



**ERF 10412, 3 THE QUARTERDECK, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE & DETERMINATION OF AN ADMINISTRATIVE PENALTY: MBPLAN TOWN PLANNING ON BEHALF OF LOJO HOLDING 101 (PTY) LTD**

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) of the following application applicable to Erf 10412, Westcliff (the property):

**Departure** in terms of Section 16(2)(b) of the Bylaw for the relaxation of the northern rear building line from 2m to 0m to accommodate an existing covered patio.

**Determination of an administrative penalty** in terms of Section 16(2)(q) of the By-Law.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) on or before **25 October 2024**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. B Minnaar** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

**ERF 10412, THE QUARTERDECK 3, WESTCLIFF, HERMANUS, OVERSTRAND MUNISIPALE GEBIED: AANSOEK VIR AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: MPBLAN STADSBEPLANNING NAMENS LOJO HOLDING 101 (PTY) LTD**

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) van die volgende aansoek van toepassing op Erf 10412, Westcliff (die eiendom):

**Afwyking** ingevolge Artikel 16(2)(b) van die Verordening vir die verslapping van die noordelike agter boulyn vanaf 2m na 0m om 'n bestaande onderdakse stoep te akkommodeer.

**Bepaling van Administratiewe Boete** ingevolge Artikel 16(2)(q) van die Verordening.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) voor of op **25 Oktober 2024**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die Stadsbeplanner, **Mnr. B. Minnaar** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

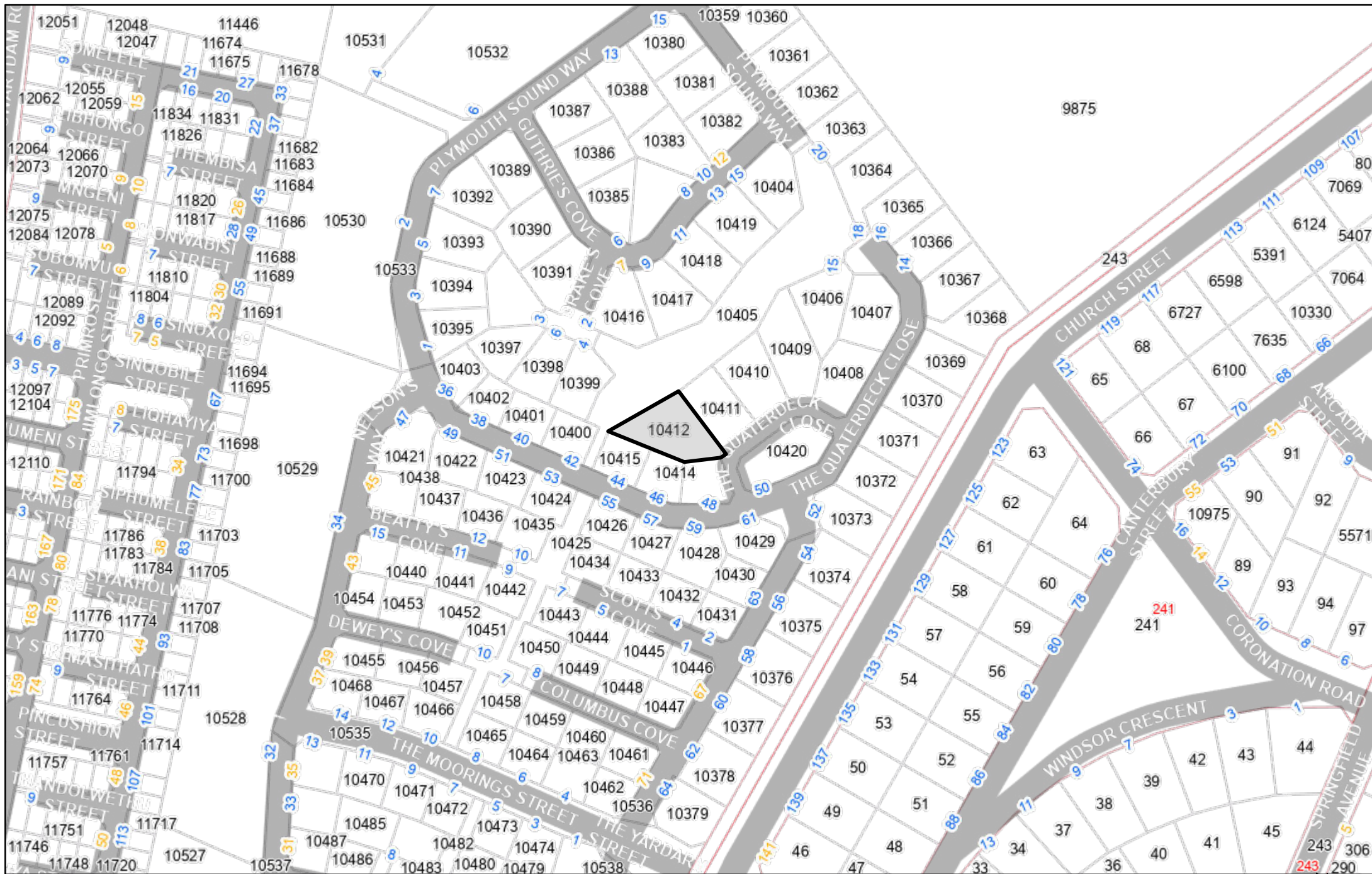
**ISIZA 10412, THE QUARTERDECK 3, WESTCLIFF, E-HERMANUS, UMASIPALA WASE-OVERSTRAND: ISICELO SOPHAMBUKO NOKUMISELWA KWESOHLWAYO SOLAWULO: MBPLAN TOWN PLANNING EGAMENI LE - LOJO HOLDING 101 (PTY) LTD**

