



### ERF 2176, 7 FRANCOLIN CLOSE, VERMONT: APPLICATION FOR DEPARTURE: SJ COETZEE

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a **departure** in terms of Section 16(2)(b) of the By-Law to relax the 4m eastern street building line in terms of the Francolin Heights Architectural Guideline and the 3m eastern street building line in terms of the Land Use Scheme to 2,495m, to accommodate the change of the existing open stoep to a braai room.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Department: Town and Spatial Planning at 16 Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) on or before **13 December 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town and Spatial Planning Department where a municipal official will assist them in order to formalize their comment.

### ERF 2176, FRANCOLINSLOT 7, VERMONT: AANSOEK OM AFWYKING: SJ COETZEE

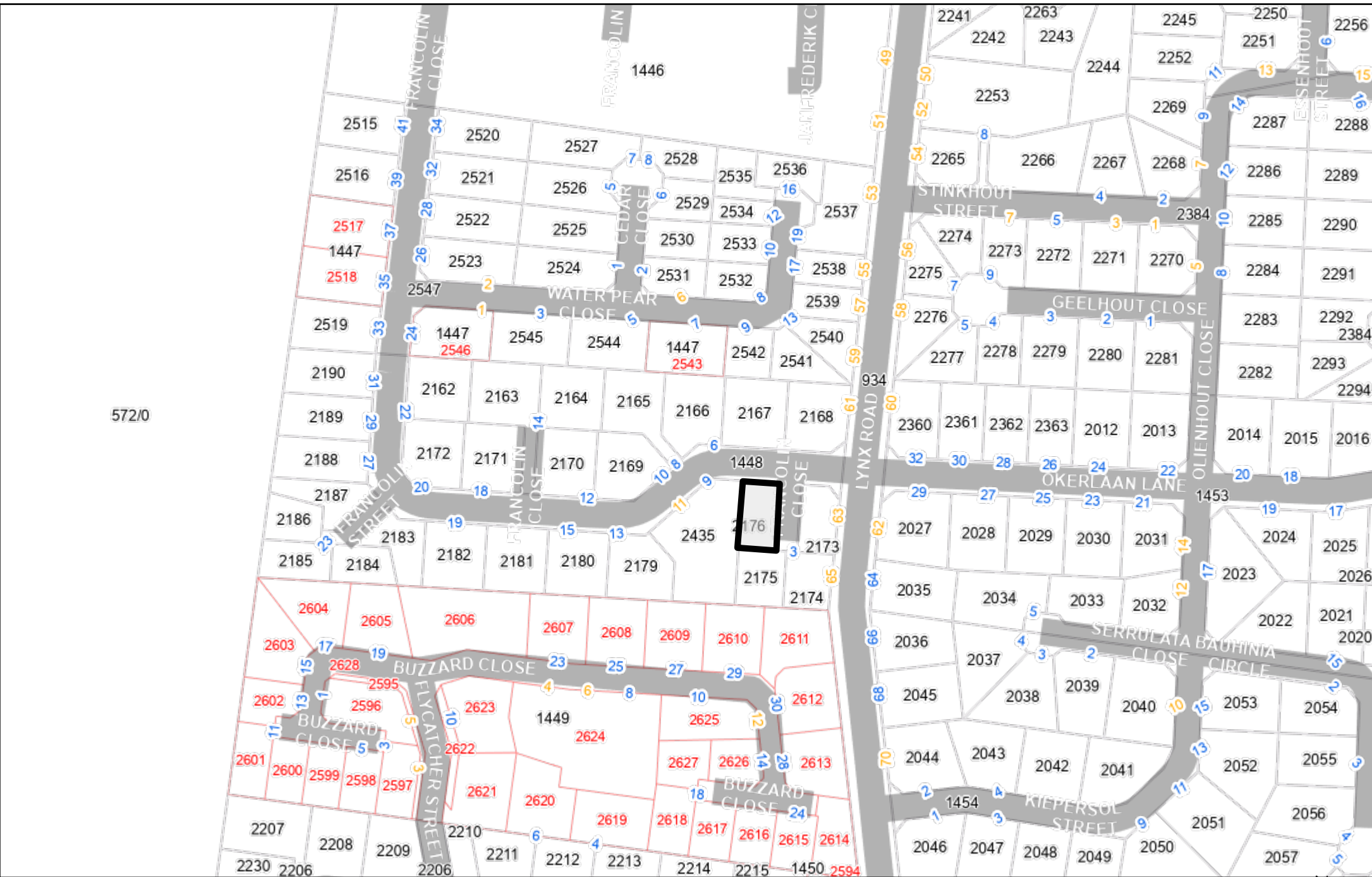
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om **afwyking** ontvang is ingevolge Artikel 16(2)(b) van die Verordening om die 4m oostelike straatboulyn ingevolge die Francolin Heights Argitektoniese Riglyn en die 3m oostelike straatboulyn ingevolge die Grondgebruikskema tot 2,495m te verslap, om die verandering van die bestaande oop stoep na 'n braaikamer te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) voor of op **13 Desember 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mnr. H Olivier** at 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

### ISIZA 2176, 7 FRANCOLIN CLOSE, E-VERMONT: ISICELO SOPHAMBUKO: SJ COETZEE

Isaziso sinikwe ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo womasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala. 2020 (uMthetho kaMasipala), sokokuba isicelo sifunyenwe ngokwemiqathango yeCandelo 16(2)(b) loMthetho kaMasipala sokunyenya umda wesakhiwo okwiMpuma yesitalato ozii-mitha eziyi-4m ngokwemigaqo ye-Francolin Heights Architectural Guide kunye nomda wesakhiwo ongaseMpuma weemitha eziyi-3m ngokweNkqubo yokuSetyenziswa koMhlaba ube zii-mitha eziyi-2,495m, ukulungiselela ukutshintshwa kwesituphu esivulekileyo esikhoyo sibe kwigumbi lokubranya inyama.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxsha okusebenza phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: UCwangiso lweDolophu, e-16 Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) ngomhla okanye ngaphambi komhla wama-**13 Disemba 2024**, uchaze igama lakho, idilesi kunye neenkukacha ziqhagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMchwangciso weDolophu, **u-Mnu. H. Olivier** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.



