



ERF 1786, 17 SECOND STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF SEVENTEEN SECOND STREET (VOËLKLIP) CC

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received for the following:

- ❖ **Departure** in terms of Section 16(2)(b) in order to:
 - relax the western lateral building line from 2m to 0m to accommodate the new garage, and
 - relax the street building line from 4m to 3.5m to accommodate the new garage.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (e) alida@overstrand.gov.za) on or before **Friday, 1 August 2025**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to the **Town Planner, Mr. P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 1786, TWEDESTRAAT 17, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: MNRE PLAN ACTIVE STADS- EN STREEKBEPLANNERS SEVENTEEN SECOND STREET (VOËLKLIP) CC

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is vir die volgende:

- ❖ **Afwyking** ingevolge Artikel 16(2)(b) ten einde die:
 - westelike syboullyn vanaf 2m na 0m te verslap om die nuwe motorhuis te akkommodeer, en
 - straatboullyn vanaf 4m na 3.5m te verslap om die nuwe motorhuis te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige skriftelike kommentaar moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (e) alida@overstrand.gov.za) bereik voor of op **Vrydag, 1 Augustus 2025**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA ESINGU-ERF 1786, 17 SECOND STREET, VOËLKLIP, HERMANUS, KUMMANDLA KAMASIPALA I-OVERSTRAND: ISICELO SOKWAHLULA: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS EGAMENI LE SEVENTEEN SECOND STREET (VOËLKLIP) CC

Kukhutshwe isaziso esimayela nemiba yeSoloty lama-48 loMthethwana OsisiHlomelo soMthetho kaMasipala wase-Overstrand ONgezicwangciso Zokusetyenziswa koMhlaba kaMasipala ku2020 (UMthethwana), esi sicelo sifunyenweyo simayela nale miba ilandelayo:

- ❖ **Ukwahlula** ngokwemiba yeSoloty le16(2)(b) ukuze:
 - kunyenyiswe umgca wesakhiwo omele okwicala lasentshona ukusuka kwimitha ezi-2m ukuya ku-0m ukulungiselela igaraji entsha, kunye
 - nokunyenyisa umgca ohambelana nesitalato sesakhiwo ukusuka kiimitha ezi4m ukuya kwezi3.5m ukulungiselela igaraji entsha.

Iinkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini ukusukela phakathi kwentsimbi ye08:00 neye16:30 kwiSebe: Lezicwangciso zeDolophu, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zeSoloty lama51 nelama52 loMthethwana ongentla zifike kwaMasipala (16 Paterson Street, Hermanus / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi komhla ka **Lwesihlanu, 1 EyeThupa 2025**, uchaze igama lakho, idilesi neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zakho zokuhlomla. Imibuzo ngefowuni ingabuzwa ku **Mcwangcisi weDolophu, Mnu. P Roux** ku-028-313 8900. UMasipala angala ukwamkela izimvo ezifike emva komhla wokuvala. Nabani na ongakwazi ukufunda nokubhala angahambela kwiSebe Lezicwangciso zeDolophu apho igosa likaMasipala liza kumnceda ukuze ahlomle ngokusemthethweni.



PROPOSED DEPARTURE
ERF 1786 HERMANUS
OVERSTRAND MUNICIPALITY

MOTIVATION REPORT

1. BACKGROUND

Plan Active Town & Regional Planners has been appointed by A. Borain, on behalf of Seventeen Second Street (Voëlklip) CC, the owner of erf 1786 Hermanus, to apply for the departure of the subject property.

There is an existing approved dwelling and carport situated on the subject property. The property owner intends to replace the carport with a new garage on the subject property. The new structure will encroach the land use scheme regulations' building lines. The encroachments are described as follows:

1. **New Garage:**

- Zoning scheme western lateral building line: encroachment into the 2m requirement.
- Zoning scheme street building line: encroachment into the 4m requirement.
- To permit the length of the proposed garage to measure 9,5m in lieu of the permissible maximum of 9 metres, as prescribed by the applicable zoning regulations.

This application seeks permission to construct a new garage associated with the existing dwelling that will encroach on the street and western lateral building lines as stipulated by the land use scheme.



2. APPLICATION DETAILS

Application is made in terms of:

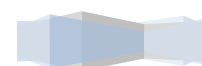
- Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020, for **the departure** of erf 1786 Hermanus.

3. NEED AND DESIRABILITY

3.1 PROPERTY DESCRIPTION

Erf 1786 Hermanus is situated at 17 Second Street, Voëlklip, Hermanus. Refer to the locality plan attached. Erf 1786 Hermanus is 495m² in extent and is held by title deed no. T64612/1994.

The subject property is characterized by a dwelling structure and carport as indicated on the attached copy of the building plans and the aerial image below:





Map 1: Aerial photograph of erf 1786 Hermanus

3.2 ZONING

Erf 1786 Hermanus has the following land use rights:

ERF NUMBER	ZONING
Erf 1786 Hermanus	Residential Zone 1: Single Residential

Surrounding properties are zoned for single residential and public road purposes.



3.3 LAND USE

The subject property currently comprises an existing dwelling structure and a carport. The dwelling unit will remain unchanged, with no additions or alterations proposed as part of this application. The existing carport will be demolished and replaced by a new garage constructed in the same position.

Land uses that surround the subject property are single residential dwellings, the Fernkloof Nature Reserve and public roads.

3.4 PROPOSAL

The following is proposed:

The **departure** of erf 1786 Hermanus in terms of Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020, to:

- relax the western lateral building line from 2m to 0m to accommodate the proposed new garage;
- relax the street building line from 4m to 3,5m to accommodate the new garage;
- deviate from Section 16.1.1. c) iii) to accommodate the length of the garage on the western erf boundary of 9,5m (excluding the fire walls of 1m and 1,415m in length) in lieu of 9m.

There is an existing approved dwelling and carport situated on the subject property. The property owner intends to replace the carport with a new garage on the subject property. The new structure will encroach the land use scheme regulations' building lines.

A garage is permitted within the lateral and street building lines of a property, subject to certain conditions. It is proposed to construct a new garage of 33,7m² in extent in the north-western corner of the subject property as indicated on the site development plan. The proposed garage will be positioned on the 0m western lateral building line and on the 3,5m street building line. The garage will be used for the storage of vehicles

and storage area. The fire wall of the proposed garage will be constructed up to the 2,085m street building line but will not exceed the maximum permissible height of 2,1m. The western erf boundary is 31,49m and the street boundary is 15,74m in extent. The proposed garage structure will be 4,29m wide (street front) and 9,5m long on the western erf boundary. One third of the western lateral boundary amounts to a length of 10,47m and therefore the maximum width of 9m as stipulated in Section 16.1.1. c) iii) of the land use scheme regulations will apply. The proposed structure does therefore not comply with the maximum permissible length and an application is submitted for the deviation from Section 16.1.1. c) iii) to accommodate the length of the garage of 9,5m (excluding the fire walls of 1m and 1,415m in length) in lieu of 9m. The width of 4,29m is allowed since the western erf boundary is 15,74m long (and therefore a width of 6,5m is allowed).

