



**ERF 1930, 26 DE VILLIERS STREET, DE KELDERS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDMENT OF CONDITIONS OF APPROVAL: MESSRS WRAP PROJECT OFFICE ON BEHALF OF GALLO ROJO TRUST**

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received in terms of Section 16(2)(h) of the By-Law for the amendment of conditions of approval to amend the site development plan to operate a guesthouse with five (5) bedrooms instead of four (4) bedrooms on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Gansbaai Library, Main Road, Gansbaai. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) on or before **Friday, 24 January 2025**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Town Planner, Mr. P Roux** at 028 313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

**ERF 1930, DE VILLIERSSTRAAT 26, DE KELDERS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM WYSIGING VAN GOEDKEURINGSVOORWAARDES: MNRE WRAP PROJECT OFFICE NAMENS GALLO ROJO TRUST**

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is ingevolge Artikel 16(2)(h) van die Verordening vir die wysiging van goedkeuringsvoorwaardes om die terreinontwikkelingsplan te wysig om 'n gastehuis met vyf (5) slaapkamers in plaas van vier (4) slaapkamers op die eiendom te bedryf.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en Gansbaai Biblioteek, Hoofweg, Gansbaai. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) voor of op **Vrydag, 24 Januarie 2025**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Stadsbeplanner, Mnr. P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

**ISIZA 1930, 26 DE VILLIERS STREET, DE KELDERS, INDAWO KAMASIPALA YASE-OVERSTRAND: ISICELO SOKULUNGISELWA IMIQATHANGO YOVUMELELO: MESSRS WRAP PROJECT OFFICE EGAMENI GALLO ROJO TRUST.**

Isaziso siyanikezelwa ngokweCandelo lama-48 loMthetho kaMasipala woLungiso loMthetho kaMasipala kuCwangciso lokuSetyenziswa koMhlaba kaMasipala, ka-2020 (uMthetho kaMasipala), sokuba isicelo sifunyenwe ngokweCandelo le-16(2)(h) loMthetho kaMasipala. -Umthetho wokulungiswa kwemiqathango yolwamkelo ukuze kulungiswe isicwangciso sophuhliso lwesiza ukuze kuqhutywe indlu yeendwendwe enamagumbi okulala amahlanu (5) endaweni yamane (4) amagumbi okulala kwipropathi.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxesha okusebenza phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: Zicwangiso ngeDolophu, ePaterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo zingangeniswa ngokungqinelana nemimiselo yeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) ngaphambili okanye ngaphambili **uLwesihlanu, 24 EyoMqungu 2025**, ucaphula igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMchwangcisi **weDolophu, uMnu. P Roux** kule nombolo 028 313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.







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**1. ABBREVIATIONS**

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<b>OM</b>	Overstrand Municipality
<b>OMLUS</b>	Overstrand Municipality Land Use Scheme, 2020
<b>BY-LAW</b>	Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020
<b>PSDF</b>	Western Cape Provincial Spatial Development Framework, 2014
<b>LUPA</b>	Western Cape Land Use Planning Act, 2014.
<b>MSDF</b>	Overstrand Spatial Development Framework, 2020
<b>SR1</b>	Residential Zone 1: Single Residential

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**2. PROPERTY DETAILS**

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<b>Consultant</b>	WRAP Project Office
<b>Erf Number</b>	Erf 1930 De Kelders
<b>Extent</b>	991m <sup>2</sup>
<b>Zoning</b>	Residential Zone 1: Single Residential

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**3. BACKGROUND AND INTENT**

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Erf 1930, De Kelders (hereafter referred to as "the subject property") is situated at 120 De Villiers Street, within the coastal town of De Kelders (refer to **Plan 1 - Locality Plan**). The property, owned by the Gallo Rojo Trust, has been in their ownership since 2021, following the consolidation of two erven. The Trust has now appointed WRAP Project Office to submit a formal land use application on their behalf (refer to **Annexure A - Power of Attorney & Resolution**), with the intention of enhancing the property's utilisation and ensuring compliance with the applicable regulations.

Historically, the owners received approval to operate a four-bedroom guesthouse on the consolidated property, in line with the zoning rights and applicable conditions at the time. (Refer **Annexure D – Historic Approval**) Additionally, a design proposal for further developments on the property was approved, which formed part of their broader plans for the site. The owners have however since reconsidered aspects of their original vision, and as a result, they are now submitting this current application to amend the prior approvals to better align with their updated goals and ensure compliance with the Overstrand Municipality's Land Use Scheme (OMLUS).

The current proposal aims to amend the existing approval by increasing the number of guest bedrooms from four to five, which is the maximum number allowed under the OMLUS for guesthouses. The increase in the number of guest bedrooms is intended to meet the growing demand for tourism accommodation in the area, which has seen an increase in visitors due to the region's popularity for whale watching and coastal tourism. The additional guest bedroom will enhance the property's offerings while adhering to the municipal guidelines.



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Furthermore, the owners seek to amend the approved Site Development Plan (SDP) to reflect certain design modifications. These changes, which include improvements to the layout and functionality of the guesthouse, will ensure that the property remains competitive in the local hospitality market while meeting the aesthetic and functional standards required by the municipality. The historic SDP is also included in **Annexure D**.

As a result, approval for the following is required:

- Amendment of conditions in respect of an existing approval to allow five guest bedrooms; and
- Amendment of conditions in respect of an existing approval to allow the amended Site Development Plan.

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### 4. PROCEDURE TO ACHIEVE THE PROPERTY OWNERS' INTENT

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WRAP compiled this report to ensure that the property owners' requirements are met.

The following is proposed:

**4.1 Amendment of conditions** in respect of an existing approval to allow five guest bedrooms; and

**4.2 Amendment of conditions** in respect of an existing approval to allow the amended Site Development Plan.

As previously mentioned, the owners initially applied for and received approval to operate a guesthouse on the subject property, recognising its strategic location and unique appeal. The proposal is to amend conditions 2(b) & (f) of the historic approval annexed as **Annexure D**.

Situated in De Kelders, a coastal town known for its natural beauty, tranquillity, and popular whale-watching spots, the property holds significant potential for tourism. The property's location provides easy access to the scenic coastline while maintaining a peaceful atmosphere, making it an ideal site for accommodating visitors who seek a retreat from urban areas.

Given the increasing demand for tourism accommodation in De Kelders, driven by the region's growing popularity as a holiday destination, the continued operation and expansion of the guesthouse align with both the interests of the local economy and the tourism sector. The approval of this application would contribute to the municipality's broader goals of promoting tourism and economic growth.

As detailed in Section 3 above, the current proposal seeks to increase the number of guest bedrooms from the previously approved four to five. This increase is compliant with the maximum limit of five bedrooms for guesthouses, as stipulated in the OMLUS. By adding one more bedroom, the guesthouse will be better positioned to meet market demand without overburdening the local infrastructure or significantly altering



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the character of the area. The additional bedroom will allow the property to host more visitors, contributing to the local economy while still maintaining the intimate atmosphere, that guests expect from a guesthouse instead of a hotel or more formal accommodation options.