ERF 2176 VERMONT : F COETZEE

MOTIVATIONAL REPORT FOR DEPARTURE TO RELAX THE 4.0m ARCHITECTURAL GUIDELINE EASTERN STREET BUILDING LINE AND THE 3.0m LAND USE SCHEME EASTERN STREET BUILDING LINE TO 2,495m TO ACCOMMODATE THE CHANGE OF USE OF THE EXISTING OPEN STOEP TO A BRAAI ROOM

**A - PROPOSED DEVELOPMENT**

The proposed development is intended to convert an existing braai patio into a fully enclosed room linked directly with the main dwelling. It will maintain the previously approved footprint and the single level structure will therefore have virtually the same visual impact as the current construction. Both the 4,0m Architectural Guideline street building line as well as the LUMS 3,0m eastern street building line were previously relaxed to enable the existing structures to be erected. No additional or more severe encroachments are being requested.

**B - CHARACTER OF THE ENVIRONMENT**

The area is characterised by a medium to high density development of homes on relatively small plots. This dwelling is situated in a close where building line encroachments are the order of the day. Privacy of neighbours, the street scene and views will not be adversely affected.

**C - DESIRABILITY OF THE PROPOSED UTILISATION**

A fully enclosed braai room will provide a more usable space in all weather conditions and furniture may be securely stored at all times.

**D - INVESTIGATIONS RELEVANT TO CONSIDERATION OF THE APPLICATION**

No formal investigations were triggered by this application.

**E - IMPACT OF PROPOSED DEVELOPMENT ON MUNICIPAL SERVICES**

The proposed development has no negative impact on the services infrastructure or environment and the current status quo is being maintained.

**F - FORWARD PLANNING AND LAND USE DOCUMENTS**

The proposed land use is in line with the relevant zoning scheme regulations in all aspects.

**G - PLANNING PRINCIPLES**

The policies, principles and planning and development norms of SPLUMA and LUPA have been regarded and the proposed application is in compliance with these.

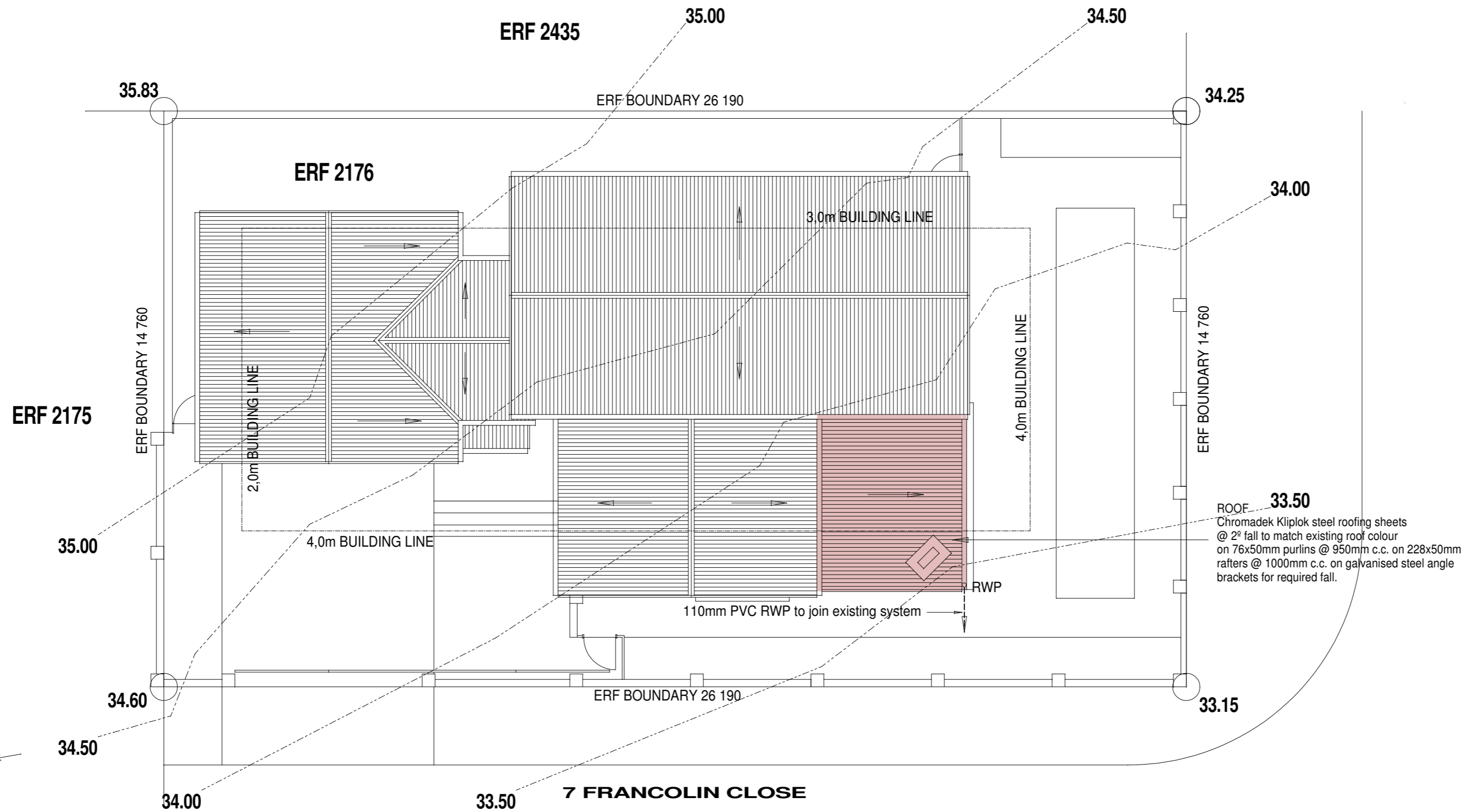
In the light of the above, we recommend that this application receives your favourable attention, consideration and approval.