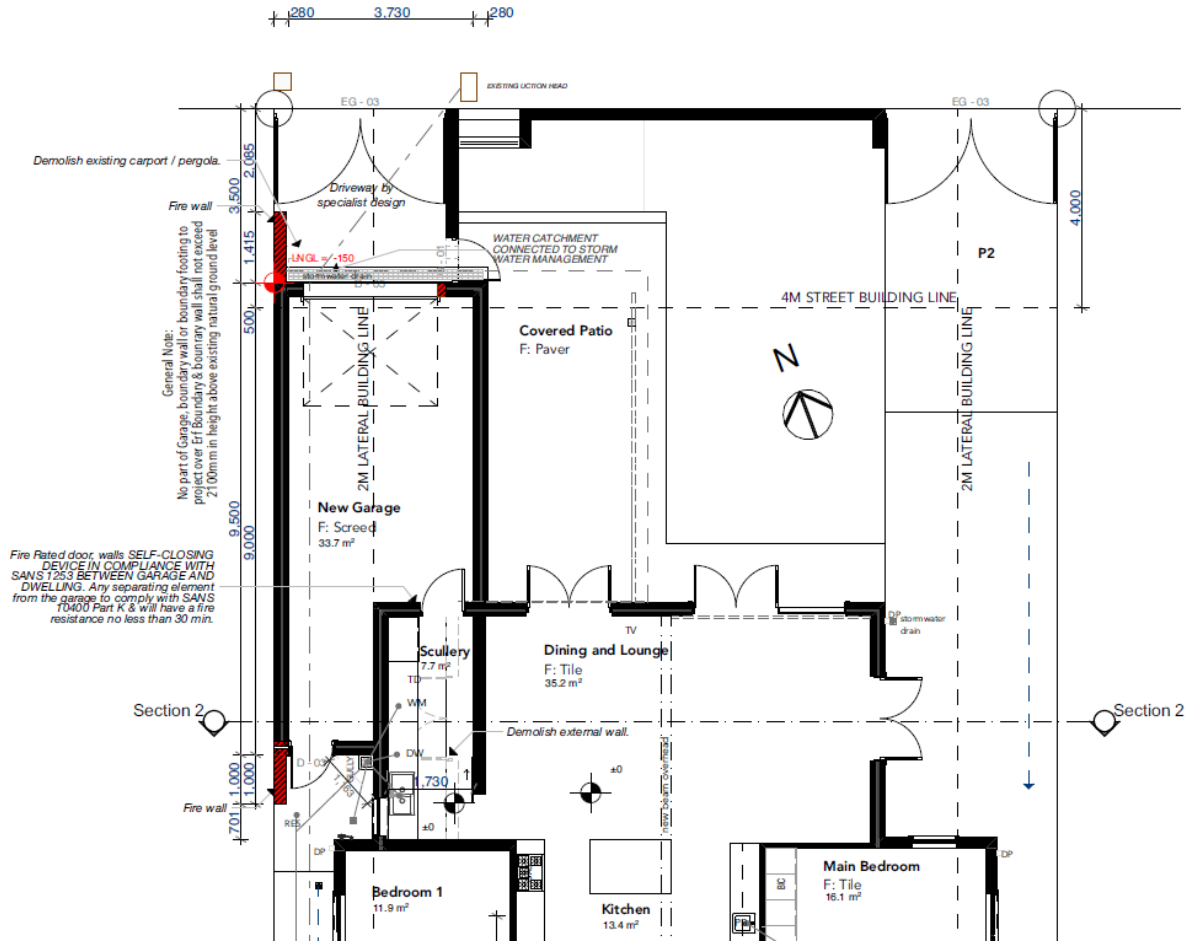
The height of the proposed garage will be 2,95m as indicated on the north and western elevation and therefore meets the maximum height of 4,5m for consideration encroaching the street building line and 3,5m above the existing ground level on the common boundary for consideration encroaching the western lateral building line. The front elevation of the garage will be set back at least 5m from the road surface. No windows or doors will be placed in the garage wall positioned on the 0m western lateral building line (refer to the western elevation). The proposed garage therefore meets all the requirements for the consideration of the structure encroaching on the street and western lateral building lines.

As a result, an application is submitted for a departure to:

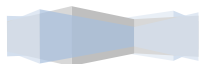
- relax the western lateral building line from 2m to 0m to accommodate the proposed new garage;
- relax the street building line from 4m to 3,5m to accommodate the new garage.

Refer to the plans below indicating the proposed garage:

