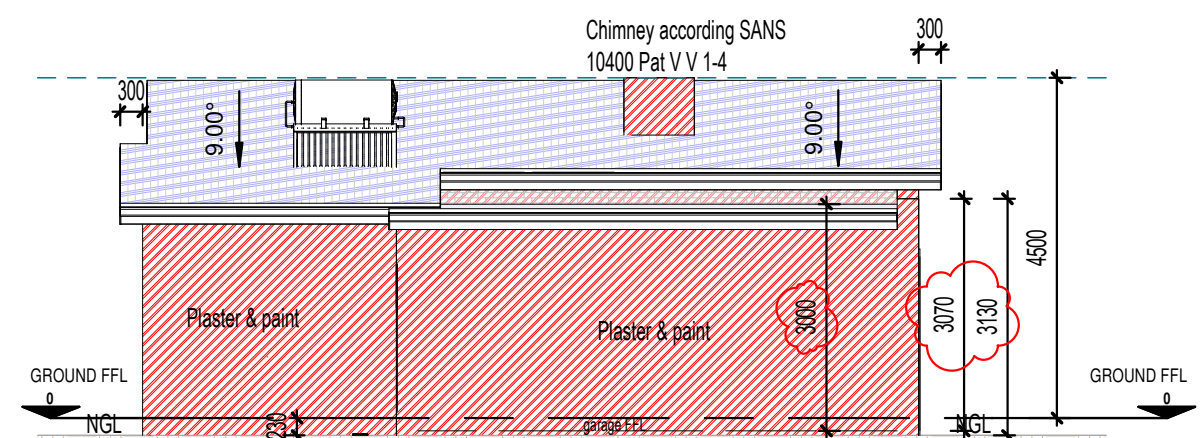
West Elevation

1 : 100



North Elevation

1 : 100



South Elevation

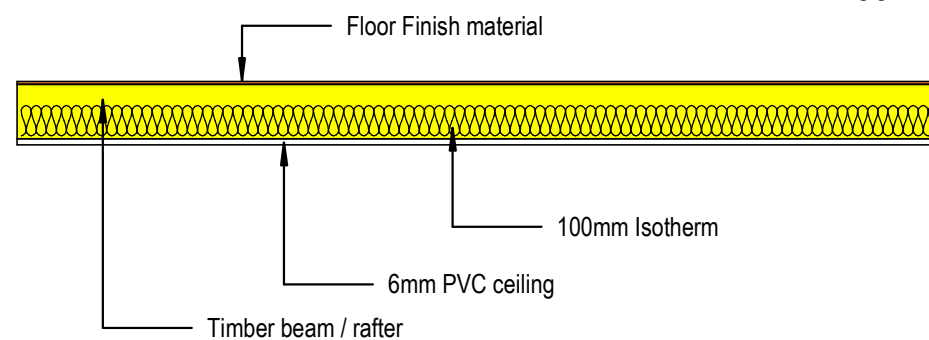
1 : 100

Under Floor Insulation :

Indoor air film (still air)	0.16
Timber floor finish	0.04
Still air film	0.11
Isotherm 100mm	1.57
PVC ceiling	0.06
Outdoor air film (7m/s)	0.03
Total R-value	1.97

Direction of flow of heat for Zone 4 : Up
Min R-Value Needed : 1.9 (same as walls)

THEREFORE FLOOR INSULATION COMPLIES.