In addition, the owners propose to amend the approved SDP to reflect design changes that will enhance both the functionality and aesthetic appeal of the guesthouse. The proposed modifications to the SDP will ensure that the property continues to meet high standards of accommodation, creating a more comfortable and inviting environment for guests. The revised design is also more efficient, allowing the owners to make better use of the available space while ensuring that the building's footprint and scale remain in harmony with the surrounding residential neighbourhood.

Several compelling reasons support the approval of this application. Tourism is a key economic driver for the OM, with De Kelders being a popular destination for both domestic and international visitors. The expansion of the guesthouse will contribute directly to the local economy by attracting more visitors, creating jobs, and increasing spending in the area. By offering additional high-quality accommodation, the property will help address the existing tourist facilities in the area during peak seasons.

Furthermore, the Overstrand Municipality has consistently encouraged sustainable tourism and the responsible development of tourism-related infrastructure. This proposal is in line with the municipality's development goals, as it promotes tourism without compromising the area's natural or built environment. The increase to five guest bedrooms and the amendments to the SDP are minor changes that will have a negligible impact on local resources, traffic, or services. At the same time, these changes will help maintain the competitiveness of the property in the tourism sector, ensuring its long-term viability.

The proposal has been carefully designed to ensure that it does not negatively impact the surrounding neighbourhood. The property will continue to operate as a low-density guesthouse, with a limited number of rooms and guests, in keeping with the area's character. The addition of one bedroom will not significantly increase traffic or noise, and parking provisions on-site are sufficient to accommodate the slight increase in guest numbers. Moreover, the design amendments are intended to improve the aesthetics of the property, making it a visually appealing asset to the neighbourhood rather than a detractor.

By allowing the proposed amendments, the municipality will be supporting the sustainable use of the subject property. The expansion and design improvements will help ensure that the property remains economically viable, attracting visitors while preserving the character and appeal of De Kelders. Allowing the owners to make these modest improvements is a way of encouraging sustainable tourism without overdevelopment, ensuring that the local community continues to benefit from the property in a manner that is environmentally and socially responsible.



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It is also important to note that the owners already hold the necessary approvals to operate a guesthouse on the property. The current application merely seeks to expand upon these existing rights in a way that remains compliant with the Overstrand Municipality's policies and regulations. The proposed changes do not represent a substantial deviation from the original approvals but are rather enhancements designed to meet market demands and improve the property's functionality.

### 5. LAND USE ENVIRONMENT

The subject property is located in De Kelders, an established residential area in the Greater Gansbaai area. The property is surrounded by other Residential Zone 1: Single Residential properties and is located close to the Open spaces (coastline). The surrounding area's zonings are illustrated in the attached **Plan 2 - Zoning Plan**.

### 6. TITLE DEED

The title deed of the subject property (T17838/2021) attached as **Annexure B** does not contain any restrictive conditions which may prohibit the approval of these amendments.

### 7. ZONING

The following zoning parameters were assessed in conjunction with the SR1 OMLUS zoning as this is a relevant consideration in terms of Section 66(1)(q) of the OM By-Law:

<b>RESIDENTIAL ZONE 1: SINGLE RESIDENTIAL</b>			
	<b>Parameters</b>	<b>Proposal</b>	<b>Comply/ deviate</b>
<b>Primary use</b>	Crèche, <b>Dwelling House</b> , Guest Rooms, Home Occupation, Second Dwelling Unit and Self-Catering.	• Dwelling House	Comply
<b>Consent use</b>	Day Care Centre, Green House, <b>Guest House</b> , House Shop, Institution, Place of Instruction, Place of Worship, Residential Building, and Intensive Horticulture.	• Guest House	Approved
<b>Development parameters</b>			
<b>Coverage</b>	The maximum coverage for all buildings on the land unit is determined in accordance with the net erf area: 400m <sup>2</sup> and greater = 50%	36,34%	Comply



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<b>Building lines</b>	(i) The street building line is determined in accordance with the net erf area: <ul style="list-style-type: none"><li>• 400 m<sup>2</sup> and greater = 4m</li></ul> (ii) The side and rear building lines are determined in accordance with the net erf area: <ul style="list-style-type: none"><li>• Greater than 400 m<sup>2</sup> = 2m</li></ul>	Comply	Comply
<b>Height</b>	The maximum height of a building, measured from the base level to the top of the structure, is 8,0 m.	The existing dwelling and proposed additions will adhere to the 8,0m height restriction.	Comply
<b>Garages and carports</b>	Garages and carports may be constructed within building lines in accordance with Chapter 16.1.2.	<ul style="list-style-type: none"><li>• Managers = 2 Parking Bays</li><li>• 5 Guest Bedrooms = 5 Parking Bays</li></ul> <p><u>Total Parking Bays required</u> <b>7 Parking Bays</b></p> <p><u>Total Parking Bays provided</u> <b>9 Parking Bays</b></p>	Comply

## 8. SERVICES

The availability of services is a relevant consideration in terms of Section 42(1)(c)(v) of SPLUMA and is herewith illustrated.

### **Electricity, Water, Sewage and Solid Waste**

The subject property is connected to the existing networks in the area, which include electricity, water and sewage. The proposal of this application is not anticipated to impact on existing services.

Solid waste is collected every week by the OM.

### **Access and Egress**

Access and egress to the property is gained from De Villiers Street.



9. NEED AND DESIRABILITY

The need and desirability of the approval and implementation of this proposal in accordance with Section 66(1)(c) of the OM By-Law can be illustrated as follow:

**Need and desirability.**

The need for the land use application is to ensure the property meets all the needs of the owners.

<p>Socio-economic impact</p>	<p>A positive socio-economic impact of the proposal to expand the guesthouse on Erf 1930, De Kelders, lies primarily in its potential to boost local tourism, which is a vital component of the area's economy. By increasing the number of guest bedrooms from four to five, the property will be able to accommodate more visitors, leading to several economic and social benefits:</p> <p>Job Creation: The expanded guesthouse will likely require additional staff for cleaning, maintenance, and guest services. This creates employment opportunities for local residents, contributing to job growth in the hospitality sector.</p> <p>Increased Local Spending: Guests staying at the expanded guesthouse will contribute to the local economy through their spending on dining, entertainment, and activities such as whale watching, local tours, and visiting nearby attractions. This increased visitor expenditure can benefit small businesses in the area, from restaurants to retail shops, and help stimulate the overall local economy.</p> <p>Strengthening the Tourism Sector: De Kelders, known for its scenic beauty and whale-watching opportunities, is an attractive destination for both domestic and international visitors. By providing additional high-quality accommodation, the proposal supports the growth of the tourism sector, a key economic driver for the region. Increased tourism can lead to greater demand for local services, benefiting not only businesses but also the municipality through increased revenue from tourism-related activities.</p> <p>Community Development: The growth of tourism can have indirect social benefits as well, by</p>
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	encouraging investments in local infrastructure such as roads, utilities, and community facilities, which can improve the quality of life for residents. Increased property taxes and other revenue generated through tourism-related developments may be reinvested into public services, enhancing the local community's access to better amenities.
Compatibility with surrounding uses	<p>The proposed expansion of the guesthouse is compatible with the surrounding uses as it aligns with the residential and tourism character of De Kelders, a known tourist destination.</p> <p>Increasing the guest bedrooms from four to five maintains the low-density nature of the area, ensuring minimal impact on noise and traffic.</p> <p>Additionally, the proposal complies with the Overstrand Municipality Land Use Scheme, supporting sustainable development that respects the local context.</p>
Impact on the external engineering services	Refer to Section 8.
Impact on safety, health and wellbeing of the surrounding community	It is not predicted that the proposal will have an impact on safety, health, and wellbeing of the surrounding community.
Impact on heritage	The subject property is not listed in the OM Heritage Register.
Impact on the biophysical environment	It is not predicted that the proposal will have an impact on the biophysical environment.
Traffic impacts, parking, access and other transport related considerations	The proposal will not have an impact on traffic, parking or access.