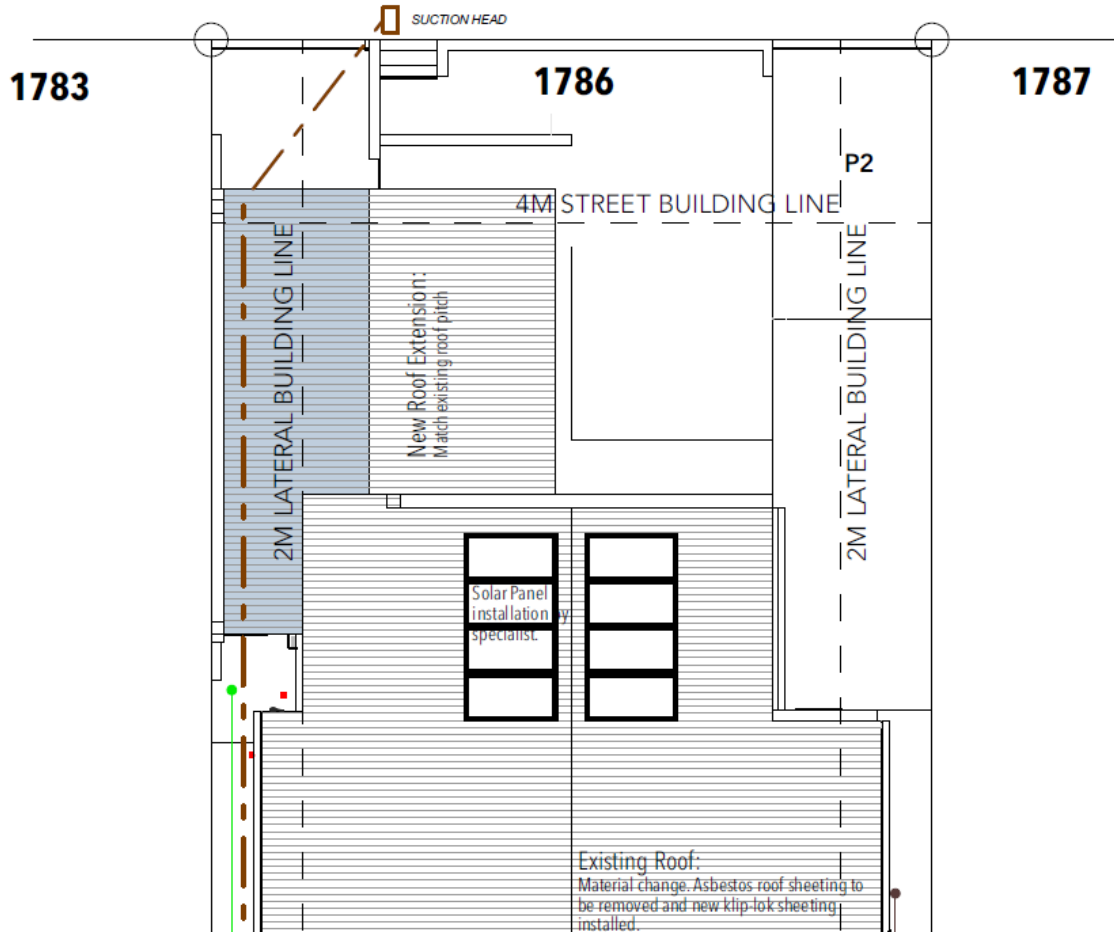




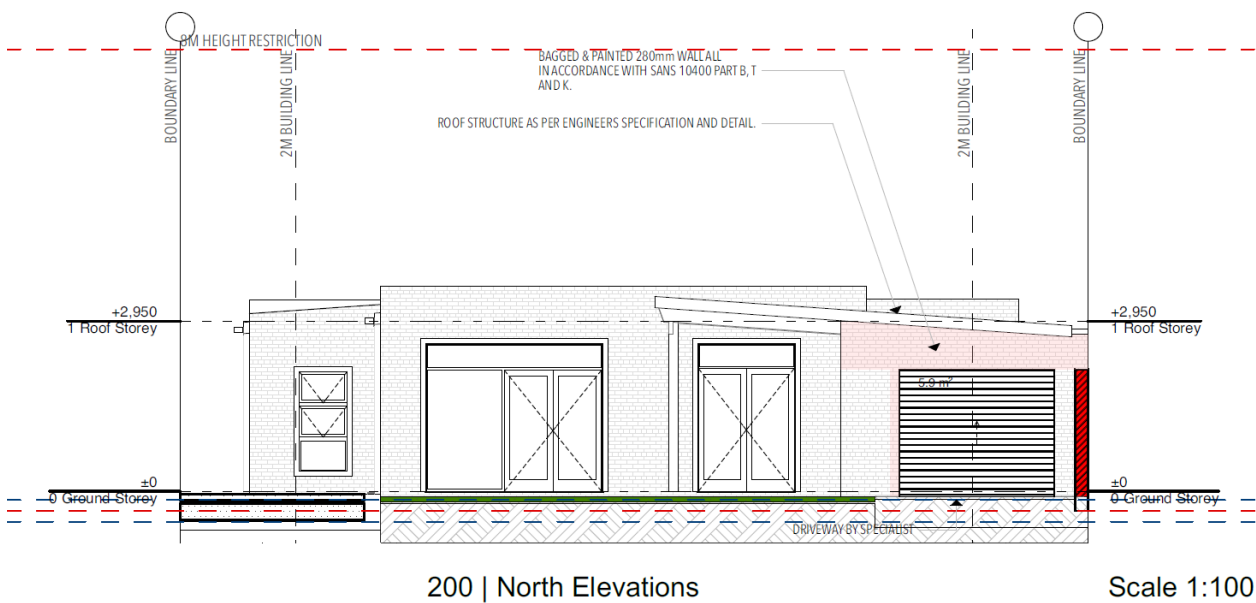
Map 2: Ground storey plan



Second Street



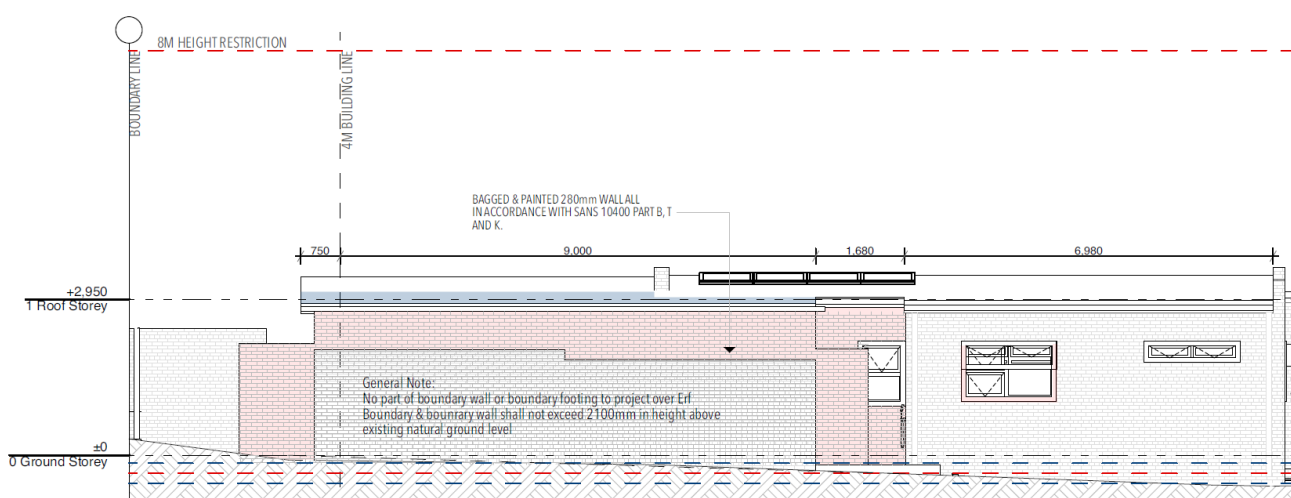
Map 3: Roof plan



200 | North Elevations

Scale 1:100

Map 4: North elevation



200 | West Elevations

Map 5: West elevation

The structures will be visible from neighbouring erven. However, no windows or doors will be placed in the structure facing the neighbour to the west. The position of the new garage where the current, approved carport is situated will lower the visual impact on the adjacent erf 1783 Hermanus. It will therefore not have a negative impact on neighbours' views or privacy. The neighbours to the east (erf 1787) and west (erf 1783 Hermanus) gave their consent for the proposed building line deviation (consent letter dated 25 and 28 March 2025 attached).

The following should be noted when considering the proposed structures:

- The materials to be used and the design of the garage are aesthetically pleasing.
- The visual impact is considered minimal since the land use scheme parameters are met for the consideration of the garage encroaching both the common boundary and street building lines.
- The new garage will form an essential part of the new dwelling on the subject property and will add to the aesthetic and property value of the property.
- The proposed structure that encroaches on the building lines outlined in the land use scheme is not classified as a habitable space.

Refer to the attached site development plan, floor layout and elevations.

The proposed application has a low to no impact on the character and property values



of the surrounding properties. The redevelopment of the subject property will not create an infringement to any passing traffic or public activity due the low impact use of the structure. It is submitted that the massing and height of the new garage are compatible with the character of the area, regardless of the departure being applied for.

The zoning of erf 1786 Hermanus will remain unchanged (Residential Zone I: Single Residential) as well as the primary land use (single residential purposes). The height of all the structures on the subject property will comply with the permissible height requirements for SR1 zoned properties (as indicated on the plans). The impact on the adjacent property owners and the passers-by will be marginally higher than if the new structure was set back and constructed outside of the building lines.

The area schedule and coverage for the redeveloped property will be as follows:

BUILDING FOOTPRINT:	
<u>Main Building:</u>	
ERF	495m ²
Ground:	
Existing House Area	189m ²
Covered Stoep	23.3m ²
Garage	33.7m ²
TOTAL COVERED:	246 m ²
TOTAL NEW COVERED AREA	33.7m ²
FOOTPRINT:	246m ²
SITE/ERF:	495m ²
COVERAGE:	49.5%

The total coverage of 49,5% does not exceed the maximum permissible coverage of 50% for SR1 zoned properties.

It is submitted that the proposed structure will be compatible with the character of the area, does not impact negatively on the rights of anyone else and that no good reason exists for not approving this application. When considering the proposed building line deviations, the point of departure is the need to discourage the phenomenon of urban sprawl and to encourage densification and more compact towns and cities, all of which relates to more responsible resource use or sustainable development.

The proposed departure is not in contrast to the existing land use tendencies in the surrounding environment and we therefore do not foresee any problems with the proposed application.

3.5 THE POTENTIAL OF THE PROPERTY

The zoning and primary land use of the subject property will remain unchanged. The location of the subject property within a single residential area allows the property to be developed for low impact land uses only (such as bed-and-breakfast establishments, day care, second dwelling, guest house and home occupation uses). The proposed departure will not hinder any possible future land use applications on erf 1786 Hermanus.

The subject property has the potential and allows for the deviations being applied for. The dwelling is an approved structure. Additions to the dwelling were dealt with as a separate building plan applications (since no deviations are proposed). It is only the proposed garage that will deviate from the land use scheme building lines.

The following should be noted when considering the potential of the site:

- The proposed position of the approved As Built dwelling and new garage does not have a negative impact on neighbours' views.
- The massing and scale of the proposed structure (garage) are compatible with the area.

The requested departure is minor and the new structure encroaching the building lines is a garage that can be favourably considered within the lateral and street building lines.

The scale of the surrounding built environment and the low impact on the streetscape are also factors that must be considered when contemplating the potential of the property to accommodate the departure. The following factors confirm the potential of the property to accommodate the proposed building line deviations:

- Good quality materials will be used for the construction of the proposed garage.
- The new garage will add value to the property and the area.

3.6 ECONOMIC IMPACT

The minor nature of the proposed encroachments mean that the current and future value of the property is unlikely to be adversely affected. The proposed encroaching garage will provide additional utility and convenience, allowing for better use of space. The new garage will complement the design of the home and contribute positively to the property's curb appeal.

Thus, the economic impact of granting the proposed departure is expected to be positive, supporting both the property's value and its smooth operation within the existing residential context. The construction of a new garage will boost the overall property values in the neighbourhood, benefiting existing homeowners.

The building process will generate employment for various trades, including labourers, carpenters, electricians, plumbers, and more. Local suppliers will benefit from the sale of building materials and home goods.

3.7 SOCIAL IMPACT

The proposed application will have no impact on the social status quo of the area. The building line deviations will however allow the owner to replace the carport with a new garage on the subject property.

The minimal nature of the proposed encroachments ensures that they do not disrupt the visual or functional aspects of the neighbourhood. No negative impact on the social wellbeing of the surrounding community is anticipated. It is submitted that the proposed development is compatible with the character of the area and does not impact negatively on the rights of anyone else.

3.8 COMPATIBILITY WITH SURROUNDING LAND USES

The subject property is situated in an existing low-density residential area. The application does not propose to change the zoning or land use of the subject property and therefore the proposal is compatible with the surrounding land uses.