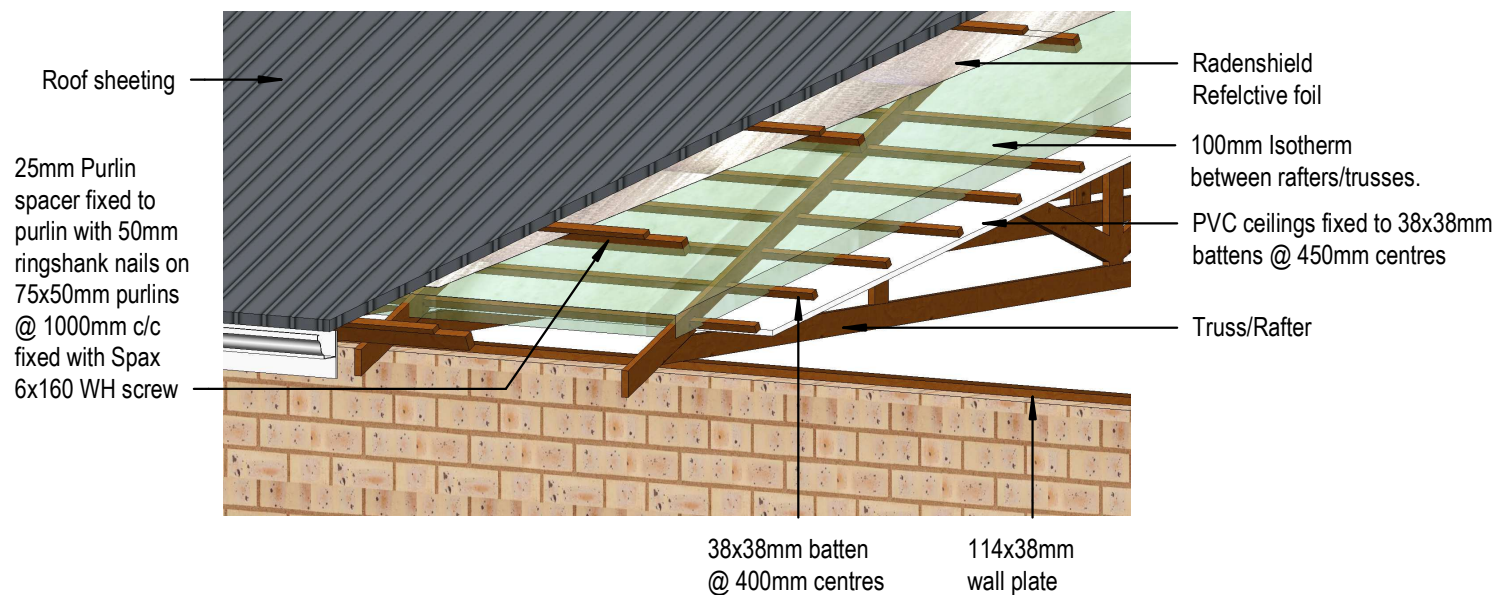


Underside Floor Insulation Detail

1 : 25

DRAWN: Johan Gericke SIGNATURE: <i>Johan Gericke</i>	IMPORTANT NOTE: THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING! 1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS 2. ISOTHERM INSULATION IN ROOF VOID 3. SOLAR GEYSER/GAS GEYSER	PROJECT: PROPOSED NEW DWELLING ON ERF 2225, FOREL STREET, PEARLY BEACH RESORT FOR A & SS STIPP & DU TOIT. DESCRIPTION: ELEVATIONS	SCALE: As indicated DRAWING #: 32/AS/24 DRAWING DATE: 26 JUNE 2024 PAGE #: 3	www.gericke-architecture.co.za info@gericke-architecture.co.za Tel : 028 384 1659 Sel : 082 453 8554 SACAP : D2869 Prof Arch Draught
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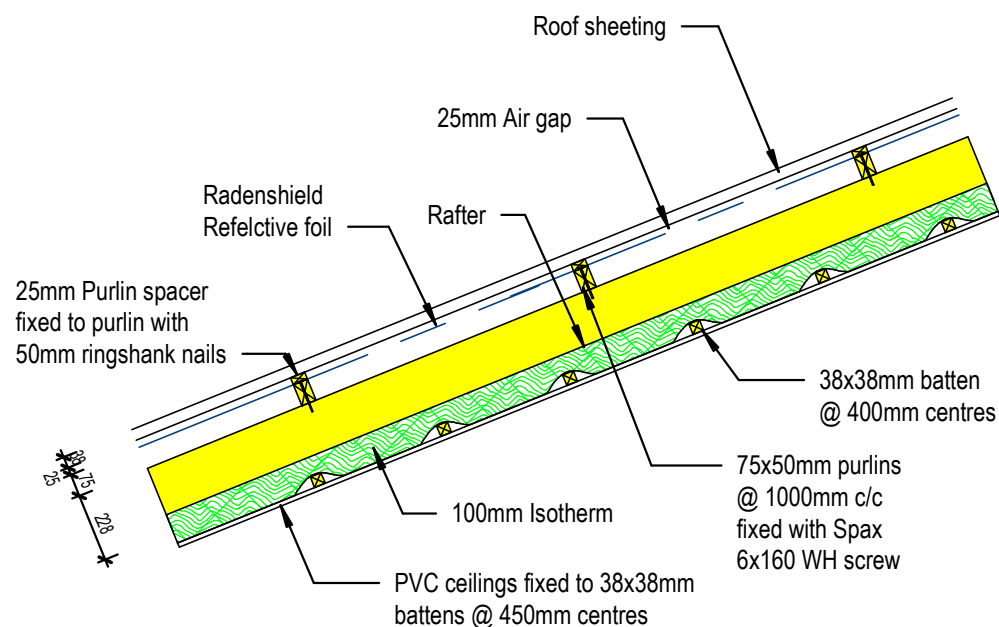