### **Impact on views, sunlight and character of the area**

The subject property is located in a residential setting and the proposed structures will not be out of the ordinary for the area. Although the proposed additions will add additional structures to the property, they will be in compliance with the development parameters of the municipality.

### **Economic impact**

Additional jobs will be created while more visitors will be able to be accommodated in the area where their money will be spent and create more economic opportunities for the area.

### **Opportunity cost**

An opportunity cost in the context of land use planning refers to a development proposal that leads to the devaluation or foregoing of valued land use rights of



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interested and affected parties when an application is approved. The development will not affect the property values of surrounding properties.

### **Environmental impact**

The subject property is not located within an environmentally important area.

## **10. POLICIES AND REGULATIONS**

### **10.1 Overstrand Municipality Environmental Protection Overlay Zone (EMOZ) Coastal Protection**

The subject property is located within the 'Coastal Protection' EMOZ. The purpose thereof is managing the integrity of coastal ecosystems, ecosystem services, coastal dynamic processes and biodiversity within Coastal Reserves.

To ensure compliance with the guidelines set out in the EMOZ the application was evaluated in terms of the provisions of Schedule A & B of the Environmental Management Overlay Zone 2020:

<b>SCHEDULE A PROHIBITED ACTIVITIES IN OVERSTRAND ENVIRONMENTAL MANAGEMENT OVERLAY ZONES</b>		
<b>Prohibited Activity</b>	<b>Applicable Environmental Management Overlay Zone (EMOZ)</b>	<b>Applicable to the application or not</b>
	<b>Coastal</b>	
Agricultural practices within this EMOZ which may cause water logging and siltation.	X	N/A
Planting or harbouring of declared emerging weeds on properties within and adjacent to this EMOZ.	X	N/A
Development or agriculture on slopes steeper than 1:4.	X	N/A
Establishment of Informal settlements or Temporary Relocation Areas.	X	N/A
No land user within this EMOZ may utilise the vegetation in a vlei, marsh or within the flood area of watercourse in a manner that may cause the deterioration or damage to the natural agricultural resources.	X	N/A
Placement of religious symbols or memorabilia.	X	N/A
Harvesting /collection of kelp / seaweed in municipal designated "no-take" zones.	X	N/A
Harvesting, collection, moving, loading drying of kelp /seaweed, with a valid Seaweed Harvesting Permit or an exemption in terms of Section 81 or the MLRRA issued by the DAFF.	X	N/A
Stockpiling, drying, processing or loading of marine resources beyond areas designated,	X	N/A



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demarcated and signposted by the Municipal Council for such purposes.		
Modification of the littoral active zone / functional dune systems in absence of approved management plans.	X	N/A
Feeding, disturbing / pursuit of fauna.	X	N/A
Disturbance, modification or destruction of the environment or species within special management areas designated, demarcated and signposted by the Municipal Council from time to time.	X	N/A
Defacing/damaging / removing of any notice, sign, barrier building or other infrastructure.	X	N/A
Playing or tampering with any rope, float, buoy, vessel, shelter or similar life - saving device.		N/A
Staying overnight.	X	Residential property
The discharging of domestic effluent / grey water into all natural systems.	X	N/A
Tampering with security / surveillance infrastructure.	X	N/A
Defacing of rocky outcrops and placement of memorial plaques, religious symbols or structures on natural features.	X	N/A
Graffiti, vandalism or damaging of municipal infrastructure.	X	N/A
Littering	X	N/A
Disposal of cigarette butts, ash or other hazardous materials in any place or manner other than a receptacle designated for such items	X	N/A
Dog walking / exercising of dogs in non-designated zones.	X	N/A

**SCHEDULE B  
ACTIVITIES ONLY PERMITTED WITH COUNCIL CONSENT IN OVERSTRAND ENVIRONMENTAL  
OVERLAY ZONES**

A) Activities Only Permitted With Council Consent	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Permission for the utilization of access routes to permitted kelp / seaweed harvesting sites.	X	N/A
Removal or destruction of vegetation which is protected and/or of conservation concern.	X	N/A
Dune maintenance on private land as per approved dune maintenance management plans.	X	N/A
Excavation and destruction or removal of substrate (soil, substrate, rock, shellgrit, dune sediment, mineral deposits).	X	N/A



## MOTIVATION

Discharging of pool backwashing or untreated grey water or the channelling of storm water into open spaces without the necessary approval from the Municipality.	X	N/A
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B) Permit Upon Approval By Delegated Authority and / Receipt of Tariff	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Installation of conservancy tanks or biological treatment plants within 50 metres from the edge of a watercourse / wetland.	X	N/A
Access from private properties to open spaces, including the removal of vegetation and the establishment of paths, structures and infrastructure.	X	N/A
Commercial filming.	X	N/A
Construction or placement of any temporary object, building, shelter, path or structure.	X	N/A
Use of engine or motor driven vehicles, remotely piloted aircraft or any other means of transport or other conveyances beyond designated, demarcated and signposted areas.	X	N/A
C) Council Authorisation Pending Consent Use Application / Lease Agreement / Applicable Tariffs as applicable	Applicable Environmental Management Overlay Zone (EMOZ)	Applicable to the application or not
	Coastal	
Buildings / Structures associated with: Taking of water, storing of water, impeding or diverting flow, stream flow reduction, altering the bed, banks, course characteristics, outflow structures or discharge pipes.	X	N/A
Buildings / Structures associated with: Taking of water, storing of water, impeding or diverting flow, stream flow reduction, altering the bed, banks, course characteristics, outflow structures or discharge pipes.	X	N/A
Application for the designation of industrial sites and activities associated with the seaweed harvesting, collection, drying, transport and processing fishery.	X	N/A
Encroachment of private buildings, structures, infrastructure, access routes.	X	The entire property is located in the EMOZ areas.
Commercial Harvesting/collection and removal of any natural resource.	X	N/A



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Construction or placement of any permanent object, building, shelter, pathway or structure.	X	The entire property is located in the EMOZ areas.
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It is not predicted that the proposal to utilise the property for from the maximum permissible height of the boundary wall, will have a negative effect on the EMOZ.

### 10.2 Overstrand Municipality Heritage Protection Overlay Zone (HPOZ)

The property is not located within the HPOZ.