The surrounding properties are developed with single and double storey dwellings and the use of the surrounding properties is for permanent residences and holiday houses. The scale of the As Built and new structure on erf 1786 Hermanus (and the respective uses thereof) merges well with the scale of the surrounding dwellings in the immediate area.

The approval of the departure will not alter the property's residential function or affect the broader community. The garage addition to the subject property ensures that the property's integration remains consistent with the surrounding land uses.

The proposed portions of the structure to be situated over the building lines are non-habitable, which minimizes their impact on the neighbourhood's density and ensures that the overall character of the area remains intact. This is particularly important in preserving the existing built environment. The overall design of the dwelling, which incorporates the new garage, has been designed to be visually pleasing. This consideration contributes positively to the streetscape and enhances property values in the area.

3.9 IMPACT ON EXTERNAL ENGINEERING SERVICES

The proposed application for erf 1786 Hermanus is expected to have no impact on external engineering services. The minor encroachments associated with the proposed structure do not interfere with or place additional strain on municipal infrastructure or services.

The property is adequately serviced by existing infrastructure, including water, sewage, and road networks, all of which are functioning within their designed capacities. The proposed adjustments to the building lines will not alter the usage or

demand on these services. The proposed structure will not affect the surrounding utilities or infrastructure. Given the minimal nature of the encroachments, the proposal will have no impact on external engineering.

3.10 IMPACT ON SAFETY, HEALTH AND WELLBEING OF SURROUNDING COMMUNITY

The proposed departure will have no impact on the general safety and wellbeing of the surrounding community. It is anticipated that one family will continue to occupy the subject property once the development is complete.

Since the proposed departure is not associated with a noxious trade with polluting air emissions the impact on the health of the community will be kept to a minimum.

3.11 IMPACT ON HERITAGE

The application does not involve changing the character of a site larger than 5 000m². Consequently, the proposed application for the departure does not trigger Section 38 of the National Heritage Resources Act, 1999 (Act No. 25 of 1999).

Erf 1786 Hermanus is not situated within the Heritage Protection Overlay Zone as determined by the Overstrand Municipality's Zoning Scheme (2020). The subject property is also not earmarked for heritage conservation purposes with reference to the Overstrand Municipal Growth Management Strategy (2010). Erf 1786 Hermanus is not situated within the Heritage Protection Overlay Zone (HPOZ, 2020).

The proposal does not introduce structures that would affect the visual, cultural, or spatial character of the area. Given the above, the proposed departure is not expected to have any adverse impact on the heritage significance of the area.



Moreover, the property in question is not associated with any historically significant persons, groups, events, or activities that would warrant heritage protection or consideration. Therefore, the proposed application is expected to have no negative impact on the heritage value of the surrounding area.

In light of the above, it is evident that the proposed departure will not constrain future land use applications on the subject property, nor will it pose any risk to heritage resources. Accordingly, the application holds no heritage significance, and its impact on the heritage value of the area will be minimal to none.

3.12 IMPACT ON THE BIOPHYSICAL ENVIRONMENT

The proposed departure does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998).

The subject property is not situated within the Overstrand Municipality's Zoning Scheme Environmental Management Overlay Zone (EMOZ, 2020).

3.13 TRAFFIC IMPACT, PARKING AND ACCESS

Access to erf 1786 Hermanus will be from Second Street. Refer to the site development plan. There are two existing access points (access gates) to the subject property. These access points will remain unchanged for the purposes of the application (as indicated on the ground storey layout plan).

The Overstrand Municipality Land Use Scheme (2020) stipulates that a minimum of two parking bays are required for a dwelling house (main dwelling). The dwelling will be developed with a new garage that will provide parking for the main dwelling. There is ample space on the subject property to accommodate a second vehicle on the site (with reference to the driveway at the second access point).

Considering the above the dwelling on erf 1786 Hermanus will comply with the minimum parking requirements for SR1 zoned properties.

The subject property will continue to be used primarily for single residential purposes and therefore the impact on the traffic flow in the area will remain unchanged.

3.14 TITLE DEED

Title Deed no. T64612/1994 has no restrictive title deed conditions that need to be removed to accommodate the encroachment of the proposed garage over the western lateral and street building lines on the subject property. The title deed is straight forward and therefore a conveyancer's certificate is not included with this application.

There is no bond registered against erf 1786 Hermanus.

3.15 FORWARD PLANNING AND LAND USE DOCUMENTS

The ***Overstrand Spatial Development Framework (2020)*** earmarks the area where erf 1786 Hermanus is situated, for urban development purposes. The zoning and use of the subject property will remain unchanged (Residential Zone 1: Single Residential). As a result, the impact of the proposed departure on the spatial integrity of the area will be minimal and is therefore consistent with the Overstrand SDF (2020).

The ***Overstrand Municipal Growth Management Strategy (OMGMS, 2010)*** specifies that erf 1786 Hermanus forms part of Planning Unit no. 3. This planning unit stipulates an increase in density from 11du/ha to 14,3du/ha. A main dwelling is currently situated on the property and a new garage is proposed. No additional densification is proposed under this application. The current status will remain unchanged. Therefore, the land use application is consistent with the existing planning for the Voëlklip area.

The proposal will promote land development in a location that is sustainable. The proposed departure is to an improved erf within an established residential area and will not impact on urban sprawl or upon a sensitive environment. There is no impact on the overall density of Voëlklip and therefore the proposed application still promotes a low-density residential area.

From the above it is evident that the proposed development **adheres and complies** with the relevant municipal spatial planning policies.

3.16 PLANNING PRINCIPLES

The planning principle of spatial resilience does not apply to this application.

Spatial justice: The proposed land use application ties in with the existing character of the area and will not have a negative impact on the surrounding neighbours. The impact on the biophysical environment will be low as the subject property has been in existence since 1936. The proposed application will not promote spatial development imbalances. This application is for an erf as per the establishment of the existing Hermanus Township. The proposed application is in character with the existing area where similar applications have been approved in the past and therefore, the approval of the proposed application will not be spatially biased.

Spatial sustainability: The proposed departure will have a low impact on the visual elements of the subject property and surroundings. It is submitted that the proposed application is compatible with the character of the area (as motivated in previous sections of this report). The encroachments of the street and lateral building lines have no impact on the massing of the proposed building and the impact on the streetscape or passers-by. The new garage (once complete) will merge well with the surrounding built environment. The impact on the biophysical environment will also be kept to a

minimum since the development does neither trigger any listed activities in terms of NEMA nor is it positioned with Overstrand Municipality's EMOZ.

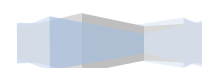
Factors such as the good quality materials to be used, the overall layout of the structures on the subject property, the scale of the surrounding built environment, mature trees in the area, compliance with all other land use development parameters, etc. allow for the consideration and approval of the proposed deviations without having an adverse impact on the spatial sustainability of the area. To accommodate the proposed garage is to an improved erf within an established residential area will not impact on urban sprawl, or upon a sensitive environment.

The application is considered spatially sustainable as the existing property will be more optimally utilised without affecting natural vegetation. The property is compatible with the character of the area and does not impact negatively on the rights of any adjacent property owners.

Efficiency: The subject property is easily accessible and conveniently located close to Hermanus CBD and major routes. The massing and height of the property will be in line with the relevant land use scheme regulations. It proves to be resourceful to approve the deviations since it is to accommodate a proposed garage and not habitable spaces. The latter is deemed compatible with the existing built environment and the way the garage was designed (and will ultimately be constructed) proves to be aesthetically pleasing.

By allowing for the construction of this structure, it encourages efficient land use and resource management, contributing to a more sustainable community. In addition, the proposed application discourages the phenomenon of urban sprawl, encourages more compact towns and cities, all of which relates to more responsible resource and infrastructure use. Furthermore, the proposal is efficient in that it optimizes existing resources and infrastructure and continues the existing suburban development typology.

Good administration: Our firm is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The land use application will follow due



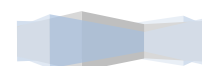
process as stipulated in the relevant municipality's bylaw and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020.