Isaziso sinikezelwa ngokwemiqathango yeCandelo 48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 kwesi sicelo silandelayo sisebenza kwiSiza 10412, e-Westcliff (ipropati):

**Uphambuko** kumqathango ngokweCandelo le-16(2)(b) loMthetho kaMasipala wokunyenyiswa komda wesakhiwo esingasemva ukusuka kwii-mitha eziyi-2m ukuya ku-0m ukulungiselela ipatio ekhoyo egqunyiweyo.

**Ukumiselwa kwesohlwayo solawulo** ngokweCandelo le-16(2)(q) loMthetho kaMasipala.

Iinkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxesha okusebenza phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: UCwangciso lweDolophu, eHermanus kunye neThala leeNcwadi laseKleinmond, 5<sup>th</sup> Avenue, eKleinmond. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokuhambelana nezibonelelo zeCandelo lama-51 kunye nelama-52 alo Mthetho kaMasipala oxeliweyo kuMasipala (16 Paterson Street, Hermanus / [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) ngomhla okanye ngaphambi kuka **25 Oktobha 2024**, uchaze igama lakho, idilesi kunye neenkukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zezimvo. Imibuzo ngomnxeba ingenziwa kuMchwangcisi weDolophu, **UMnz. B Minnaar** kule nombolo yomnxeba 028-313 8900. UMasipala unokwala ukwamkela izimvo ezifunyenwe emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe loCwangciso lweDolophu apho igosa likamasipala liya kuthi limncedise ukuze abhale ngokusesikweni izimvo zakhe.



OVERSTRAND



MUNICIPALITY

Locality Map

ERF 10412, 3 THE QUARTERDECK, WESTCLIFF, HERMANUS



Date: 2024/09/06

# 1. Introduction

## 1.1 Brief

MB Plan Town Planning was appointed by the registered owner, LOJO HOLDINGS 101 PTY LIMITED, to prepare and submit an application for a Building Line Departure and the Waiving/Determination of an Administrative Penalty for Erf 10412, Westcliff, in terms of the relevant legislation.