### 10.3 Spatial Planning Policies

This proposal is not in conflict with any provisions of the Western Cape Provincial Spatial Development Framework, 2014 or the Overstrand Spatial Development Framework, 2020.

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## 11. PLANNING PRINCIPLES

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Chapter 2 of SPLUMA contains 5 uncompromisable planning principles by which each development application must be guided by. Policy proposals in SPLUMA which are pertinent to this proposal are recorded below:

### Spatial justice

Spatial justice refers to planning proposals that do not contribute towards the perpetuation of apartheid spatial development imbalances. This proposal is not predicted to influence past spatial injustices.

### Spatial sustainability & Efficiency

Spatial sustainability refers to planning proposals that result in communities that are viable. This proposal is to utilise the property to its maximum capability by adding the additional guest bedroom and additional structures this is being achieved.

### Spatial resilience

This proposal is not in conflict with any spatial planning policies or other OM regulations which is a hallmark of resilience.

### Good administration

The OM has a credible track record of good administration regarding the method of public participation. Public participation forms an integral part of the land use planning process.

The public participation process provides people who may be affected by the proposal with an opportunity to provide comment and to raise issues of concern about the proposal or make possible suggestions that may result in an enhanced outcome of which both parties benefit. Comments will be reviewed and considered after which it will be addressed accordingly.



## EVALUATION & RECOMMENDATION

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### 12. EVALUATION

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In conclusion, the proposed expansion of the guesthouse, including the addition of a fifth bedroom and the amendments to the Site Development Plan, is a well-considered request that aligns with the character of the surrounding area. The changes are compatible with the residential and tourism nature of De Kelders, a recognized tourist destination, and will not impede views, sunlight, or the overall aesthetic of the neighbourhood.

The proposal adheres to relevant spatial planning policies, demonstrating that it is based on careful consideration rather than arbitrary decision-making. By enhancing the property's capacity to accommodate visitors, this application supports local economic growth, job creation, and sustainable tourism. Therefore, the approval of this application is justified, as it will benefit both the property owner and the broader community.

### 13. RECOMMENDATION

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Based on the abovementioned motivation, it is recommended that the following be approved:

- 13.1 **Amendment of conditions** in respect of an existing approval to allow five guest bedrooms in terms of Section 16(2)(h) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020; and
- 13.2 **Amendment of conditions** in respect of an existing approval to allow the amended Site Development Plan in terms of Section 16(2)(h) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.

3. Aerial Plan  
Erf 1930 De Kelders

Plan prepared by: Veronica Jansen

All distances are approximate  
and subject to a survey

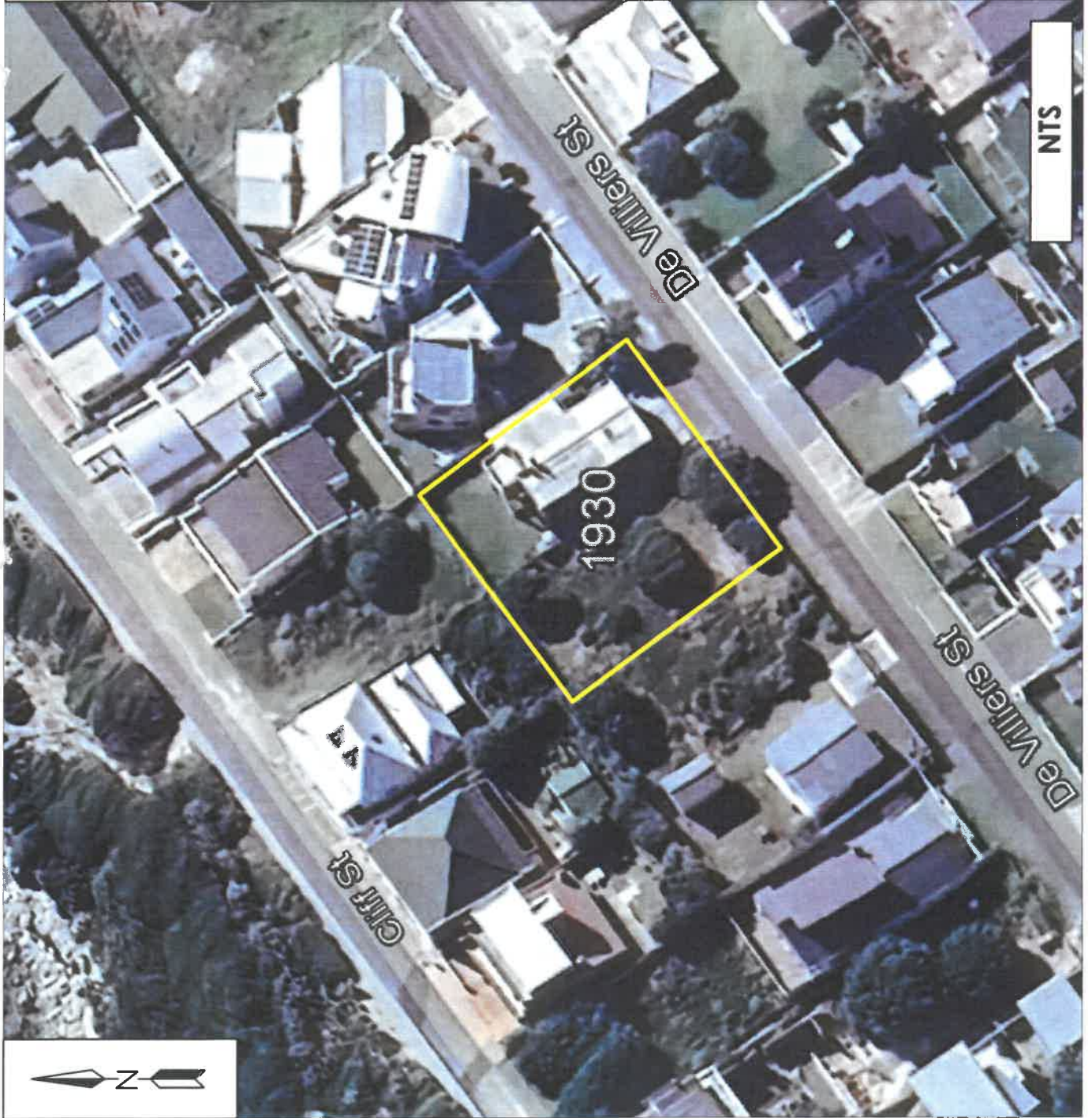
Tel: 028 313 1411

Email: [admin@wrapgroup.co.za](mailto:admin@wrapgroup.co.za)

Unit B, Standard House,  
Corner of Royal and Dirkie Uys  
Street Hermanus, 7200








**Project Office**  
Town Planning & Project Management



NTS

## 2. Zoning Plan Erf 1930 De Kelders

-  Business Zone 2: General Business
-  Residential Zone 1: Single Residential
-  Open Space Zone 2: Public Open Space
-  Open Space Zone 1: Nature Reserve
-  Transport Zone 2: Road and Parking



