

ERF 1716, 2 PLOVER PLACE, FISANTE CRESCENT, VERMONT: APPLICATION FOR DEPARTURE: N ENGELBRECHT

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amended By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received in terms of Section 16(2)(b) of the By-Law for a departure to relax the lateral line from 2m to 1m to accommodate a proposed change of use of the existing garage to a second dwelling.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 028-313 2093 / (e) loretta@overstrand.gov.za) on or before **5 April 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. H. Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 1716, PLOVER PLACE 2, FISANTESINGEL, VERMONT: AANSOEK OM AFWYKING: N ENGELBRECHT

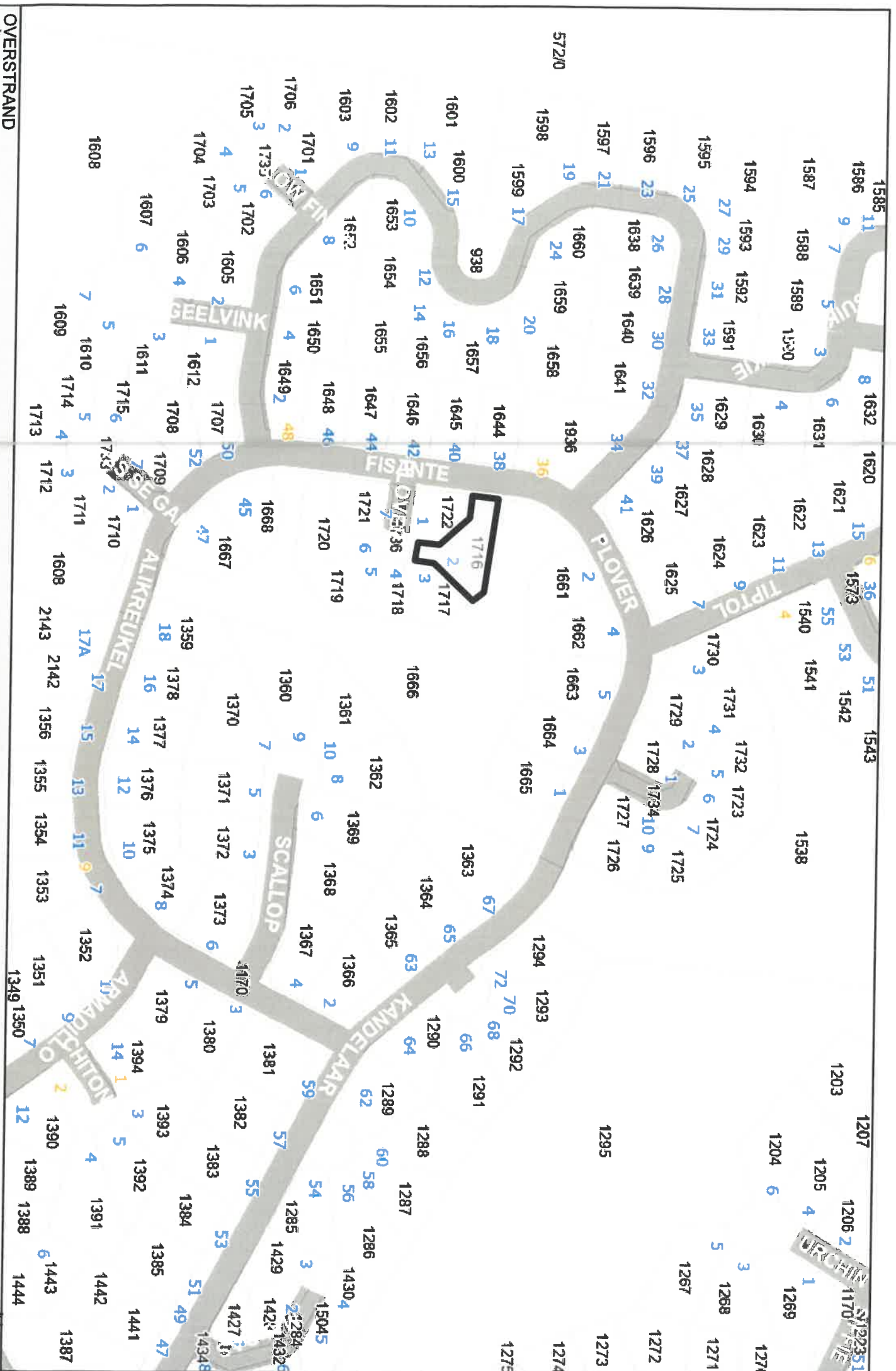
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ingevolge Artikel 16(2)(b) van die Verordening ontvang is vir 'n afwyking om die syboullyn vanaf 2m na 1m te verslap om 'n voorgestelde gebruiksverandering van die bestaande motorhuis na tweede wooneenheid te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weekdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 028-313 2093 / (e) loretta@overstrand.gov.za) voor of op **5 April 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr. H. Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 1716, 2 PLOVER PLACE, FISANTE CRESCENT, VERMONT: ISICELO SOPHAMBUKO: N ENGELBRECHT