We await your feedback in this matter.

Yours faithfully



G de Villiers  
pp Hennie de Villiers Architects



**ROOF & STORM WATER LAYOUT**  
1:100

**NOTES**

ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH MUNICIPAL REGULATIONS.

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING DRAWINGS.

ALL RELEVANT DETAILS, LEVELS, DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

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**REVISIONS**

No.	DATE	DESCRIPTION

HOME OWNERS ASSOCIATION  
*Hennie de Villiers*  
PLAN APPROVAL P. DE VILLIERS

OWNER'S SIGNATURE

*[Signature]*

ARCHITECT

*Hennie de Villiers*  
**hdv**  
**hennie de villiers**  
**ARCHITECTS**

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SACAP REG. No: 2759

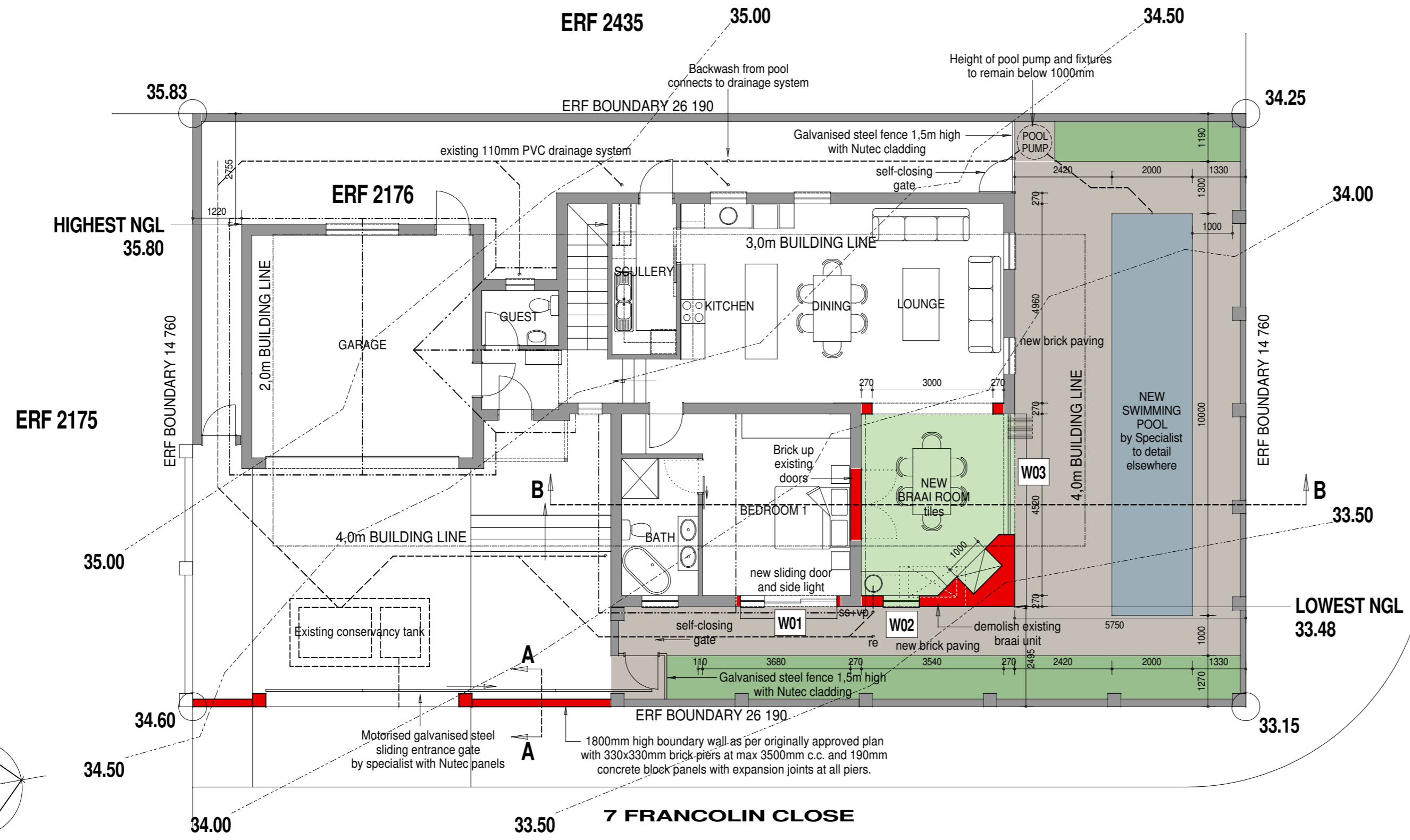
PROJECT

**ALTERATIONS & ADDITIONS**  
**FOR MR & MRS COETZEE**  
**ERF 2176**  
**7 FRANCOLIN CLOSE**  
**VERMONT**

DESCRIPTION

**ROOF & STORM**  
**WATER LAYOUT**

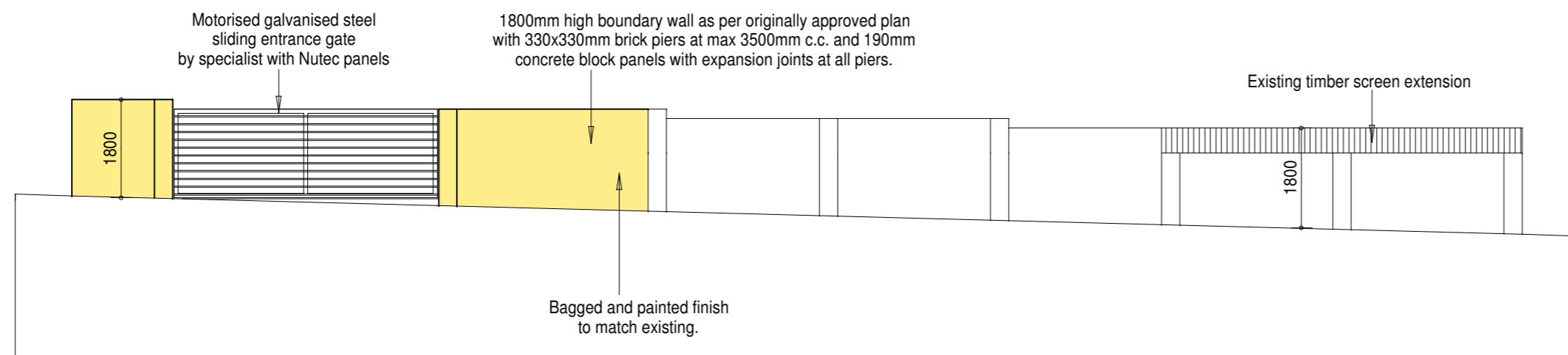
DATE	JULY 2024	SCALE	1 : 100
SKETCH	PRELIMINARY	TENDER	COUNCIL
DRAWN	GERHARD	DRAWING	1880/101
CHECKED	H DE VILLIERS		



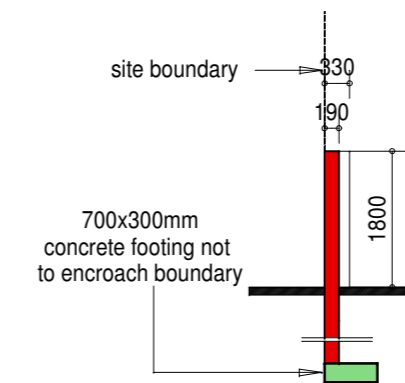