Plan prepared by: Veronica Jansen

All distances are approximate and subject to a survey

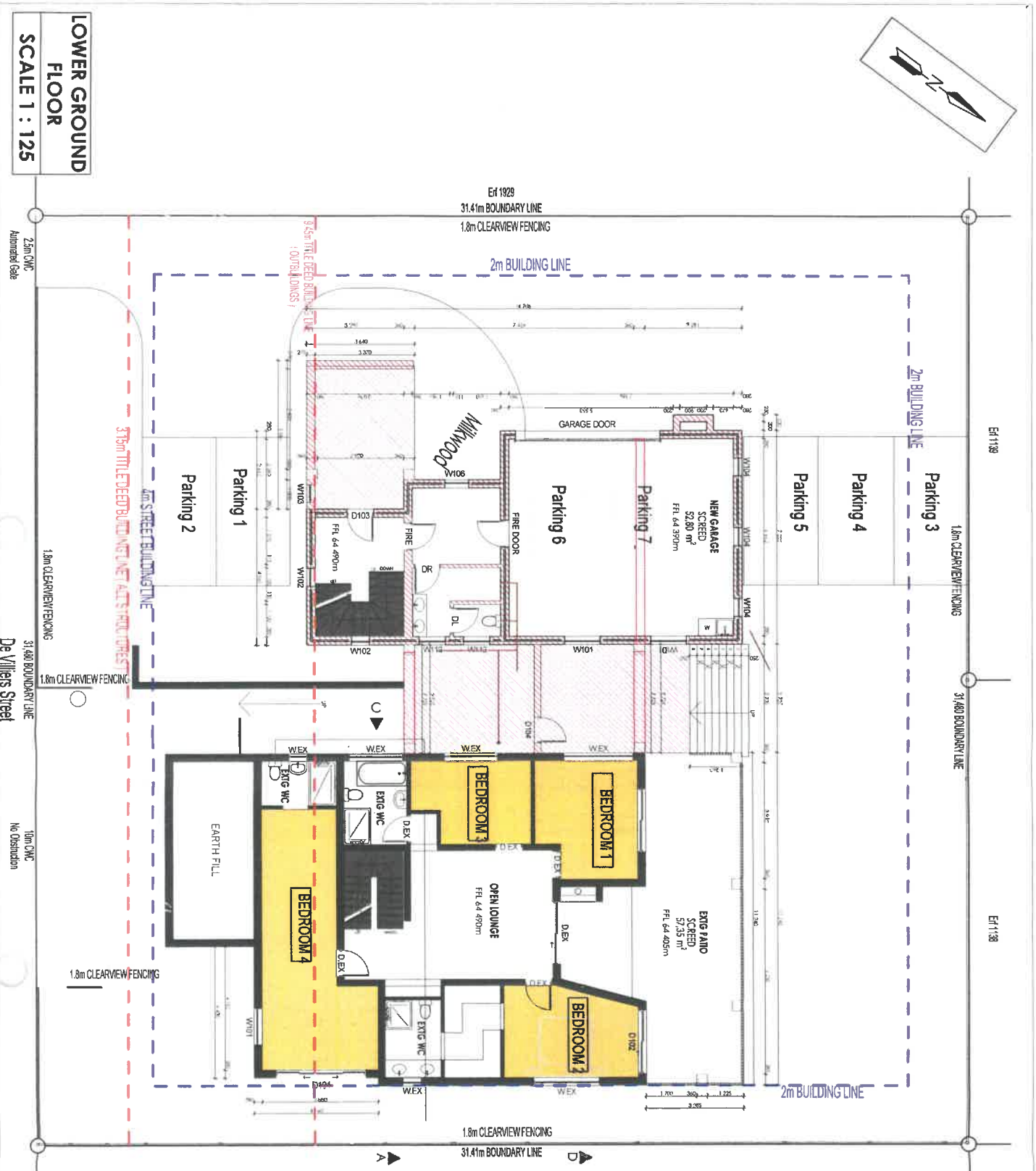
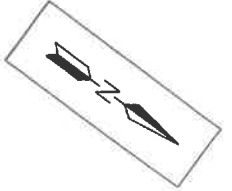
Tel: 028 313 1411

Email: [admin@wrapgroup.co.za](mailto:admin@wrapgroup.co.za)

Unit B, Standard House,  
Corner of Royal and Dirkie Uys  
Street Hermanus, 7200



**Project Office**  
Town Planning & Project Management



**4.1 Amended Site Plan**  
Erf 1930 De Kelders

Erf Extent = 991m<sup>2</sup>

**Coverage**

Total Footprint = 359,84m<sup>2</sup>

Existing Coverage = 36,34%

**Parking**

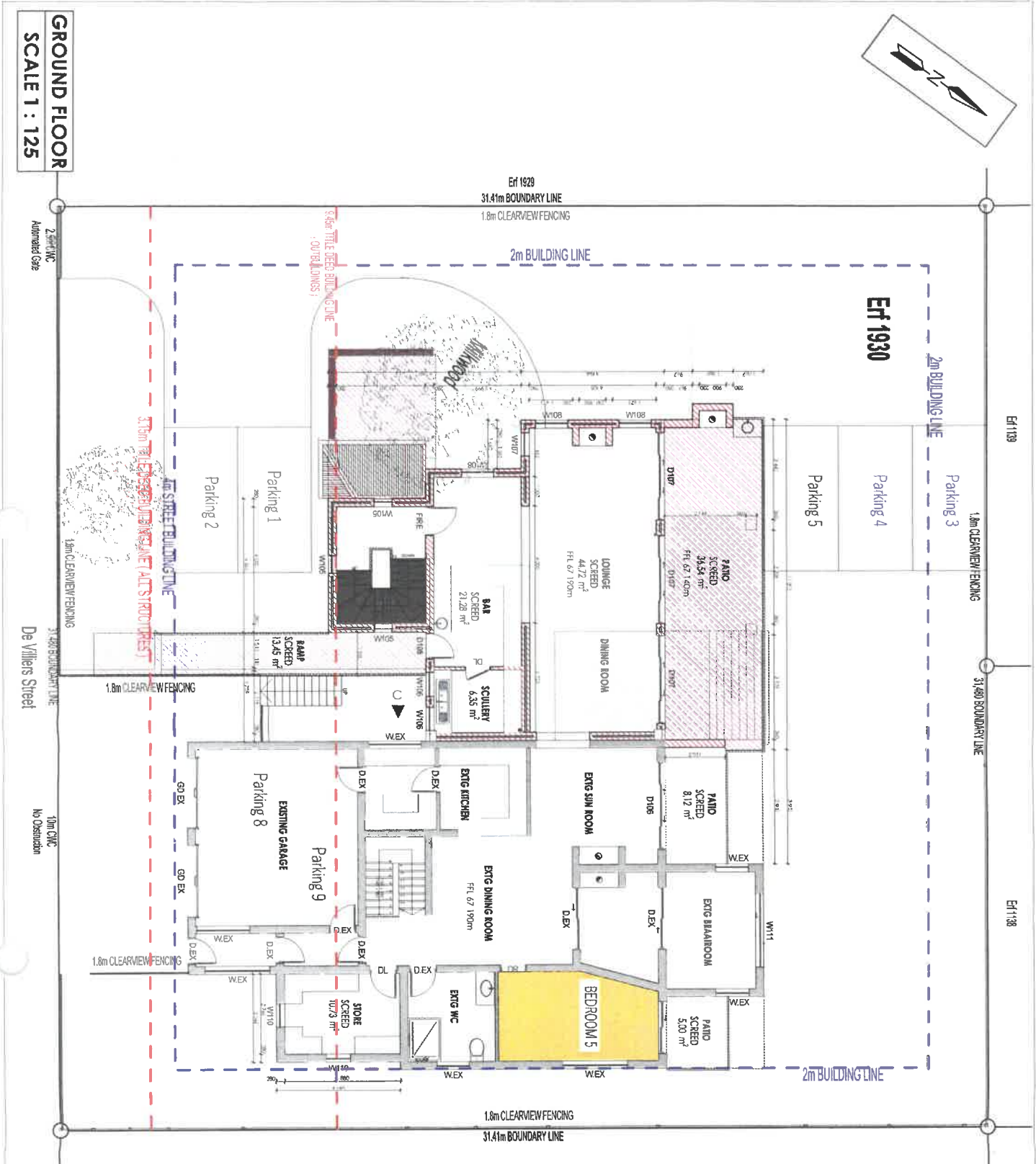
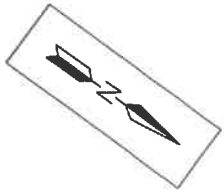
- Dwelling = 2 Parking Bays
- 5 Guest Bedrooms = 5 Parking Bays
- 7 Parking Bays Required
- 9 Parking Bays Provided