Roof Insulation Detail

1 : 25

Kwikot Kwiksol direct close coupled thermosyphon solar water heating system with 16No. solar vacuum tubes set mounted onto an adjustable frame, system to include 150 Litre SOL-150-DIR round solar water heater complying with SANS 1307:2007, overall size 538mm diameter x 1035mm long with 22mm copper pipe and operating at 400kPa with 400kPa Kwikot Multi pressure control and expansion relief valve (Code: KHN3.214), 20mm draincock and 22mm insulated pipe work including two Kwikot vacuum breakers (Code: KHN4.200CX) installed on hot and cold water supply, including all necessary brackets, lagging, thermostatic mixing valve and 7 day digital geyser timer. Geyser to be positioned horizontally on roof, all in accordance with SANS 10254:2004 and SANS 10106:2006, connected to single phase electrical power supply with isolator 1m away from connection on geyser.

- Installation region: frost-free area (coastal areas)
- Geyser: 150 Litre SOL-150-DIR
- Solar collector: solar vacuum tubes.



CATHEDRAL CEILING

Roof Insulation :

Roof 12° to 30° pitch with horizontal ceiling and roof sheeting

Outdoor air film (7m/s)	0,03
Roof sheeting	0,00
Roof air space (non-reflective)	0,18
PVC ceilings	0,06
Indoor air film (still air)	0,11
Total R-value	0,38

Direction of flow of heat for Zone 4 : Up
 Min R-Value Needed : 3.7
 Roof as above R-Value = 0.38
 Radenshield reflective foil laminate: R-Value = 1.36
 $3.7 - 0.38 - 1.36 = 1.96$ (Isolation Needed)
 R_Value of insulation = $1.96 \times 0.046W/m.K$ (SANS204 Table 10)
 R = 0.090
 Therefore 100mm Isotherm insulation required.

Ceiling

As shown on Building Plan.
 75mm Nutec Cornices to be neatly placed.
 Provide manholes where necessary.

Doors & Frames

Doors according to Swartland catalog and owner.
 Inside: Standard Swartland wooden frames according to door opening.
 Frames attached to brickwork with Steel Anchors at 600mm centres.

Kitchen

Cabinets According to Manufacturers Specifications and Owner Choice.
 Taps provided by owner must comply with SABS.
 Gas installation done by specialists and according to SANS 10087.

Floor / Wall Finishes & Skirtings

As per owner choice.

Electric

See Electrical Layout Plan for points.
 Lights & fittings provided by owner.
 Exterior walls - necessary electrical pipes placed inside cavities of walls.

Paint

2 x Coats Plascon plaster primer
 2 x Coats Plascon Wall & All.
 Final layer provided by owner.

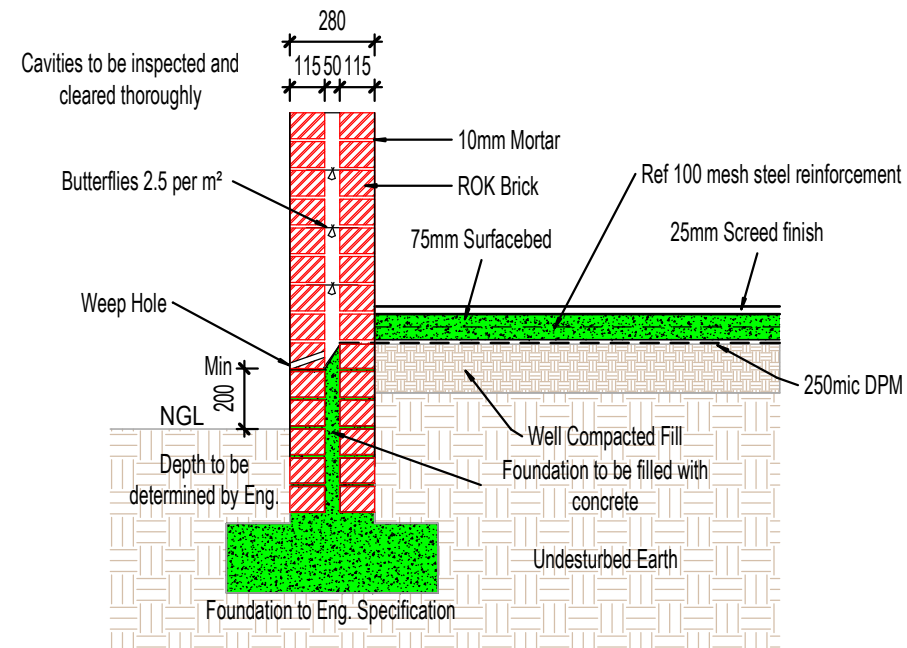
Rainwater supplies

As shown on Building Plan.