**SITE & GROUND FLOOR LAYOUT**  
1:100

**EXISTING GROUND FLOOR AREA 136m<sup>2</sup>**  
**NEW AREA 18m<sup>2</sup>**  
**TOTAL GROUND FLOOR AREA 154m<sup>2</sup>**  
**EXISTING FIRST FLOOR AREA 62m<sup>2</sup> (UNCHANGED)**  
**TOTAL GROSS BUILDING AREA 216m<sup>2</sup>**

**ERF SIZE 387m<sup>2</sup>**  
**COVERAGE 39.8%**



**PROPOSED NEW BOUNDARY WALL ELEVATION**  
1:100



**SECTION A-A**  
1:100

OVERFLOW FROM POOL TO CONNECT TO STORM WATER LINE. BACKWASH FROM POOL TO CONNECT TO DRAINAGE SYSTEM. All boundary walls surrounding pool @ 1800mm high and not less than 1200mm. All garden gates to be fitted with selfclosing, self locking device. Both wall/fence and gate shall not contain any opening which will permit the passage of a 100mm diameter ball. The owner of any site which contain a pool shall ensure by means of a wall or fence (as above) that no person can have access to such pool from any street or public place or any adjoining site other than through a self closing & self locking gate in such wall or fence.

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*P. de Villiers*  
 PLAN APPROVAL P. DE VILLIERS