*Refer to Annexure B for Power of Attorney.*

## 1.2 Background

The application area was registered to the current owner during August, 2022. The registered owner wishes to legalise the existing unapproved structures which exceed the northern 2m rear building line up to 0m.

According to the November, 2022 approved building plans, of which an extract is presented in Figure 1 below, the patio roof was approved up to the northern 2m rear building line with a 1m overhang. Subsequently, during 2023, the patio roof was extended eastwards up to the main dwelling and northwards up to the northern erf boundary with a slight overhang. Five supporting posts were erected as well. The reason for extending the patio roof was to optimise the use and enjoyment of the covered patio even during inclement weather.

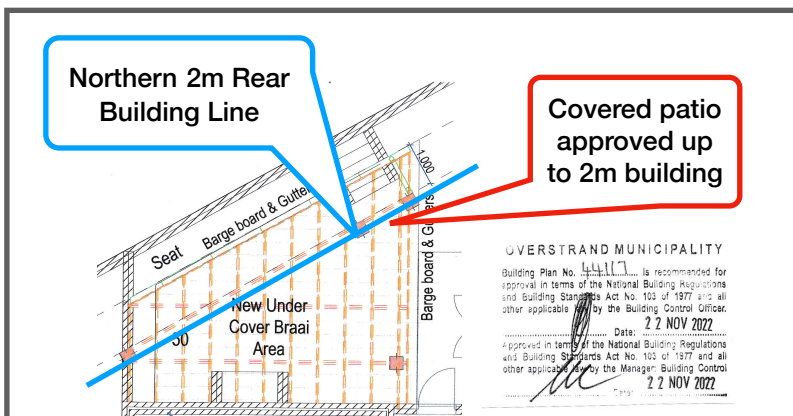
Furthermore, the owner also wishes to legalise the unapproved western and northern patio boundary walls which exceed the northern 2m rear building line and which were erected by the previous owner. These patio boundary walls are visible on the 2018 and 2020 satellite photos of the Municipal Public Viewer.

Lastly, the owner wishes to update the previously approved 2022 building plans to also include the unapproved structures not exceeding the building line, erected both by the current and previous owners.

The HOA committee have provided their support for the proposed legalisation. *Refer to Annexure J for the HOA consent letter.*

Important to note is that the owner was misinformed by the previous HOA committee that only HOA approval was required for the extension of the covered patio roof and that Council approval would be required only once the owner decided to sell the property. *Refer to Annexure K for Owner's Historical Summary and Additional HOA Correspondence.*

Subsequently, the current new HOA committee notified the owner of the requirement for Council approval as well.



**Figure 1: Extract from Latest Approved Building Plans (November, 2022)**

*Refer to Annexure G for the approved building plans.*

### **1.3 Summary of Development Objective and Application Proposal**

The development objective therefore, is to legalise the following existing structures exceeding the northern 2m rear building line up to 0m, namely:

- 14.138m<sup>2</sup> northern extension of the covered patio roof and 5 supporting pillars,
- Northern and western patio boundary walls with an average height of 2.4m
- Northern patio boundary wall with a height of 1.2m measured from the covered patio floor level and 0.3m measured from the natural ground level of the northern adjacent open space erf.

Furthermore, the owner also wishes to update the approved 2022 building plans to include the unapproved 6.149m<sup>2</sup> eastward extension of the patio roof constructed by the current owner as well as the northern boundary wall east of the patio steps, constructed by the previous owner.

The application proposal entails a building line departure and the determination of an administrative penalty.



**Figure 2: Covered Patio Exceeding Building Line Highlighted in Red**  
*Refer to Annexure A for Completed and Signed Application Forms.*

## **2. Contextual Information**

### **2.1 Property Description & Ownership**

Property Description: Erf 10412, Westcliff

Owners: Lojo Holdings 101, PTY Limited

Title Deed: T38762/22

Area: 787m<sup>2</sup>

### 2.1.1 Title Deed

The Conveyancer Louis le Roux from Fairbridges Wertheim Becker issued a certificate confirming that there are no title deed conditions restricting the application proposal.