All work to comply with National Building Regulations & relevant SANS.
 All requirements of the local authority must be strictly adhered to.
 The contractor is responsible for complying with the municipal regulations and familiarizing himself with the procedures of building control.
 All levels, unless otherwise indicated, are finished floor levels.
 All measurements, details and levels must be checked before any construction begins as well as before any materials are ordered.
 Dimensions indicated on plan take precedence over measurements scaled from plan.
 No part of construction work may exceed any building lines.
 Departure from approved building plans to be confirmed with draftsman first.
 Engineer specifications take precedence.
 Approved building plans must be available on site at all times.
 Site to always be clean.
 Plans to be read in conjunction with any other specialist plans.
 Any discrepancies or queries regarding the plans should be directed to the draftsman before construction begins.
 Electrical and water connection must be done before construction begins.
 Building and hazardous materials must be removed and disposed of responsibly.

PLEASE NOTE

Where specifications of materials or items are not described, manufacturer's specifications and descriptions must be obeyed.
 If specified item / material cannot be used, similar must be sourced & used.



Foundation Detail

1 : 25



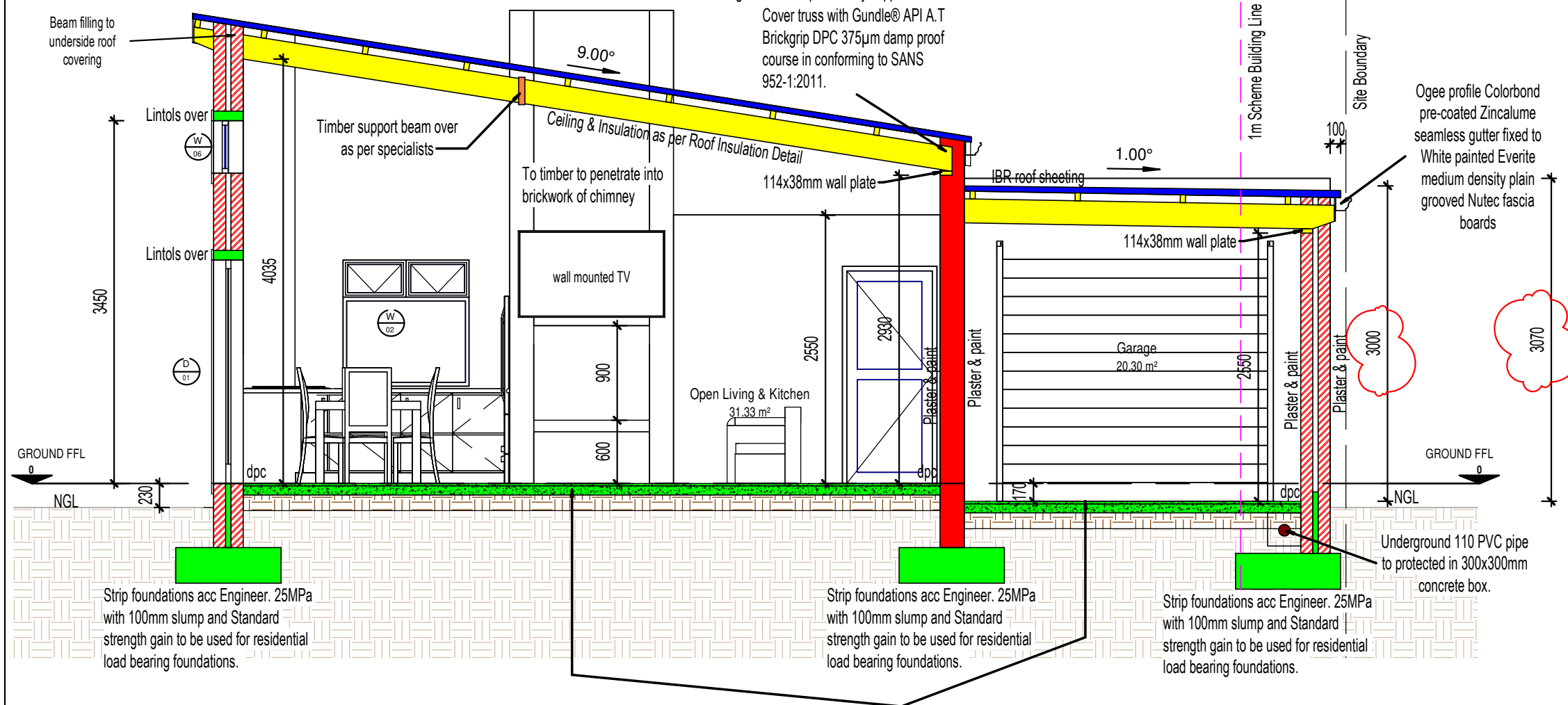
Solar Geyser Detail

1 : 50

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OCCUPATION: H4	SHEET FORMAT: A3		DESCRIPTION: DETAILS	DRAWING DATE: 26 JUNE 2024	PAGE #: 4	



Global Roofing Solutions 0.53mm thick Corrugated profile Ultra AZ200 spelter G550 Clean Colorbond Ultra African Charcoal finish top coat and Shadow Grey backing coat roof sheeting, fixed to timber intermediate purlins at max 1000mm centres on Coverland double-sided Radenshield reflective barrier (Code: 605202) with joints lapped 150mm, fixed over Grade 7 SAP timber roof rafters. Rafters to be at max 1000mm CTS & to be laid on 38 x 114mm SAP approved wallplate. Rafters to be tied down with galv. wire wall ties to be built into walls min 600mm.
As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).
Use colour coded roofing screws as specified by supplier.



Construction Notes

Site Corner Pegs

To be found and pointed out.

Site cleaning

Site must be thoroughly cleaned before any Construction may begin.
Temporary toilet must be provided on yard. 1 Toilet for every 30 employees.