OWNER'S SIGNATURE  
*[Signature]*

**ARCHITECT**



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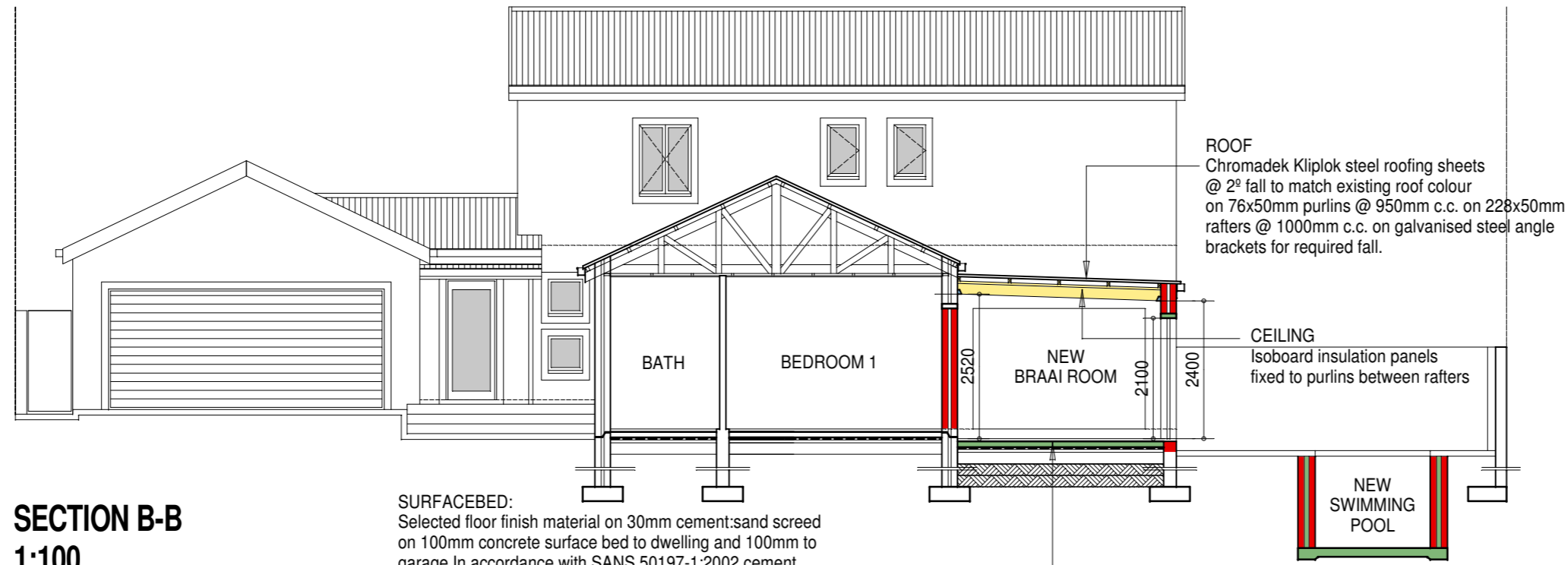
**PROJECT**

**ALTERATIONS & ADDITIONS**  
**FOR MR & MRS COETZEE**  
**ERF 2176**  
**7 FRANCOLIN CLOSE**  
**VERMONT**

**DESCRIPTION**

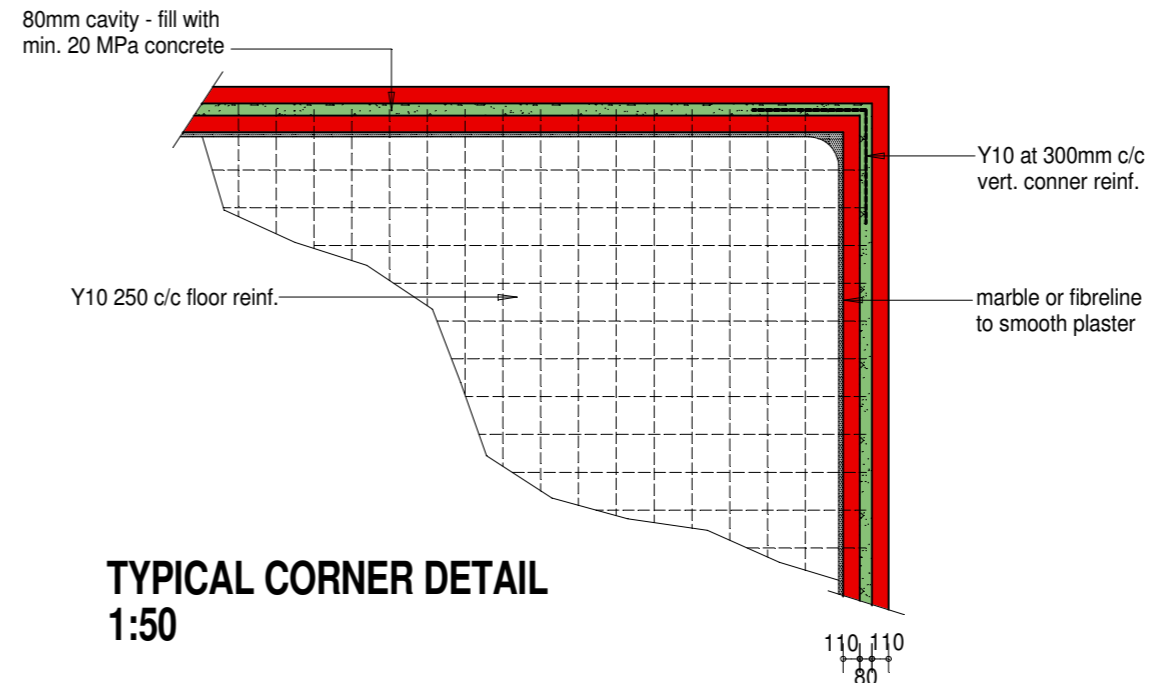
**SITE & FLOOR LAYOUT**  
**BOUNDARY WALL DETAIL**