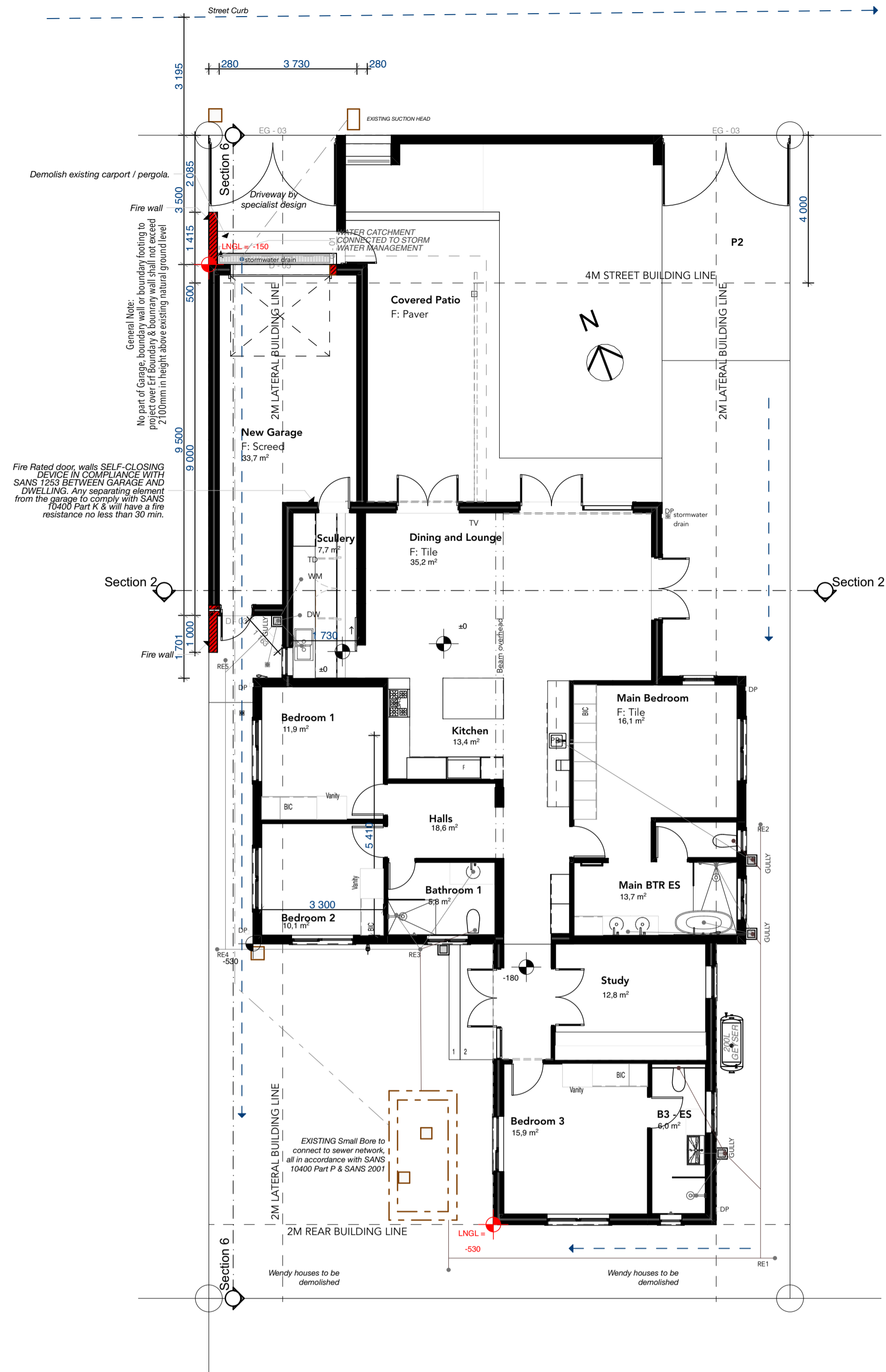
4. RECOMMENDATION

When this application is evaluated, it is important to take note of the following:

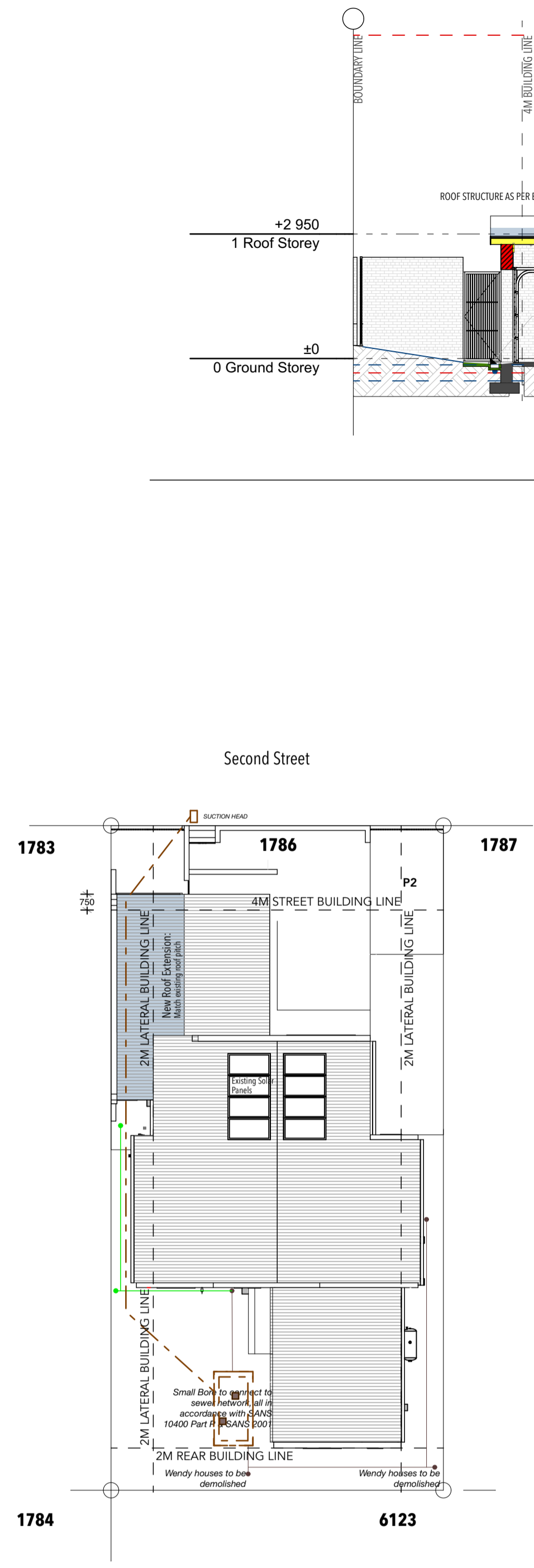
- No additions are proposed to the As Built (approved) dwelling that will require departures from the land use scheme regulations. Only the new garage requires land use scheme building line and regulation deviations;
- The proposed garage will meet all requirements for the consideration of a garage encroaching the street and common boundary building lines;
- All services on the subject property already exist and no additional loading of the existing infrastructure is anticipated;
- The zoning and primary land use of the subject property will remain unchanged;
- The proposal is compatible with the existing built character of the area;
- Impact on the traffic will be kept to a minimum;
- There are no heritage aspects that will negatively impact the application;
- There are no environmental aspects that will negatively impact the application and the application will not have a negative impact on any environmental factors;
- The proposal is compatible with the spatial planning strategies for the area;
- The application is fully compliant with the applicable planning principles described in the LUPA (2014) and SPLUMA (2013).

The application can be supported for your favourable evaluation. The opinion is held that this application will have no negative impact on the land values, privacy, built environment and character of the area.