Foundations

As shown on Building Plan.
Min. of 25Mpa strength for foundations after 28 days.
All foundations must be horizontal. Steps in foundations due to level difference max 400mm.
Foundations: 1 part Cement, 4 parts Sand and 5 parts 19mm Stone.
Building Inspector and Engineer must inspect foundations before filling.
Remove all organic matter.
Foundations to comply with SANS 10400 Part H.
Depth of foundations determined by engineer and soil conditions.

Floors - Concrete

As shown on Building Plan and follow Engineer's specifications.
Filling done in 150mm layers at a time.
All necessary service pipes must be laid before pouring concrete floor.
DPC must be at least 100mm above ground level.
Bathrooms and Kitchen floors must be waterproof.
Construction joints and expansion joints according to Engineer and SANS 10400 Part J.
Engineer to perform compaction test before pouring the concrete floor.

Brickwork

As shown on Building Plan.
Corobrik® 14MPa nominal compressive strength NFX loadbearing Imperial brick, size 222 x 106 x 73mm.
Exterior walls are 280mm thick and interior walls 115mm thick as shown on building plan and built stretcher bond method.
In cavity walls, wall ties to be embedded in masonry joints at right angles to the brick skins. The number of wall ties per m2 of walling shall be 2.5 ties.
Provide weepholes every 1000mm and 50mm in height.
Class II mortar mix for brickwork, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand in thickness as indicated to brickwork. Surebuild cement is to be manufactured in accordance with SANS 50197-1.
Bricks must comply with SANS 227 and 1215.
In all load bearing brickwork supply approved NHBC continuous brickforce in every second layer. In addition, supply continuous NHBC approved brickforce in every layer for the first four layers above and below the top of foundations & slabs, as well as over and below all window and door openings. Minimum laps to be 300mm. In all foundation walls, supply continuous NHBC approved brickforce in every layer up to the DPC layer.
Lintols over all openings in building at a height of 2.1m from floor level and as shown. Min 3-4 Rows of brickwork allowed over lintols.
Mixture: 1 part cement and 4 parts sand.
Foundation walls - Cavities must be filled with concrete up to DPC. Galvanized Brickforce each layer of brickwork.
Cavities should be cleaned every day after work.
All walls and necessary construction joints to comply with SANS10400 Part K and SANS2001-CM1.

Insulation and Geyser

As shown on Building Plan.

