



## **ERF 1427, 1 MALGAS STREET, VERMONT: APPLICATION FOR DEPARTURE: C HAMMAN ON BEHALF OF M & J DE WET**

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a **departure** in terms of Section 16(2)(b) of the By-Law to relax the eastern street building line from 4m to 0,5 and 0,65m respectively to accommodate a proposed new garage.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Department: Town and Spatial Planning at 16 Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) on or before **1 August 2025**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town and Spatial Planning Department where a municipal official will assist them in order to formalize their comment.

## **ERF 1427, MALGASSTRAAT 1, VERMONT: AANSOEK OM AFWYKING: C HAMMAN NAMENS M & J DE WET**

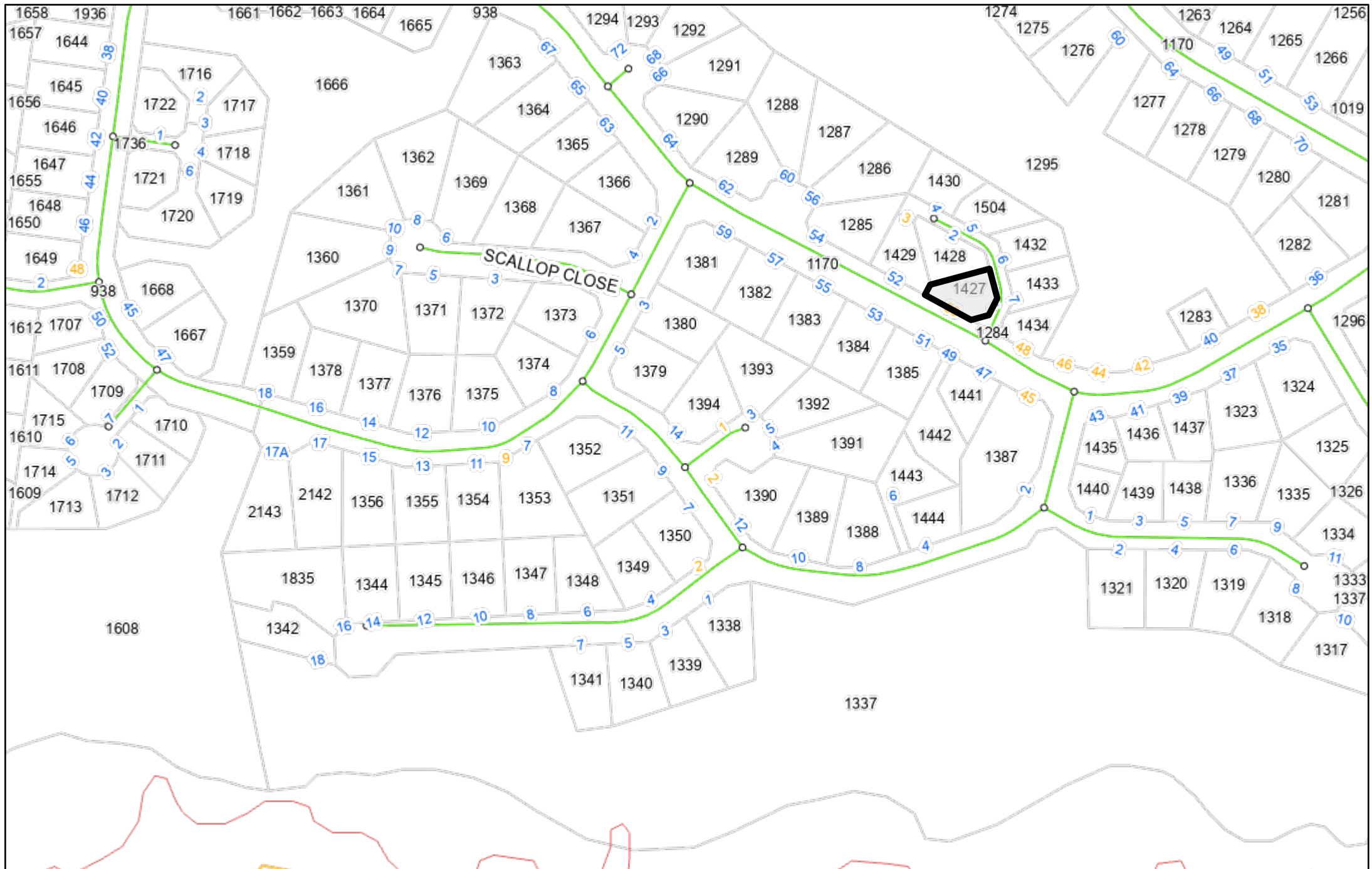
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om **afwyking** ontvang is ingevolge Artikel 16(2)(b) van die Verordening om die oostelike straatboulyn vanaf 4m tot onderskeidelik 0,5m en 0,65m te verslap om 'n voorgestelde nuwe motorhuis te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (e) [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) voor of op **1 Augustus 2025**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mnr. H Olivier** at 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