Isaziso sinikwe ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo womasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala. 2020 (uMthetho kaMasipala), sokokuba isicelo sifunyenwe ngokwemiqathango yeCandelo 16(2)(b) loMthetho kaMasipala sophambuko kunyenyiswa umda osecaleni lesakhiwo ukususela kwi-2m ukuya kwi-1m ukulungiselela utshintsho olucetywayo losetyenziso lwegaraji ekhoyo kwindawo yokuhlala yesibini.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: Town Planning, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kamasipala zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngolu suku okanye ngaphambi komhla **wama-5 uApreli 2024**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **kuMcwangcisi weDolophu uMnu. H. Olivier** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



PROPOSED DEPARTURE

Ms Nicolene Engelbrecht

ERF NO 1716 VERMONT

DIVISION OF CALEDON

OVERSTRAND MUNICIPALITY

DATE : 21 NOVEMBER 2023

Motivation : Application for departure : Plot no 1716 Vermont

This property is situated at 2 Plover Place and Fisanter Singel Vermont. This application is for a departure to allow the owner to renovate the existing structure (garage) into a second dwelling that will comply with Section 16(2)(b) of the Overstrand Municipal Bylaw on the Municipal Land Use 2020.

Zoning ; Residential Zone 1

The property is zoned as **Residential Zone 1**, and used for single residential purposes only.

Proposed departure from the building line

The owner wants to revamp/ renovate the existing approved garage into a second dwelling for usage of a medical care unit for herself, assisted by a professional caregiver. The current existing garage is 1,0m over the southern building line and therefore does not comply with the current Scheme Building Line of 2,0m for properties bigger than 400sqm. In order to change the usage of the existing garage into a second dwelling she will have to apply for a departure to allow the second dwelling to remain 1,0m over the southern building line. This will not compromise the privacy of the owners of Erf 1722, because no windows will be installed on the southern elevation / façade of the building. **The departure application will be for the relaxing of the building line from 2,0m to 1,0m on the southern front boundary.**

A : Proposed development :

The structure to be renovated and altered is an existing garage, used by the owner for that purpose. The need has arisen for this structure to be utilized as a second dwelling to house a caregiver, who will tend to the medical condition of the owner.

The porch will be the only addition to the second dwelling, whilst new windows, door and a bathroom will be installed in the proposed second dwelling.

No other external alterations will be done to the exterior of the proposed second dwelling.

B : Character of the environment ;

The character of the environment will not be impacted in renovating the structure into a second dwelling, and the property value of the neighbouring properties will not be affected negatively. The residential character will not be affected by this change in usage and the holistic look of the surrounding will remain intact.

C: Desirability of the proposed utilization :

The land use and property zoning will remain. This property is used for single residential purposes. The change in usage of the garage into a second dwelling - wheelchair friendly cottage will give the user the privacy that is needed in a situation of medical distress or comfort. The owner can be treated and cared for in a humane and dignified way with the peace and tranquility of the surrounding area.

D: Investigations carried out in terms of other laws which are relevant to the consideration of the application :

This proposed application does not influence any other laws such as the National Heritage Resources Act, Environmental Management Air Quality, National Environmental Integrated Coastal Management Act, Nema, Subdivision of Agricultural Land Act, Occupational Health and Safety Act, Waste and the National Water Act.

E : The impact of the land development on municipal services :

This existing property is a serviced plot with electricity, sewerage, water connections and other services. Currently no service is required in this regard.

Traffic impact, Parking and Access.

The site is accessible to all the existing road networks – R43 , Onrusrivier and Hermanus . This area have a very low bearing in terms of the traffic flow and therefore will stay unchanged seeing that the proposed application for a departure is in line with spatial planning policies. Parking is provided on site (see plans) with easy accessibility to the property.

F: Consideration of forward planning and landuse documents :

This does not apply to the current application .The Overstrand Spatial Development Framework (2006) has earmarked erf no 1716 Vermont site for residential purposes.