Section A-A

1 : 50

25mm Floor screed mix for concrete surface beds, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 3 parts sand in thickness as indicated to concrete surface beds.
Surebuild cement is to be manufactured in accordance with SANS 50197-1 on
85mm Concrete mix for slabs, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N); 3 parts sand and 3 parts 13mm - 19mm stone producing a strength of 20-29MPa using 60L water per 2 bags cement. Surebuild cement is to be manufactured in accordance with SANS 50197-1 on
Gundl® API A.T USB Green 250µm damp proof membrane under concrete surface beds conforming to SANS 952-1:2011 laid with minimum 150mm overlaps and sealed with Gunplas pressure sensitive tape on well compacted core filling according engineer's satisfaction. All organic material to be removed.

Roof

As shown on Building Plan.
Engineers Certificate for the approval of roof construction is required by Municipality before Occupation Certificate is issued.
Grade of timber reviewed by roofing specialists.
ALL EXPOSED TIMBER TRUSSES / RAFTERS TO BE SMOOTH SAWN.
Support crossbars as per specialists.
All roofing timber that is built into walls must be covered with DPC at the section where it makes contact with the wall.
All roof trusses erected and manufactured by specialists.
Roof slope = As shown on Building Plan.
Roof overhang = As shown on Building Plan.
Color of roofing sheets = To be confirmed by owner.
Use colour coded roofing screws as specified by supplier.

Earthworks

Levels indicated on building plans are estimated heights.
Excavations and backfills must also be determined by Engineer.
Contractor to confirm levels and excavations on site.

Engineering works

All steel elements, foundations, compaction, concrete slabs, retaining walls according to Engineering Design.

Movement -

Contractor to make provision for movement - ceiling, floor finishes, cornices etc.

Waterproofing -

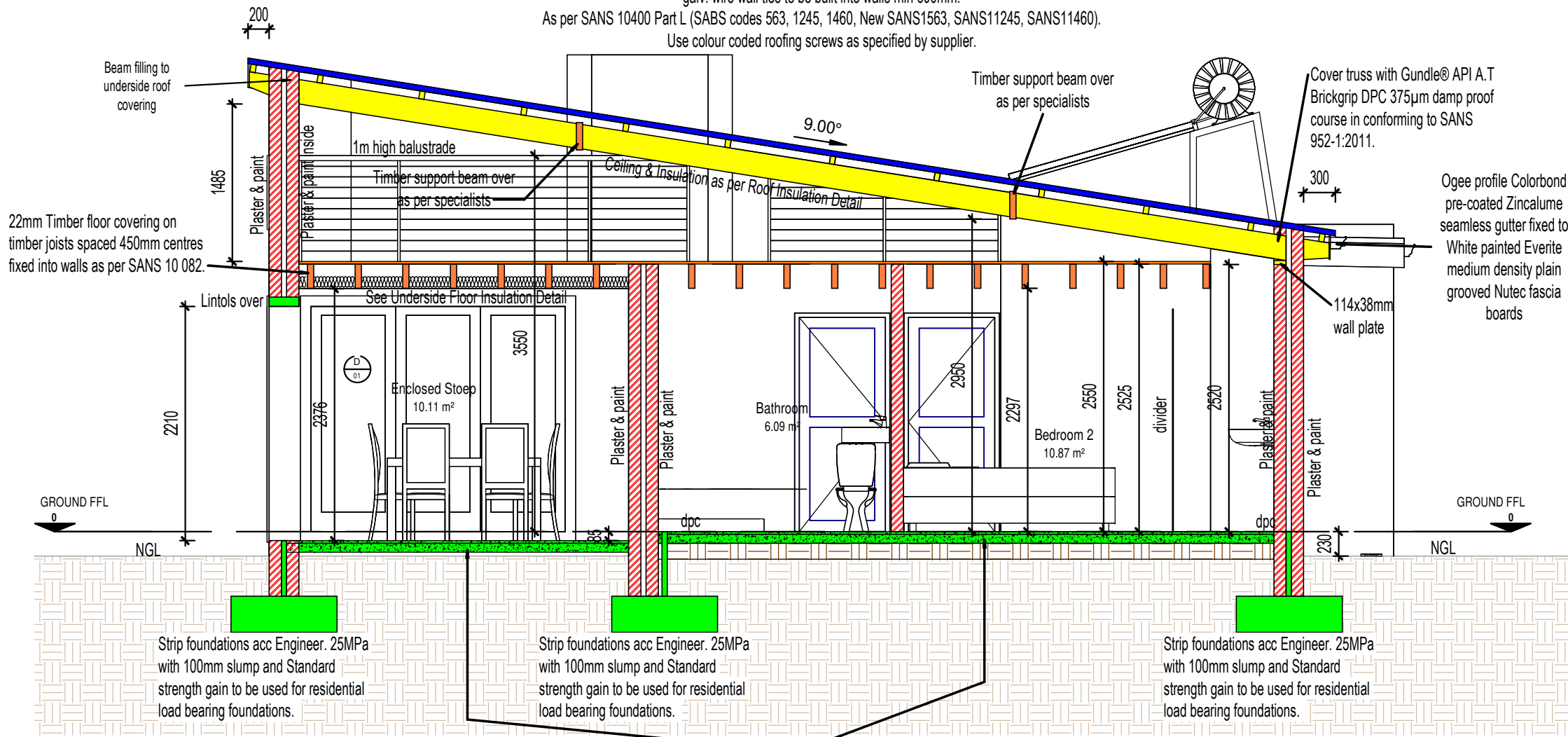
As shown on Building Plan. - Under concrete floors, under walls, around windows and doors, around roof trusses / beams in walls.
Open/Exposed RC slab as per waterproofing specialists.
Retaining walls - Waterproofing to bagged brick retaining walls to be one layer Derbigum CG3 waterproofing membrane, with 100mm side laps and 150mm end laps, sealed to primed surfaces by means of 'torch-fusion', to receive Delta MS8 dimpled drainage and protection layer to receive compacted fill (to engineers specification) on top of geo drainage pipe system (elsewhere specified). Waterproofing to be installed by an Approved Derbigum Contractor under a 10-year guarantee.