## **ISIZA 1427, 1 MALGAS STREET, E-VERMONT: ISICELO SOPHAMBUKO:C HAMMAN EGAMENI LIKA M&J DE WET**

Isaziso sinikwe ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo womasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala. 2020 (uMthetho kaMasipala), sokokuba isicelo Sophambuko sifunyenwe ngokwemiqathango yeCandelo16(2)(b) waloMthetho ukuba kunyenyiswe umda wesakhiwo kwisitalato esiseMpuma ukusuka ku 4 mitha ukuya ku 0,5 mitha kunye ne 0,65 mitha ngokulandelelana ukulungiselela isiphakamiso segaraji entsha.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxsha okusebenza phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: UCwangciso lweDolophu, e-16 Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / [loretta@overstrand.gov.za](mailto:loretta@overstrand.gov.za)) ngomhla okanye ngaphambi komhla wama-**1 eyeThupha 2025**, uchaze igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMchwangcisi weDolophu, **u-Mnu. H. Olivier** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.



Claudius Hamman

Professional Architectural Technologist

SACAP Reg No. 1283

2 Fernkloof Drive

Hermanus Heights

27 February 2025

**Overstrand Municipality**

**Town Planning**

**Hermanus**

## **Motivational Report**

### **In terms of Annexure A to this application**

#### **5) Plans**

1. Locality Plan – Not applicable, street address and erf no. provided on plan
2. Site Plan and Ground floor Plan – Provided on A3 drawing at a scale of 1: 100
3. Land use Plan – No rezoning required, application is only for building line relaxation
4. Layout Plan – Not required as there are no consolidation or sub-division requirements
5. Subdivision Plan – Not Applicable
6. Consolidation Plan – Not Applicable
7. Site Development Plan - Not Applicable
8. Street Naming and Numbering Plan – The erf and street are already numbered and named in the suburb of Vermont and the details thereof is reflected on the A3 Drawing which forms part of this submission.

#### **6) Environmental Impact Study**

As there is no change in land use, an Environmental impact study is not applicable

#### **7) CES Report**

Not Applicable

#### **8) Traffic Impact assessment**

Not Applicable

#### **9) Heritage Site**

Not Applicable

## **10) Conveyance's Certificate**

Copy of Title Deed attached indicates no restrictions apart from the required building lines

## **11) General**

Any additional information will be provided if required to do so

## **In terms of Annexure A to this application**

### **A. Proposed Development**

The owner of erf 1427, Vermont, Hermanus, Street address: 1 Malgas Crescent, Vermont is herewith requesting for permission to add a single garage adjacent to the existing domestic dwelling. The position of the proposed Garage will encroach on the 4 meter building line on the East side of the property facing onto Malgas Crescent which is just an access road to 4 other properties. This is an application to relax the eastern street building line from 4m to 0.5m and 0.65m respectively to accommodate the new garage. The proposed entrance to the garage will be from the Southern side out of Malgas Crescent which will not affect any traffic on Kandelaar st.

### **B. Character of the Environment**

There will be no change in land use and the character and style of the neighbouring dwellings will be maintained and plastered and painted in the same style and colour. Size of property will not be altered and the existing buildings are too young to have any historical significance. The proposed addition will not have any conservation impact as this area was paved for many years. The privacy or views of neighbouring properties will not be impeded

### **C. Desirability of the proposed utilization**

This is a single purpose addition which is to store the owners assets in a safe place

### **D. Investigations carries out in terms of other laws**

This addition has been approved previously but more than 5 years elapsed, hence the reason of a re-application

## **E. Impact of proposed land development on municipality engineering services**

No additional services will be required. The accessibility to the road network will not be affected and there will be no additional traffic or environmental impact. No rezoning, sub division or consolidation will be required

## **F. Consideration of forward planning and land use documents**

The proposed addition falls within the current land use zoning scheme and there will be no requirement to alter the zoning

## **G. Planning Principles**

Policies, principles, planning and development standards and criteria has been considered and the proposed application is in compliance with the above and are not applicable to this proposed application.