Refer to Annexure C for a copy of the Title Deed and the Conveyancer certificate.

### 2.1.2 Surveyor General Diagram

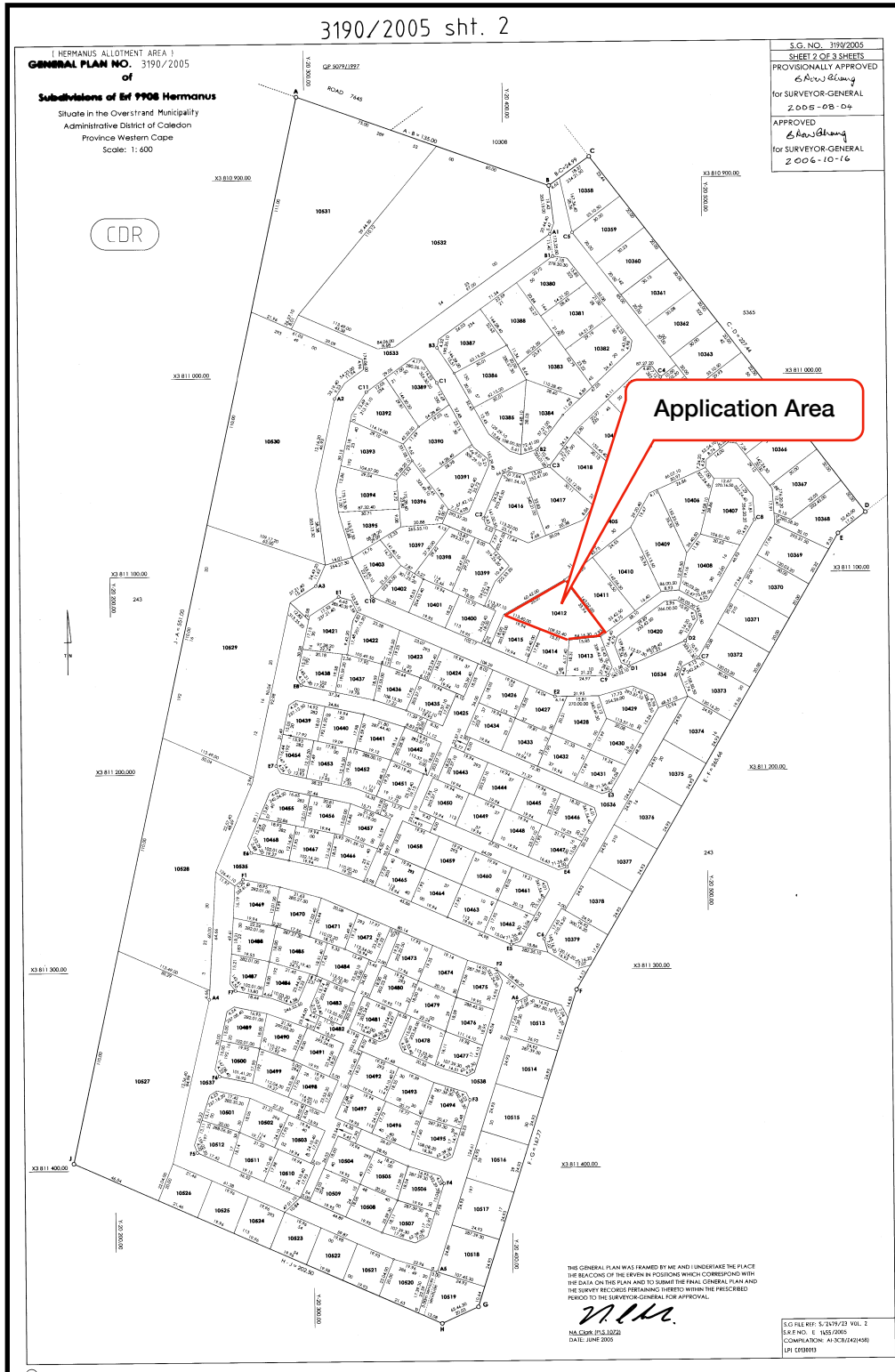
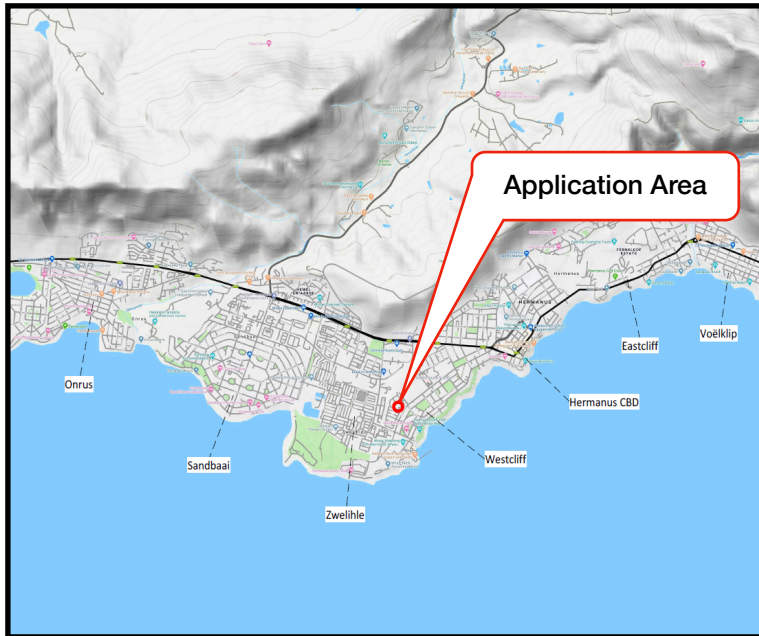