Provide Plaster drip to all horizontal plaster at windows, doors and openings.
Provide Plaster drip to all RC slab overhangs.

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OCCUPATION: H4	SHEET FORMAT: A3	DRAWING DATE: 26 JUNE 2024	PAGE #: 6					



Global Roofing Solutions 0.53mm thick Corrugated profile Ultra AZ200 spelter G550 Clean Colorbond Ultra African Charcoal finish top coat and Shadow Grey backing coat roof sheeting, fixed to timber intermediate purlins at max 1000mm centres on Coverland double-sided Radenshield reflective barrier (Code: 605202) with joints lapped 150mm, fixed over Grade 7 SAP timber roof rafters. Rafters to be at max 1000mm CTS & to be laid on 38 x 114mm SAP approved wallplate. Rafters to be tied down with galv. wire wall ties to be built into walls min 600mm.
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Roof
 As shown on Building Plan.
 Engineers Certificate for the approval of roof construction is required by Municipality before Occupation Certificate is issued.
 Grade of timber reviewed by roofing specialists.
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 Color of roofing sheets = To be confirmed by owner.
 Use colour coded roofing screws as specified by supplier.

Earthworks
 Levels indicated on building plans are estimated heights.
 Excavations and backfills must also be determined by Engineer.
 Contractor to confirm levels and excavations on site.

Engineering works
 All steel elements, foundations, compaction, concrete slabs, retaining walls according to Engineering Design.

Waterproofing -
 As shown on Building Plan. - Under concrete floors, under walls, around windows and doors, around roof trusses / beams in walls.
 Open/Exposed RC slab as per waterproofing specialists.
 Retaining walls - Waterproofing to bagged brick retaining walls to be one layer Derbigum CG3 waterproofing membrane, with 100mm side laps and 150mm end laps, sealed to primed surfaces by means of 'torch-fusion', to receive Delta MS8 dimpled drainage and protection layer to receive compacted fill (to engineers specification) on top of geo drainage pipe system (elsewhere specified).
 Waterproofing to be installed by an Approved Derbigum Contractor under a 10-year guarantee.

Movement -
 Contractor to make provision for movement - ceiling, floor finishes, cornices etc.

Plastering and Finishing
 Exterior finish Bagg 7 painted.
 Mix Concrim with plaster cement for extra waterproofing.
 Indoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand 10mm - 20mm thick finished with a steel trowel to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.
 Outdoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 6 parts sand 10mm - 20mm thick finished with a wood float to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

Provide Plaster drip to all horizontal plaster at windows, doors and openings.
Provide Plaster drip to all RC slab overhangs.

Insulation and Geyser
As shown on Building Plan.