DATE	JULY 2024	SCALE	1 : 100
SKETCH	PRELIMINARY	TENDER	COUNCIL
DRAWN	GERHARD	DRAWING	1880/100
CHECKED	H DE VILLIERS		



**SECTION B-B**  
1:100

**SURFACEBED:**  
Selected floor finish material on 30mm cement:sand screed on 100mm concrete surface bed to dwelling and 100mm to garage in accordance with SANS 50197-1:2002 cement. Part 1: Composition, specification and conformity criteria for common cements, stone and sand to conform to SANS 1083:2006. Mesh REF NO 193, where depth of fill exceeds 1000mm. GUNDLE® API USB GREEN 250 mm (or equally approved) damp proof membrane under concrete surface beds conforming to SANS 952-1:2011, laid with minimum 250mm overlaps, to be turned around perimeter of and at least for full thickness of slab and sealed with GUNPLA pressure sensitive tape, or equally approved. Clean compacted sand backfill - G7 quality 400mm minimum thick - refer to Engineer specification. Clean compacted sand backfill - G7 quality to natural soil strata - refer to Engineer specification. 50mm Clean sand ash binding layer. Trench to be cleaned and squared before casting of concrete. Ash binding layer to be compacted with mechanical compactor. GUNDLE® API BRICKGRIP DPC 250mm (or equally approved) damp proof course in solid walls conforming to SANS 952-1:2011 laid with a minimum of 250mm overlaps.

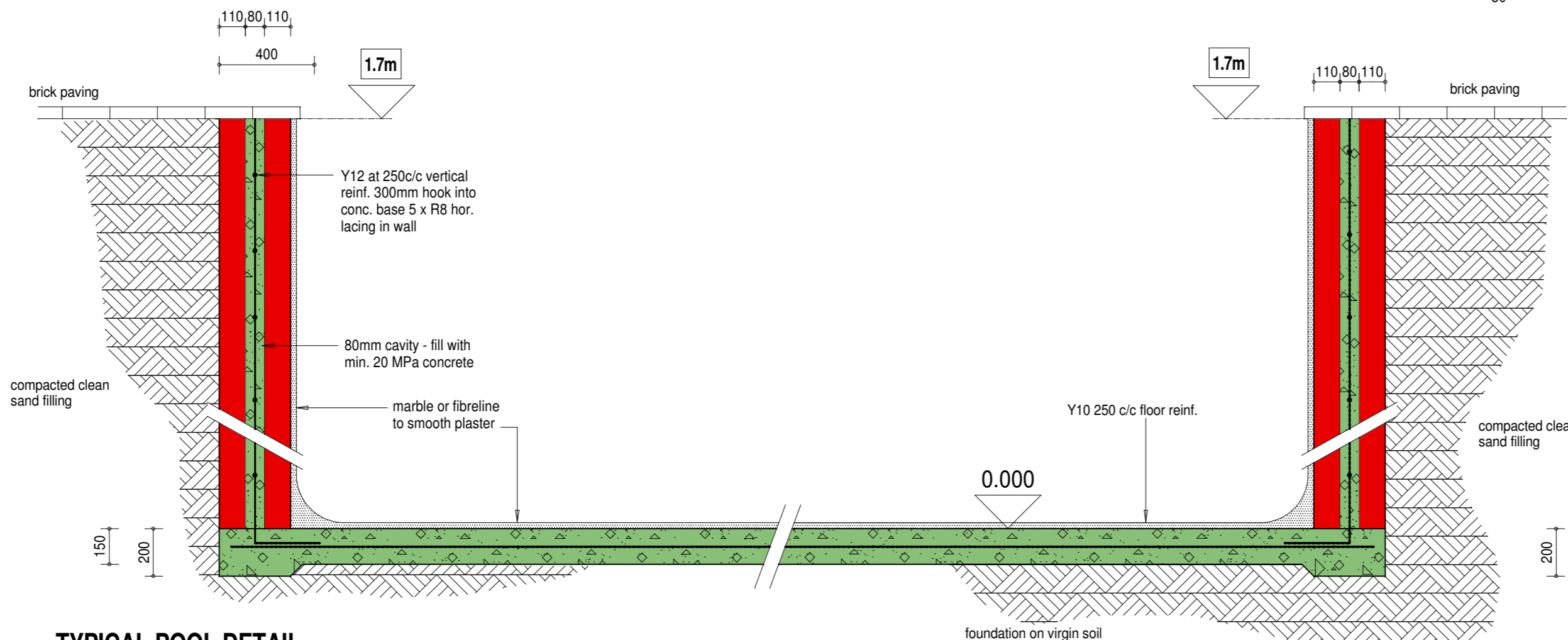


**TYPICAL CORNER DETAIL**  
1:50

**POOL**  
Pool to be in strict accordance with engineer & manufacturer's details & specifications. Reputable installer to be appointed by client. All boundary walls surrounding pool @ 1800mm high and not less than 1200mm. All garden gates to be fitted with self-closing, self locking device. Both wall/fence and gate shall not contain any opening which will permit the passage of a 100mm diameter ball. The owner of any site which contain a pool shall ensure by means of a wall or fence (as above) that no person can have access to such pool from any street or public place or any adjoining site other than through a self closing & self locking gate in such wall or fence. OVERFLOW FROM POOL TO CONNECT TO STORM WATER LINE. BACKWASH FROM POOL TO CONNECT TO DRAINAGE SYSTEM.

**NOTE**  
No excavated soil is to be banked up against boundary walls and fences and excess soil must be removed from site

**OVERFLOW FROM POOL TO CONNECT TO STORM WATER LINE. BACKWASH FROM POOL TO CONNECT TO DRAINAGE SYSTEM.**  
All boundary walls surrounding pool @ 1800mm high and not less than 1200mm. All garden gates to be fitted with selfclosing, self locking device. Both wall/fence and gate shall not contain any opening which will permit the passage of a 100mm diameter ball. The owner of any site which contain a pool shall ensure by means of a wall or fence (as above) that no person can have access to such pool from any street or public place or any adjoining site other than through a self closing & self locking gate in such wall or fence.