### **Spatial Justice**

Not applicable

### **Spatial sustainability**

Not applicable

### **Efficiency**

Not applicable

### **Spatial resilience**

Not applicable

### **Good Administration**

Not applicable



**Claudius Hamman**

**SACAP Practice No: T1283**



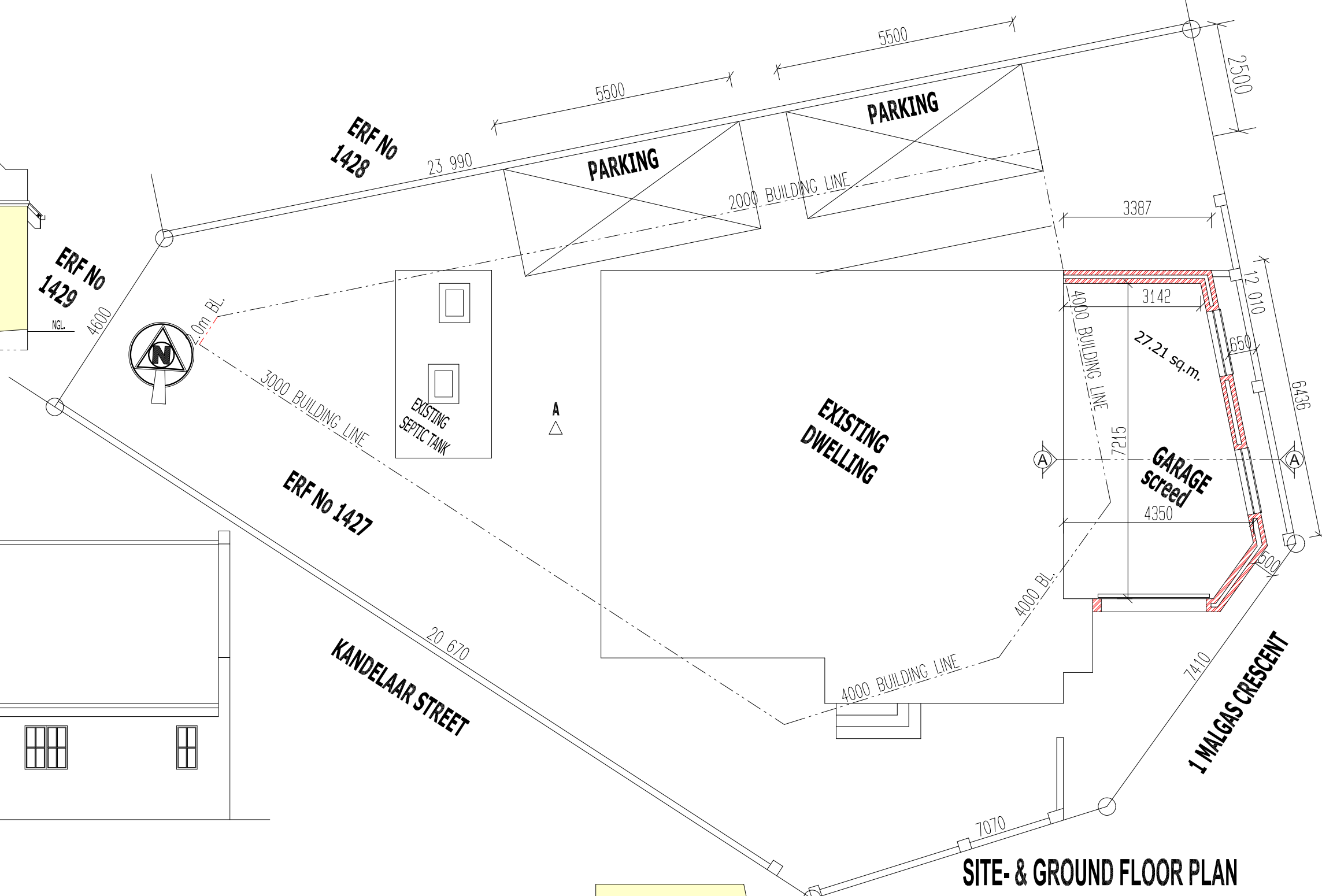
**EAST ELEVATION  
SCALE 1:100**



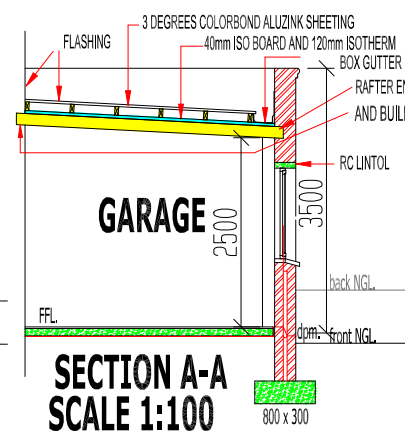
**NORTH ELEVATION  
SCALE 1:100**



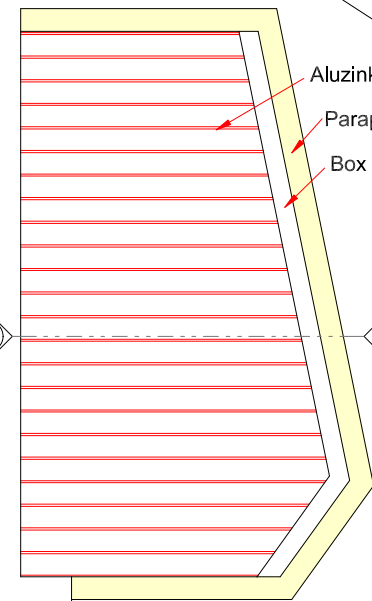
**SOUTH ELEVATION  
SCALE 1:100**



**SITE- & GROUND FLOOR PLAN  
SCALE 1:100**



**SECTION A-A  
SCALE 1:100**



**ROOF  
SCALE 1:100**

DRAFTED BY CLAUDIUS HAMMAN  
SACAP REG. NO: T1283

**ALTERATIONS ON  
ERF 1427 MALGAS CRESCENT  
VERMONT  
HERMANUS**

OWNER  
**MARIUS & JEANNE DE WET**

20/02/2025  
Drawing sheet 1 of 1