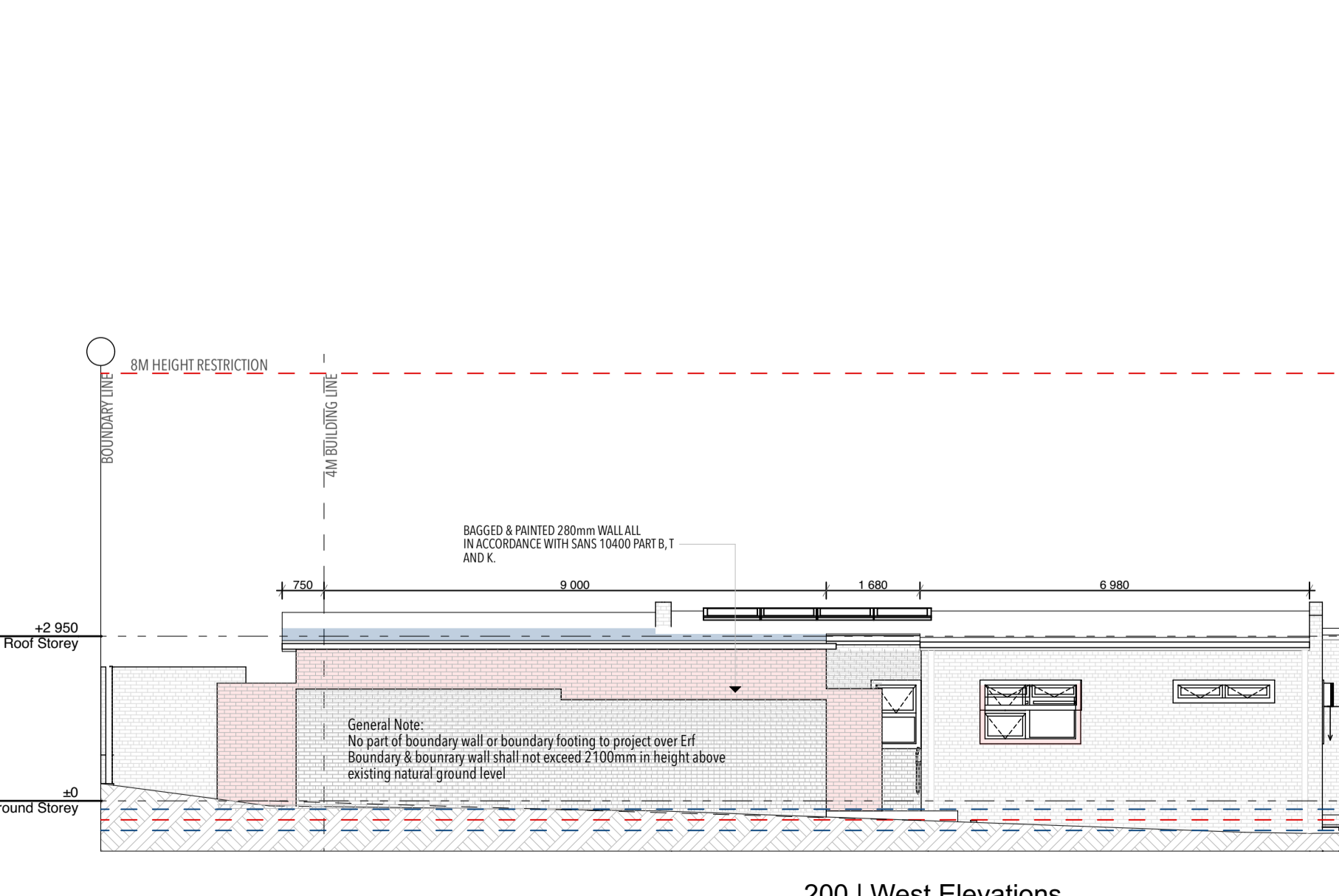




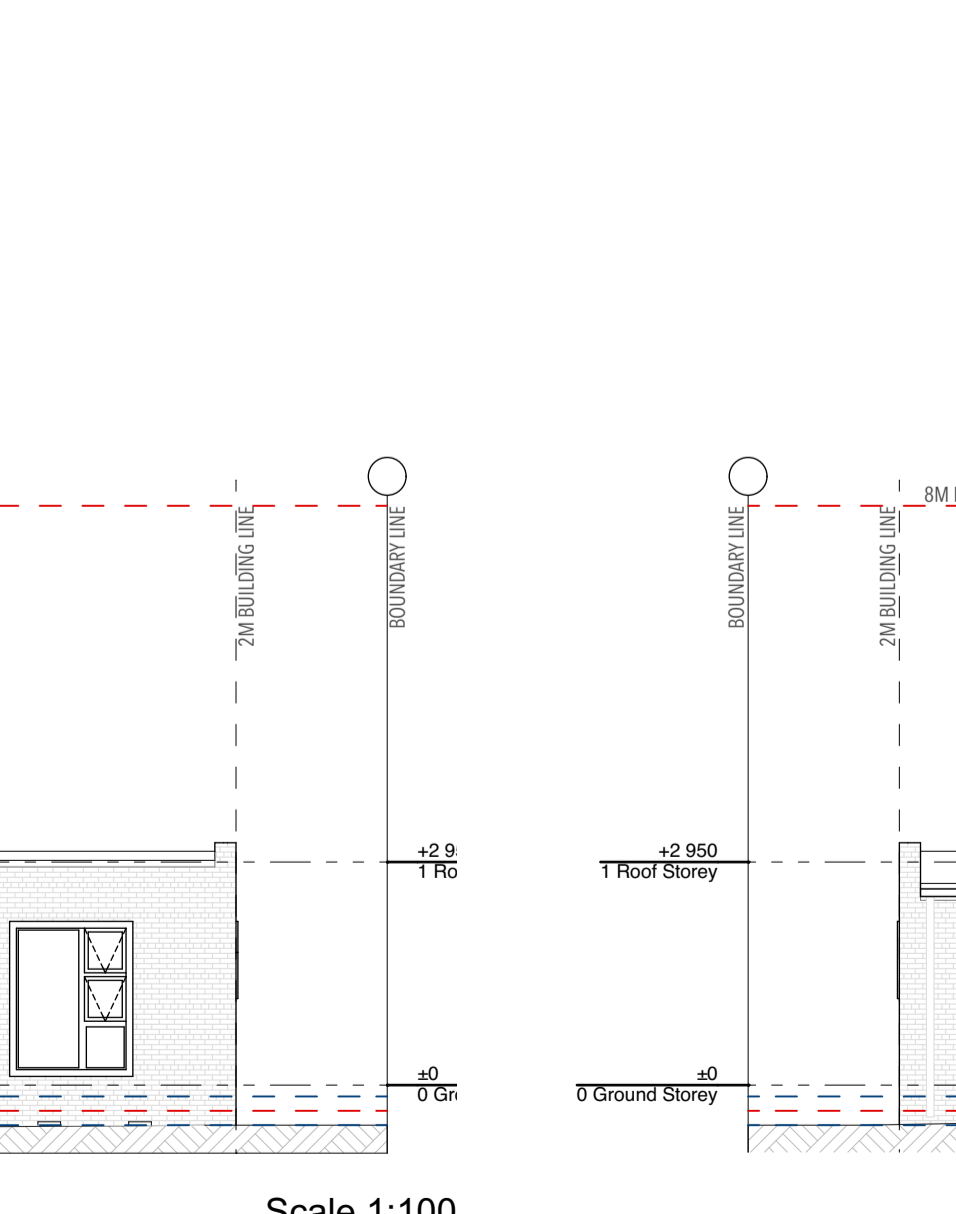
Ground Storey Scale 1:100



ROOF PLAN Scale 1:200

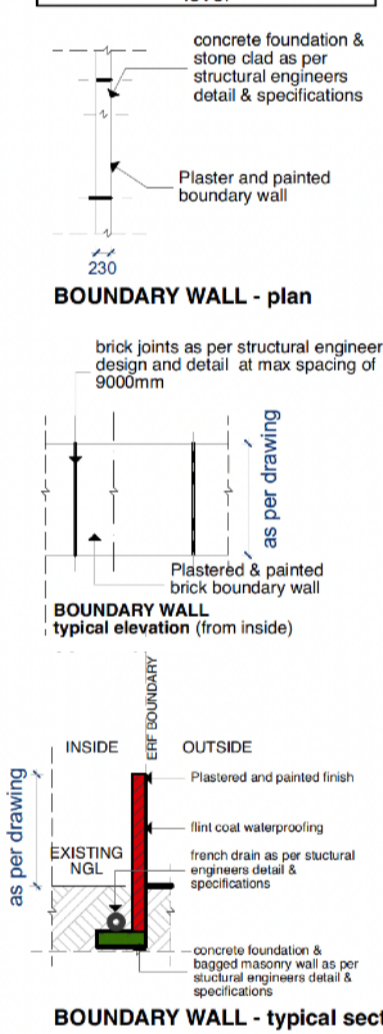


200 | West Elevations Scale 1:100

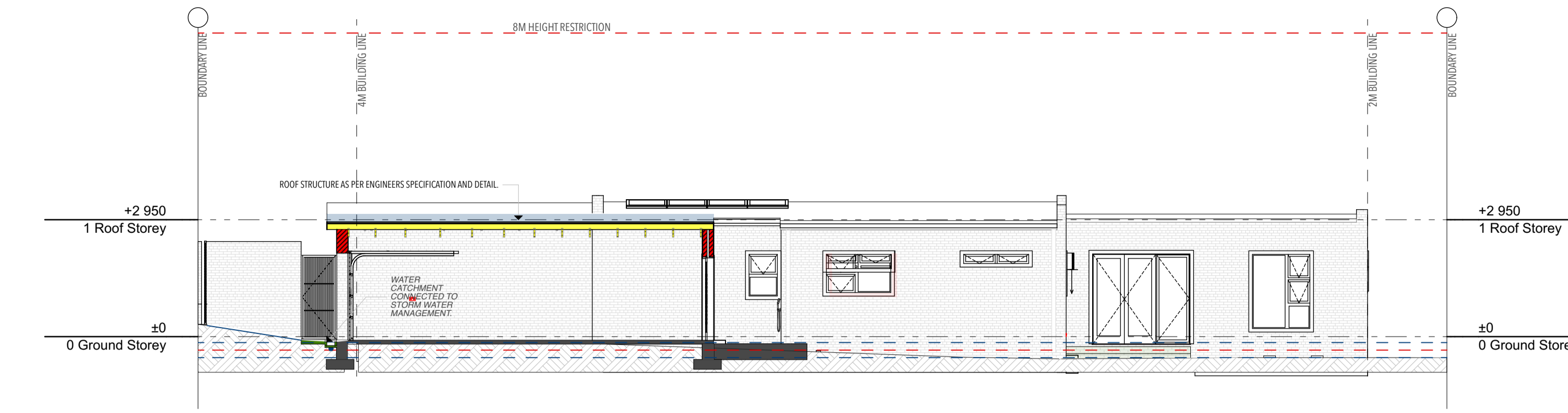