Plan Number: 24,147 (001)  
 Plan prepared by: Thian Jansen on 07/10/2024  
 Based on plans by Moureen Wolters Architect  
 All distances are approximate  
 and subject to a survey  
 Tel: 028 313 1411  
 Email: admin@wrappgroup.co.za  
 Unit 8, Standard House, Corner of Royall and Dirkie Uys  
 Steel Horns, 7200

**Project Office**  
 Town Planning & Project Management

**WRAP**

**LOWER GROUND FLOOR**  
**SCALE 1 : 125**



**4.2 Amended Site Plan**  
Erf 1930 De Kelders

Erf Extent = 991m<sup>2</sup>

**Coverage**

Total Footprint = 359,84m<sup>2</sup>

Existing Coverage = 36,34%

**Parking**

- Dwelling = 2 Parking Bays
- 5 Guest Bedrooms = 5 Parking Bays
- 7 Parking Bays Required
- 9 Parking Bays Provided

Plan Number: 24.147 (001)

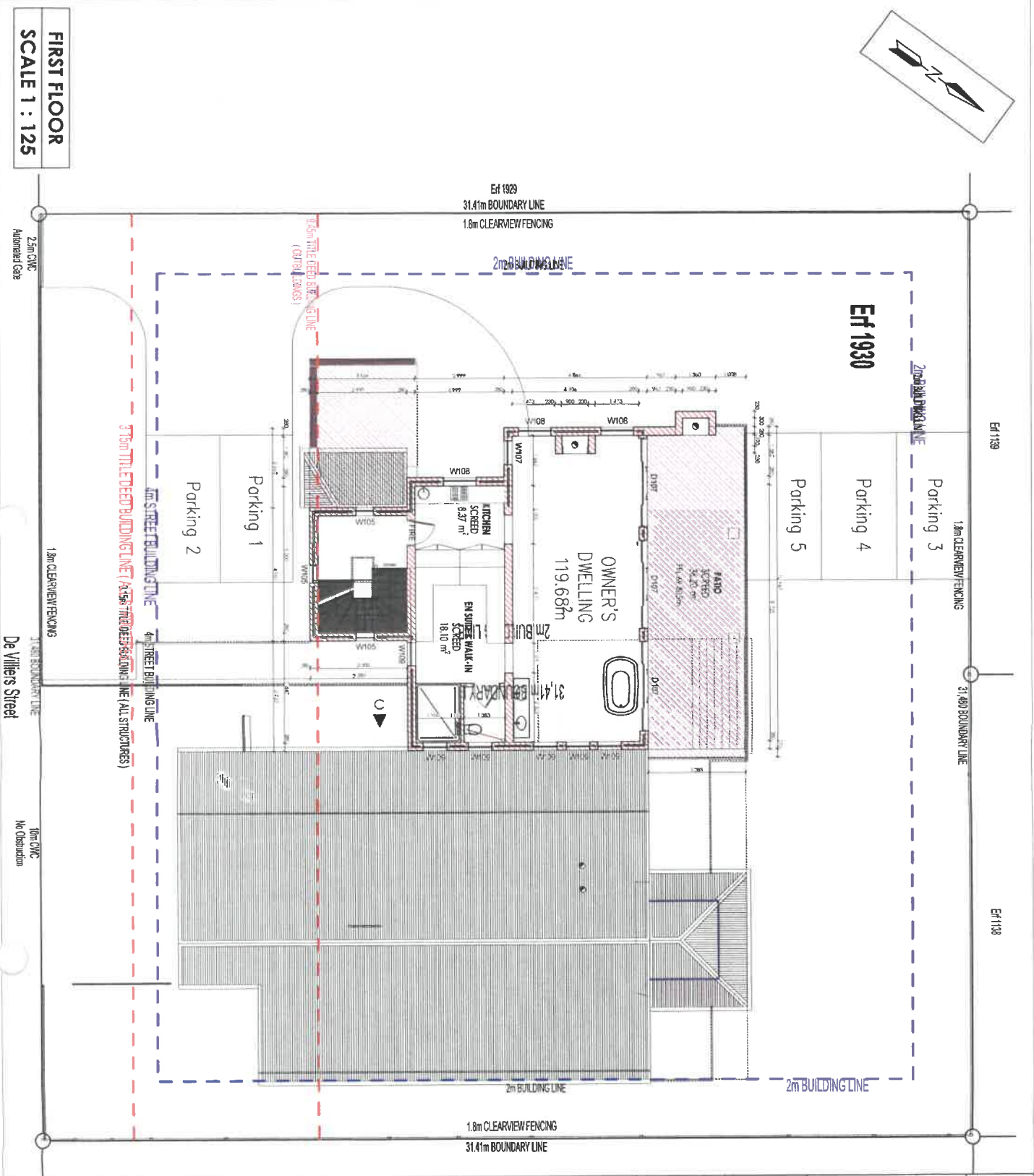
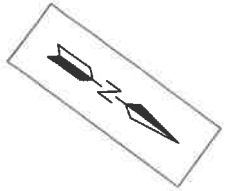
Plan prepared by: Thian Jansen on 07/10/2024  
Based on plans by Moutien Wolters Architect  
All distances are approximate  
and subject to a survey

Tel: 028 313 1411  
Email: admin@wmggroup.co.za

Unit B, Standard House, Corner of Royal and Dikie Uys  
Street, Herronius, 7200



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**4.3 Amended Site Plan**  
Eft 1930 De Kelders