Figure 3: Surveyor General Diagram (Refer to Annexure D for the Surveyor General Diagram)

## 2.2 Locality

### 2.2.1 Regional Context

Within the regional context, the application area is located within Westcliff residential suburb, within the Overstrand Municipal area. Westcliff is 2.5km to the west of the Hermanus CBD.

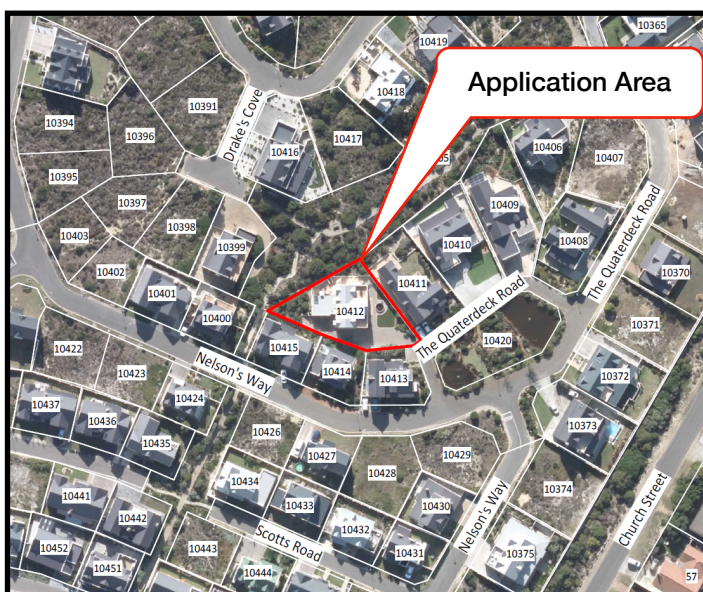


**Figure 4: Regional Locality Plan**

*Refer to Annexure E for Locality Plan.*

### 2.2.2 Local Context

From a local perspective, the application area is a residential erf in the Mariners Village complex within Westcliff. The application area street address is 3 The Quarterdeck.