Spatial sustainability – This erf does have any heritage value and is not registered / zoned as such . The existing structure / development is on a serviced erf and will improve the surrounding erven value and will have no negative impact on the immediate environment.

Spatial Justice – The change in usage from a garage into a second dwelling (cottage) is compatible with the surrounding structure (dwellings) of the area , with no negative impact on the value on any of the said properties or biophysical environment.

Efficiency – This property is located between Hawston to the west and Onrusrivier to the east and is accessable from both sides . The approving of this application can be seen as a benchmark in providing alternatives for people with mental health issues to be treated and care for in the comfort of their own environment and homes , creating much needed jobs in the frair crayl industry and will also enhance the responsible use and monitoring of resources and infrastructure .

Spatial Resilience – The approval of this application will show the flexibility in spatial plans , policies and land use management systems that will ensure the sustainable livelihoods of mentally disabled persons.

Good administration – The applicant is committed to good administration practice and principle and will co-operate fully with local government in this regard. The applicant will ensure that all processes as stipulated by the Overstrand Municipal's Bylaws on Municipal Land Use Planning 2020 to be adhere to.

G : Photos

See attached

Signed by owner :

Date :2023/12/04.....

Site Plan
scale 1:200

Areas:

Erf:	629m ²
Main Dwelling:	100m ²
Approved Patio, Afdak & Carport:	86m ²
2nd Dwelling:	56m ² (incl new covered entrance)
Cover:	222m ² = 35.29%

Erf: 629m²
Main Dwelling: 100m²
Approved Patio, Afdak & Carport: 66m²
2nd Dwelling: 56m² (incl new covered entrance)
Cover: 222m² =35,29%

Site Plan

scale 1:200

Plover Place

General Notes:

Refer to Site Plan drawing for all Notes & Terms

Date: 15 February 2024
Drawing No: ENG-T01 Rev C
File Name: Engelbrecht

T Dillon
(SACAP no.: D0231)

Client: 19 FEB 2024

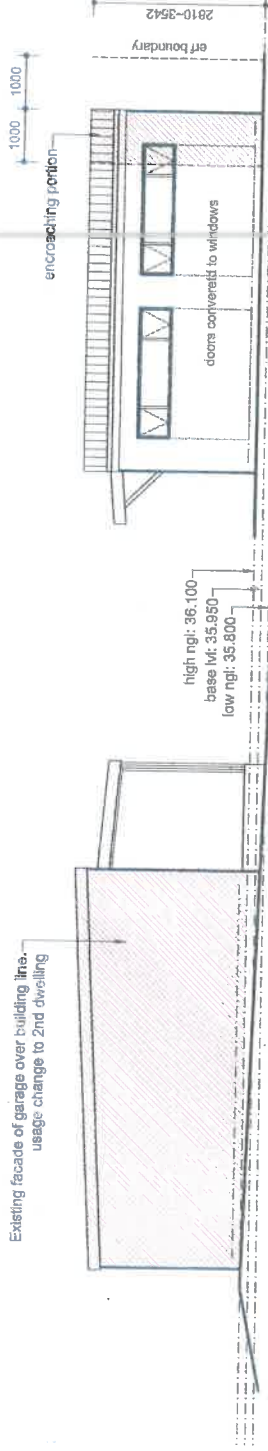
Sign



phone: 076 112 1811
email: info@teamforsite.com
www.teamforsite.com

8m height restriction: 44.325

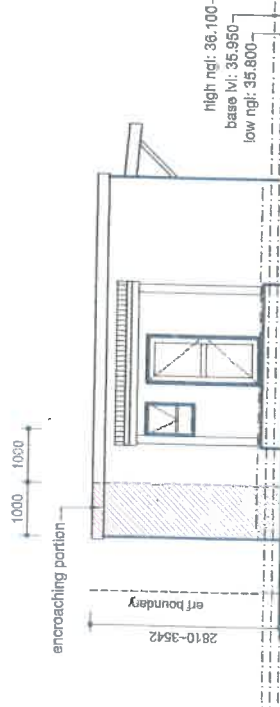
Existing facade of garage over building line,
usage change to 2nd dwelling



South Elevation

West Elevation

8m height restriction: 44.325



East Elevation

North Elevation

General Notes:

Refer to Site Plan drawing for all Notes & Terms

Date: 10 October 2023	File Name: ENG-703 Rev A
T. Dillon (SACAP no.: D0231)	
Client: 2 Plover Place Erf 1716, Vermont	
Sgr:	

Project: House Engelbrecht Alterations to Existing Council Approval drawing only	Address: 2 Plover Place Erf 1716, Vermont
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