Eft Extent = 991m²

**Coverage**

Total Footprint = 359,84m²  
Existing Coverage = 36,34%

**Parking**

- Dwelling = 2 Parking Bays
- 5 Guest Bedrooms = 5 Parking Bays
- 7 Parking Bays Required
- 9 Parking Bays Provided**

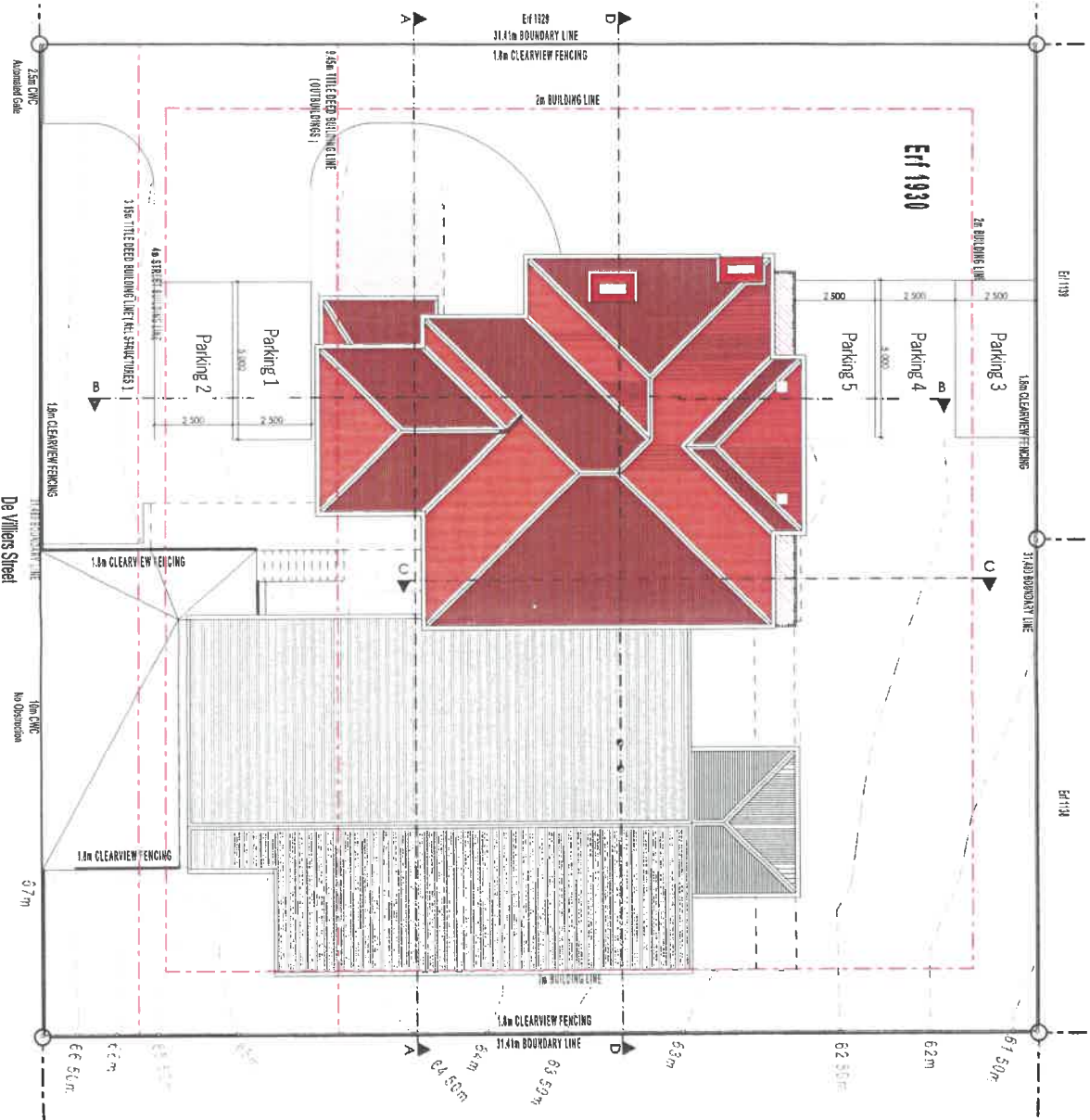
Plan Number: 24.147 (001)  
 Plan prepared by: Thion Jansen on 07/10/2024  
 Based on plans by Mervien Wolters Architect  
 All distances are approximate  
 and subject to a survey  
 Tel: 028 313 1411  
 Email: admin@wraggroup.co.za  
 Unit 8, Standaard House, Corner of Royal and Dirkie Uys  
 Street Hermanus, 7200



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Town Planning & Project Management

# ROOF & SITE PLAN

SCALE 1:150



**ALL NEW WORK TO COMPLY WITH SANS 10400-XA**

**LEGEND:**

- ▣ EXISTING STRUCTURE (PLAN + SECTION)
- NEW PLASTER TO NEW OR ALTERED WALLS (ELEVATION)
- ▣ NEW WOOD (ELEVATION)
- ▣ NEW WOOD (SECTION)
- ▣ NEW OR ALTERED BRICKWORK (PLAN + SECTION)
- ▣ NEW CONCRETE (SECTION)
- ▣ NEW ZINC ALUMINIUM ROOF SHEETING
- ▣ EARTH FILL
- ▣ NEW CLADDING (ELEVATION)
- ▣ NEW STEELWORK (ELEVATION)
- ▣ NEW STEELWORK (SECTION)
- ▣ NEW GLASS (ELEVATION)
- ▣ NEW DRAINAGE: 110mm PVC PIPE
- ▣ NEW DRAINAGE: 150mm PVC PIPE
- ▣ DEMOLISHED STRUCTURE

**ALTERATIONS AND ADDITIONS FOR HOUSE GALLO ROJO TRUST BRF 1930**  
**DE KELDERS**

*Maureen Wolters*  
**REGISTERED ARCHITECT**  
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 2 Merton Street - Stanford  
 Professional Heritage Practitioner (PHPP)  
 S.O.S. No. 150/AS/NW/5815