200 | East Elevations Scale 1:100

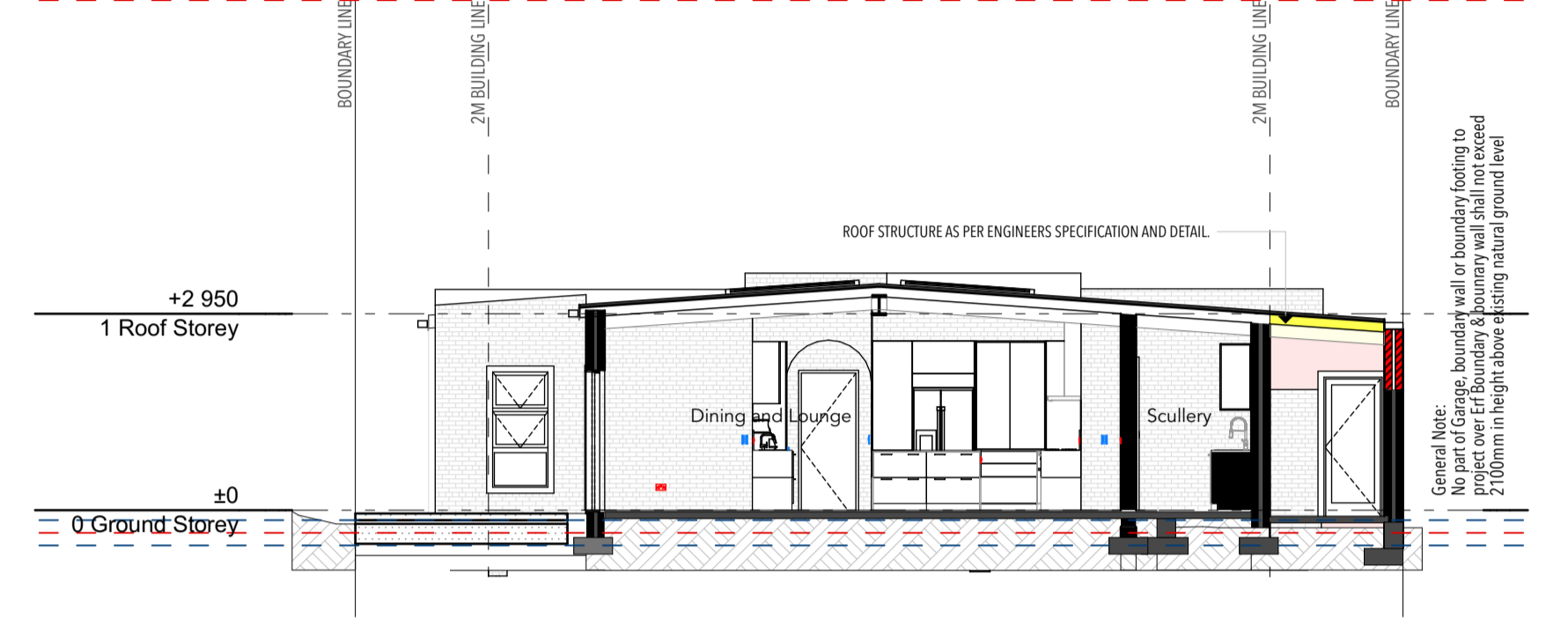
General Note:
No part of boundary wall or boundary footing to project over ERF Boundary & boundary wall shall not exceed 2100mm in height above existing natural ground level.