**TYPICAL POOL DETAIL**  
1:20

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PLAN APPROVAL P. DE VILLIERS

OWNER'S SIGNATURE  
*[Signature]*

**ARCHITECT**

*[Signature]*  
**h d v**  
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**PROJECT**

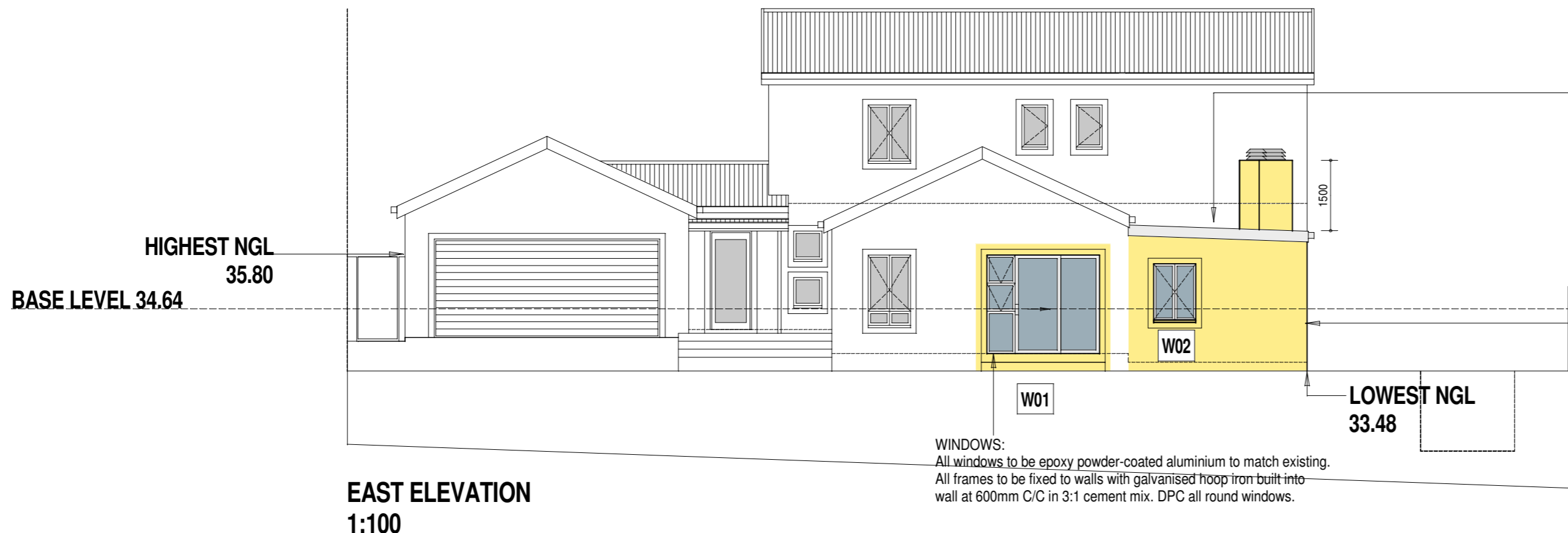
**ALTERATIONS & ADDITIONS**  
**FOR MR & MRS COETZEE**  
**ERF 2176**  
**7 FRANCOLIN CLOSE**  
**VERMONT**