**COUNCIL APPROVAL**  
 As Shown  
 Scale: 1:100  
 Date: 2024/09/19  
 DTG no. 158/TP/02/01

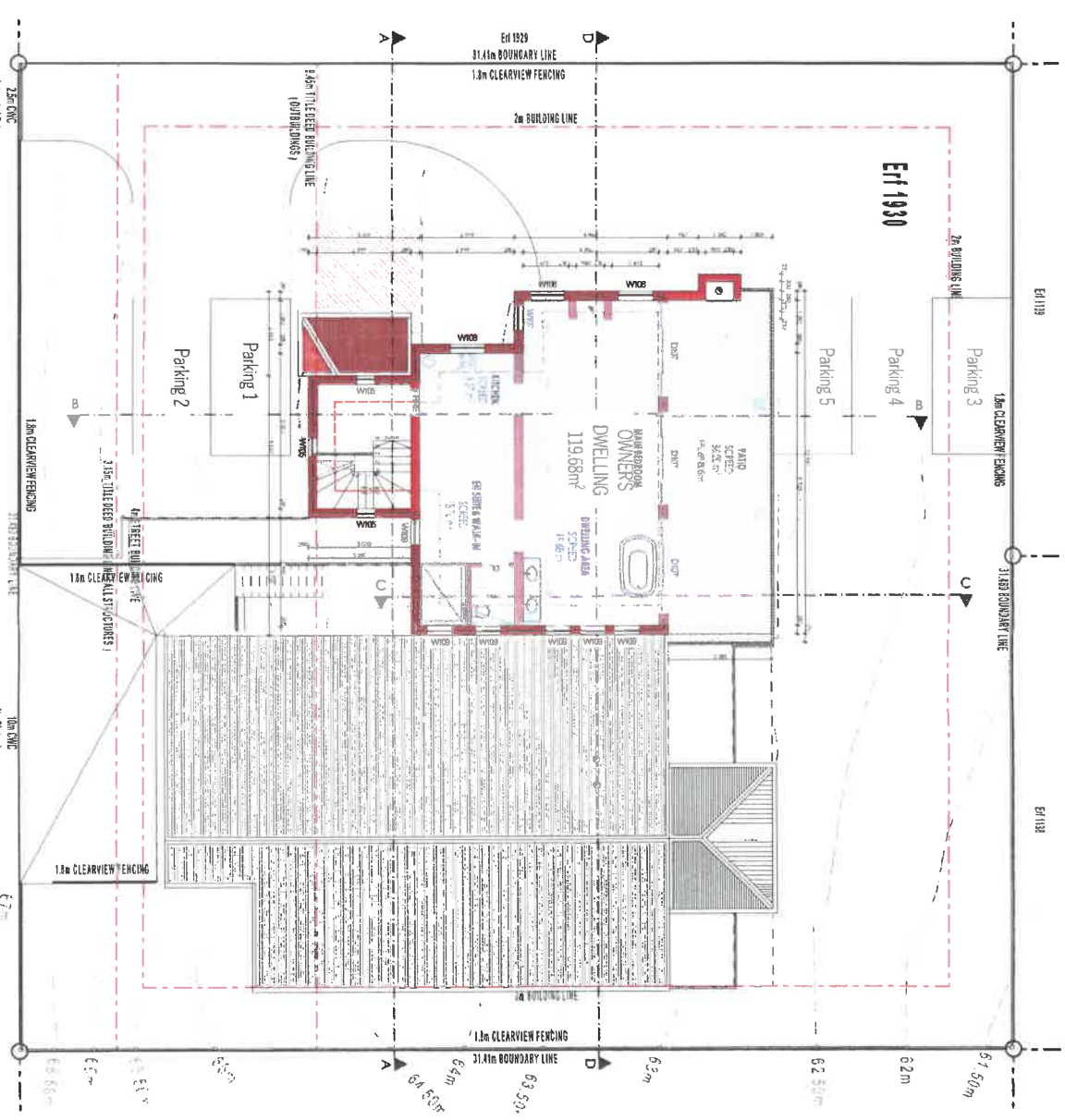


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ARCHITECT.

ALL NEW WORK TO COMPLY  
WITH SANS 10400-XA

**LEGEND:**

- EXISTING STRUCTURE (PLAN + SECTION)
- NEW PLASTER TO NEW OR ALTERED WALLS (ELEVATION)
- NEW WOOD (ELEVATION)
- NEW WOOD (SECTION)
- NEW OR ALTERED BRICKWORK (PLAN + SECTION)
- NEW CONCRETE (SECTION)
- NEW ZINC ALUMINUM ROOF SHEETING
- BATH FULL
- NEW CLADDING (ELEVATION)
- NEW STEELWORK (ELEVATION)
- NEW GLASS (ELEVATION)
- NEW/DAMAGE 110mm PVC PIPE
- NEW/DAMAGE 50mm PVC PIPE
- DAMAGED STRUCTURE



**ALTERATIONS AND  
ADDITIONS FOR HOUSE  
GALLO ROJO TRUST  
ERF 1930  
DE KEULDERS**

*Maureen Walters*  
ARCHITECT  
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E-mail: maureen@maureenwalters.co.za  
P.O. Box 133 • Stanford • 7210  
2 Merton Street • Stanford (PMP)  
SA (C.A.) 1501 (N) No 5011

Site:  
**COUNCIL APPROVAL**  
Description:  
As Shown

Scale: 1:100  
Date: 2024/09/19  
Dwg no. 156-TP-0202

**FIRST STOREY**  
SCALE 1:150

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ALL NEW WORK TO COMPLY  
 WITH SANS 10400-XA

**LEGEND:**

- EXISTING STRUCTURE (PLAN + SECTION)
- NEW GLASS TO NEW OR ALTERED WALLS (ELEVATION)
- NEW WOOD (ELEVATION)
- NEW WOOD (SECTION)
- NEW OR ALTERED BRICKWORK (PLAN + SECTION)
- NEW CONCRETE (SECTION)
- NEW ZINC ALUMINIUM ROOF SHEETING
- EARTH FILL
- NEW CLADDING (ELEVATION)
- NEW STEELWORK (ELEVATION)
- NEW GLASS (ELEVATION)
- NEW DRAINAGE 118mm P.O. PIPE
- NEW DRAINAGE 50mm H.C. PIPE
- DISASSEMBLED STRUCTURE

**ALTERATIONS AND  
 ADDITIONS FOR HOUSE  
 GALLO ROJO TRUST  
 ERF 1930  
 DE KELDERS**

*Maureen Woltham*  
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 P.O. Box 133, Standard, 7210  
 Project: 2 Morton Street - Standard  
 S.A.C.A.P. Prof. Arch. No. 3517

State: **COUNCIL APPROVAL**  
 Description: **As Shown**  
 Scale: 1:100  
 Date: 2024/09/19  
 Dr. no. 4561P-0203



**GROUND STOREY**  
 SCALE 1:150

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**ALL NEW WORK TO COMPLY WITH SANS 10400-XA**

**LEGEND:**

- Z2 BERTHO STRUCTURE (PLAN + SECTION)
- NEW PLASTER TO NEW OR ALTERED WALLS (ELEVATION)
- NEW WOOD (ELEVATION)
- NEW WOOD (SECTION)
- NEW OR ALTERED BACKWATER (PLAN + SECTION)
- NEW WOOD (SECTION)
- NEW CONCRETE (SECTION)
- NEW ZINC ALUMINUM ROOF SHEETING
- EARTH FILL
- NEW CLADDING (ELEVATION)
- NEW STEELWORK (ELEVATION)
- NEW GLASS (ELEVATION)
- NEW GLASS (SECTION)
- NEW PRIMAIRE 110mm PVC PIPE
- NEW PRIMAIRE 60mm PVC PIPE
- DEVALUED STRUCTURE

**ALTERATIONS AND ADDITIONS FOR HOUSE GALLO ROJO TRUST ERF 1930 DE KELDERS**

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 2. MAREEN WOLTERS ARCHITECTS (Pty) Ltd  
 S.A.C.A.P. Prof. Arch. No 3517

**COUNCIL APPROVAL**

As Shown  
 Scale: 1:100  
 Date: 2024/09/19  
 Dwg. no.: 1561P-0204



**LOWER GROUND STOREY**  
 SCALE 1:150