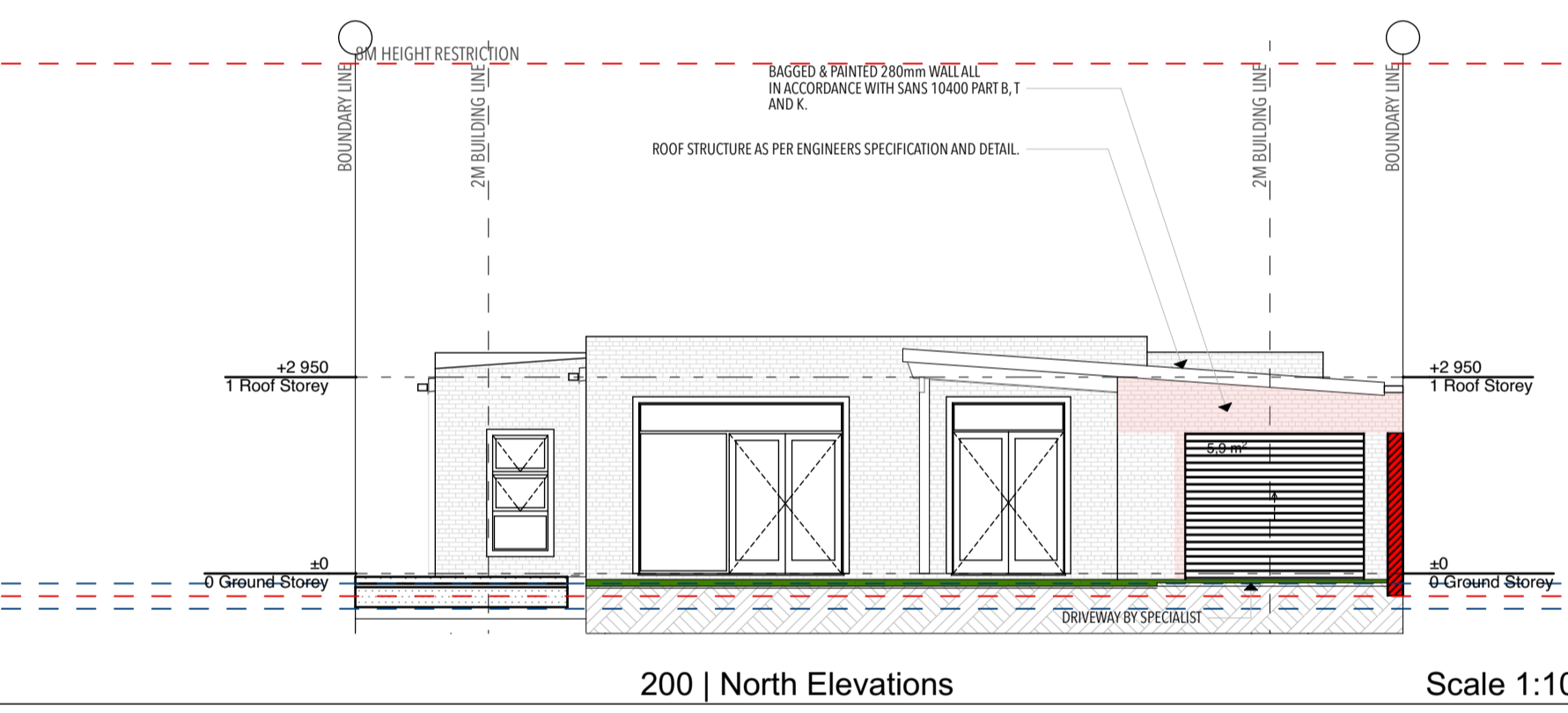
BOUNDARY WALL - typical section



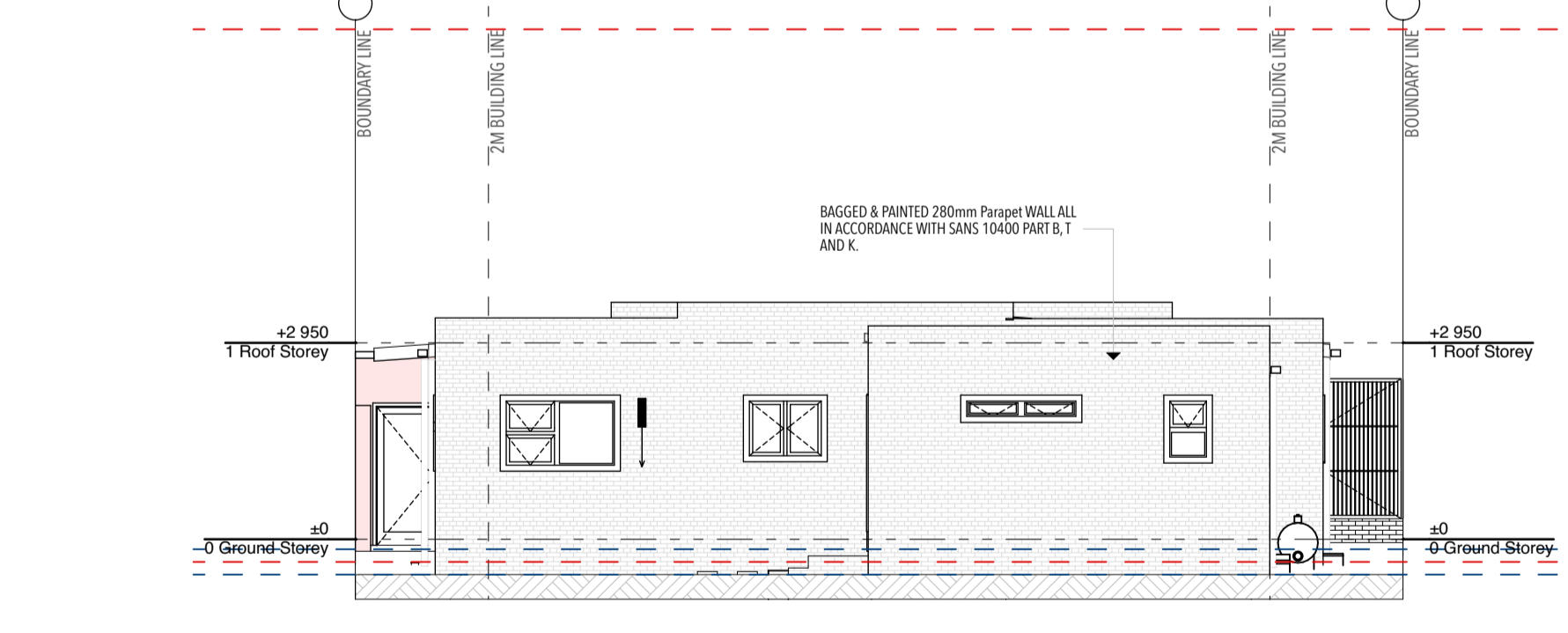
Section 6 Scale 1:100



Section 2 Scale 1:100



200 | North Elevations Scale 1:100



200 | South Elevations Scale 1:100

GENERAL NOTES

- The design of the drawing remains the property of the architect.
- All work to be carried out shall comply with the National Building Regulations, Municipal Regulations and SANS 10400.
- All structural, mechanical, electrical and plumbing work must be checked and verified on site.
- All dimensions of materials to be provided to the Designer/contractor.
- All dimensions of materials to be used in compliance with all relevant standards, specifications, technical code books and all other applicable drawings.
- Only agreed dimensions to be used and noted.
- Consultant to ensure compliance with safety regulations at all times.

SPECIFICATIONS:

ROOF:

- All roofs to be approved by appointed structural engineer and to comply to SANS 10400 Part 1.
- Engineer to approve design and to do necessary inspections on structure and connections to walls etc.

WALLS:

- New external brick work to be 200mm cavity walls of 115mm RCK's with 50mm cavity, laid together with walls evenly distributed at 2.5m per square meter of brickwork.
- New external brick work cavity walls to have Damp Proof Course stopped from internal skin down to external skin with weep holes at regular intervals (every fifth brick only) in the external skin.
- New internal solid bearing walls to be min 200mm and in strict accordance with engineer's detail and specification.
- 100mm internal solid bearing walls to be 100mm RCK brick work.

FLOOR SLABS:

- New ground floor slabs are to be cast at a minimum of 90mm thick reinforced in accordance with engineer's specification, laid on 250mm Damp Proof Membrane, turned up around the perimeter at least the full thickness of the slab, on Styrofoam sheet with at least a R-Value of 1, on maximum 150mm well compacted sand, on clean well compacted fill layers not more than 150mm in thickness.

FOUNDATIONS:

- All concrete walls, columns and beams to be in accordance with drawings and specifications supplied by the appointed engineer.
- All new foundations are to be min 100MPa at 25 days (1:4:5 coarse aggregate) at min 200mm thick.

WATERPROOFING:

- All paved areas to receive Duraflex flashings.
- All windows and doors to receive vertical and horizontal DPC and to be sealed with polysulfide.

WINDOWS AND DOORS:

- Refer to Window and Door Schedule for specifications.

COILING:

- 100% of air conditioning units are installed, efficiency of minimum COP-2.5 is required.

LIGHTING:

- 100% of air conditioning units are installed, efficiency of minimum COP-2.5 is required.
- If any halogen downlights are present in the existing building, these are to be replaced with LED fittings.

REVISION:

Rev'd	Ch'd	Change Name	Date

ARCHITECT'S SIGNATURE

Date: Wednesday, 04 June 2025

CLIENT SIGNATURE: SIGNED BY ARCHITECT ON BEHALF OF CLIENT - POWER OF ATTORNEY ATTACHED

Date: Wednesday, 04 June 2025

PROFESSIONAL ARCHITECT
ALEXANDRA CHARLOTTE SEMAYR
167 P.M. (Architect) (No. 10118) 2018

AREAS:

BUILDING FOOTPRINT:
Main Building: 495m²
ERF: 495m²

Ground:
Existing House Area: 189m²
Covered Steep: 23.3m²
Garage: 33.7m²

TOTAL COVERED: 246 m²
TOTAL NEW COVERED AREA: 33.7m²

FOOTPRINT: 246m²
SITE/ERF: 495m²
COVERAGE: 49.5%

ZONING: S1 - SINGLE RESIDENTIAL
BUILDING OCCUPANCY CLASSIFICATION: H4
DWELLING HOUSE: Occupancy consisting of a dwelling unit on its own site, including a garage and other domestic outbuildings, if any.

AKA - PROJECTS
Voelklip Hermanus Western Cape 7200 South Africa / 083 571 9250 / www.aka-projects.com

Project Name
HOUSE BORAN
17 SECOND STREET VOELKLIP
HERMANNUS 7200 South Africa

Drawing Name
Council Submission Page 1 of 1

Drawing Status
COUNCIL SUBMISSION
Alteration and addition

DRAWN by
AE Date: 2025/06/04

Drawing Scale
As shown @ A1

Drawing No.
2412.1 Status: CS Revision: G