**DESCRIPTION**

**SECTION**  
**POOL DETAIL**

DATE JULY 2024	SCALE 1 : 100
SKETCH PRELIMINARY	TENDER COUNCIL
DRAWN GERHARD	DRAWING 1880/103
CHECKED H DE VILLIERS	

8m HEIGHT RESTRICTION



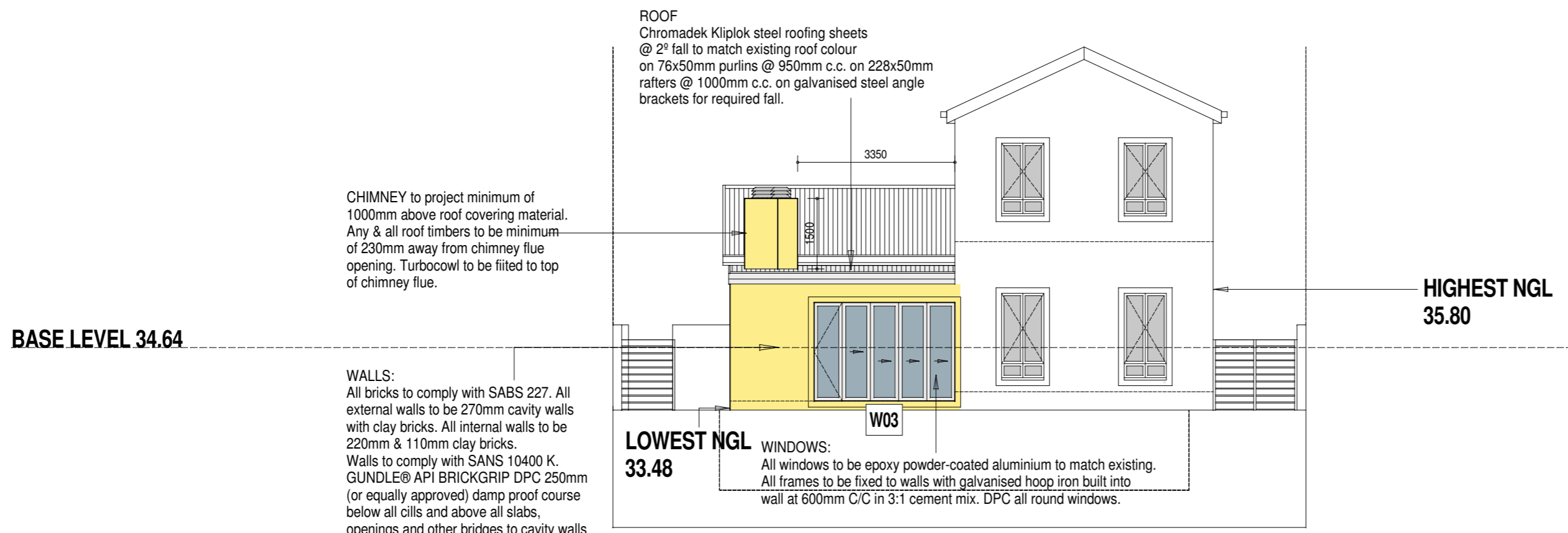
**EAST ELEVATION**  
1:100

**ROOF**  
Chromadek Kliplok steel roofing sheets @ 2° fall to match existing roof colour on 76x50mm purlins @ 950mm c.c. on 228x50mm rafters @ 1000mm c.c. on galvanised steel angle brackets for required fall.

**WALLS:**  
All bricks to comply with SABS 227. All external walls to be 270mm cavity walls with clay bricks. All internal walls to be 220mm & 110mm clay bricks. Walls to comply with SANS 10400 K. GUNDLE® API BRICKGRIP DPC 250mm (or equally approved) damp proof course below all cills and above all slabs, openings and other bridges to cavity walls and vertical DPC to sides of all opening. Weepholes @ 800mm intervals.

**WINDOWS:**  
All windows to be epoxy powder-coated aluminium to match existing. All frames to be fixed to walls with galvanised hoop iron built into wall at 600mm C/C in 3:1 cement mix. DPC all round windows.

8m HEIGHT RESTRICTION



**NORTH ELEVATION**  
1:100

**ROOF**  
Chromadek Kliplok steel roofing sheets @ 2° fall to match existing roof colour on 76x50mm purlins @ 950mm c.c. on 228x50mm rafters @ 1000mm c.c. on galvanised steel angle brackets for required fall.

**CHIMNEY** to project minimum of 1000mm above roof covering material. Any & all roof timbers to be minimum of 230mm away from chimney flue opening. Turbocowl to be fitted to top of chimney flue.

**WALLS:**  
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PROJECT

**ALTERATIONS & ADDITIONS FOR MR & MRS COETZEE ERF 2176 7 FRANCOLIN CLOSE VERMONT**

DESCRIPTION	
<b>ELEVATIONS ALUMINIUM SCHEDULE</b>	
DATE	SCALE
JULY 2024	1 : 100
SKETCH	PRELIMINARY
TENDER	COUNCIL
DRAWN	DRAWING
GERHARD	1880/102
CHECKED	
H DE VILLIERS	

<table border="1"> <tr><td>WINDOW CODE</td><td>Custom</td></tr> <tr><td>WINDOW TYPE</td><td>Stacking doors</td></tr> <tr><td>FINISH</td><td>Aluminium powder coated</td></tr> <tr><td>GLASS</td><td>4mm float glass</td></tr> <tr><td>SHGC</td><td>Timber : 0.77 Aluminium : 0.81 Climate Zone : 4</td></tr> <tr><td>IRONMONGERY</td><td>As per supplier.</td></tr> </table>	WINDOW CODE	Custom	WINDOW TYPE	Stacking doors	FINISH	Aluminium powder coated	GLASS	4mm float glass	SHGC	Timber : 0.77 Aluminium : 0.81 Climate Zone : 4	IRONMONGERY	As per supplier.	<table border="1"> <tr><td>WINDOW CODE</td><td>Custom</td></tr> <tr><td>WINDOW TYPE</td><td>Stacking doors</td></tr> <tr><td>FINISH</td><td>Aluminium powder coated</td></tr> <tr><td>GLASS</td><td>4mm float glass</td></tr> <tr><td>SHGC</td><td>Timber : 0.77 Aluminium : 0.81 Climate Zone : 4</td></tr> <tr><td>IRONMONGERY</td><td>As per supplier.</td></tr> </table>	WINDOW CODE	Custom	WINDOW TYPE	Stacking doors	FINISH	Aluminium powder coated	GLASS	4mm float glass	SHGC	Timber : 0.77 Aluminium : 0.81 Climate Zone : 4	IRONMONGERY	As per supplier.	<table border="1"> <tr><td>WINDOW CODE</td><td>Custom</td></tr> <tr><td>WINDOW TYPE</td><td>Stacking doors</td></tr> <tr><td>FINISH</td><td>Aluminium powder coated</td></tr> <tr><td>GLASS</td><td>6mm Clear toughened safety glass.</td></tr> <tr><td>SHGC</td><td>Timber : 0.77 Aluminium : 0.81 Climate Zone : 4</td></tr> <tr><td>IRONMONGERY</td><td>As per supplier.</td></tr> </table>	WINDOW CODE	Custom	WINDOW TYPE	Stacking doors	FINISH	Aluminium powder coated	GLASS	6mm Clear toughened safety glass.	SHGC	Timber : 0.77 Aluminium : 0.81 Climate Zone : 4	IRONMONGERY	As per supplier.
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