25mm Floor screed mix for concrete surface beds, composed of 1 part Surebuild 42,5N cement (Code: CEM II/B 42,5N) and 3 parts sand in thickness as indicated to concrete surface beds.
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Section B-B

1 : 50

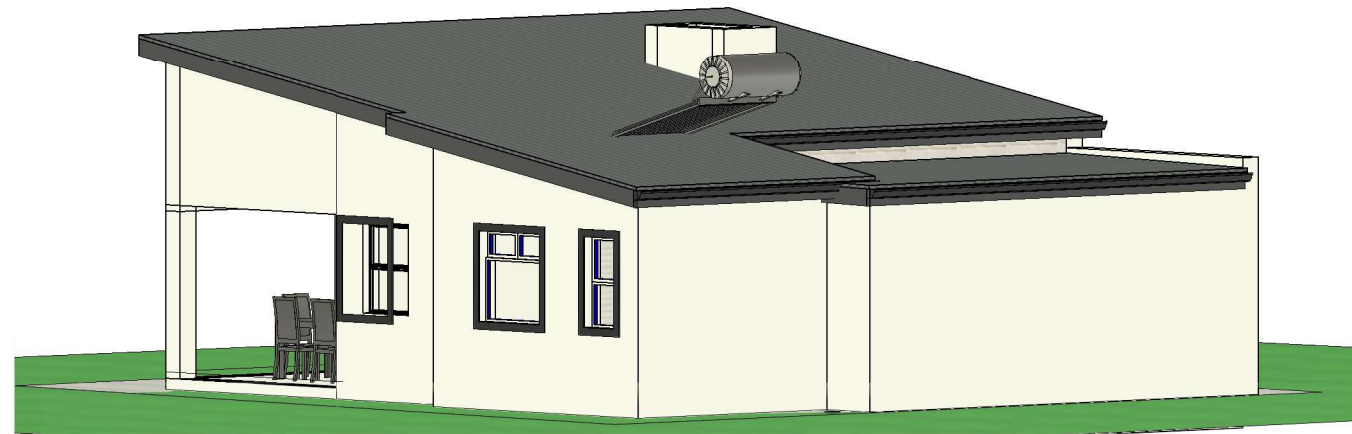
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Sewage
 According to municipal requirements and regulations.
 110mm dia Sewage pipes and 50mm dia pipes at 1:60 gradient to be connected to Pearly Beach Resort Sewer system as indicated.
 Sewage pipes must be able to withstand an internal pressure of 50kPa.
 All IEs provided at turns, junctions and gradient changes, all REs provided with marked ground level lids.
 All gulleys - open air.
 Any pipes closer than 900mm from building or under foundations to be protected in 320mm concrete.
 Foundations over pipes are equipped with steel reinforcement.
 All 50mm waste fittings equipped with reseal traps.
 No turns or connections under building.
 Plumber to work strictly according to SANS 10400 Part P.

Plumbing
 Min 20mm Cobra Pex pipe for cold and hot water with inserts.
 Sanitary ware provided by owner. Shower doors or glass partitions according to owner.
 Toilets provided with 50mm Vent Pipe.
 Strictly according to SANS10252-1.
 Correct pipes used for the specific purpose according to manufacturers specifications.
 Specialist to determine that desired water pressure can be provided.

Glazing / Windows
 Window installation will comply with SANS 10137, SANS10400 N and SANS1263-1.
 All windows are Aluminum and according to Window Schedule.
 375 micron moisture barrier must be installed around all windows and openings.
 Window sills should be built outside with a 10 ° slope.
 All windows with clear glass provided otherwise required by SANS 10400 Part O.
 Bathrooms with frosted glass provided.
 Type of glass and film specified in Schedule must be installed.
 All glass with permanent mark provided with manufacturers name.
 Specialist specifications are preferred over details shown on plans.
 Manufacturers to provide certificate of compliance.

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TO BE CONFIRMED WITH CLIENT:

1. Window/Door configurations
2. Type of timber floor covering
3. Interior door types and handles
4. Any special detail/feature indicated (cladding etc)

TO BE CONFIRMED BY CLIENT:

1. Light & Plug fittings
2. Colour of Paint
3. Floor finishes
4. All tap fittings
5. Bedroom & Kitchen cupboard designs
6. Type of Balustrades
7. Height of Braai/Fireplace
8. Facebrick to be used

IMPORTANT NOTE:

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1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT:
PROPOSED NEW DWELLING ON ERF 2225, FOREL STREET, PEARLY BEACH RESORT FOR A & SS STIPP & DU TOIT.

DESCRIPTION:
 3D'S

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SCALE:	DRAWING #: 32/AS/24
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PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
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16:51 PM (Africa/Johannesburg) on 21 Sep 2020