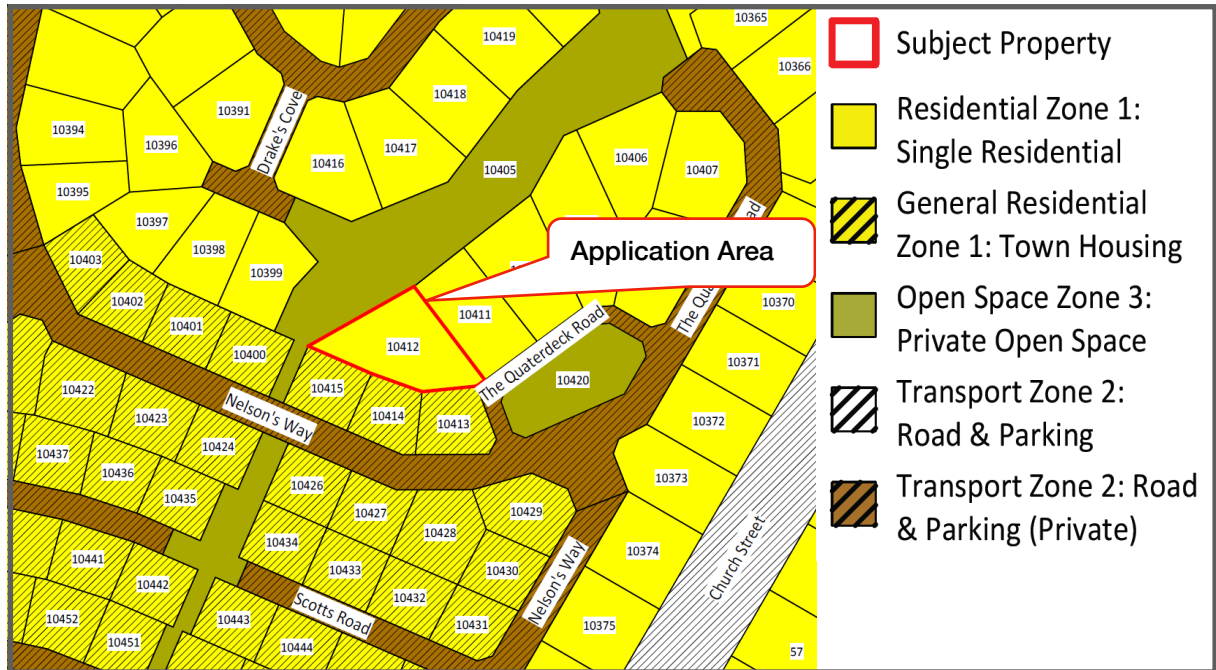
**Figure 5: Local Locality Plan**

*Refer to Annexure E for Locality Plan.*

## 2.3 Zoning

### 2.3.1 Zoning Plan

The application area is zoned Single Residential Zone 1: Single Residential. The surrounding erven are zoned Residential Zone 1 and General Residential Zone 1. Erf 10405 adjacent to the north of the application area is zoned Open Space Zone 3: Private Open Space. No change in zoning is proposed. The application area is **consistent** with the zoning of the area.



**Figure 6: Zoning Map**

*Refer to Annexure F for Zoning Map.*

### 2.3.2 Zoning Criteria

The Zoning Criteria are presented in the table below and indicate that all other Scheme criteria are adhered to except for the northern rear building line which is exceeded up to the erf boundary.

Criteria	Existing Zoning	Proposal	Comments
<b>Zoning</b>	Residential Zone 1: Single Residential	Residential Zone 1: Single Residential	Consistent
<b>Primary Uses</b>	Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self-catering	Dwelling house	Consistent
<b>Consent Uses</b>	Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture	N/A	Consistent
<b>Coverage</b>	50%	28%	Consistent
<b>Height</b>	8m	7.567m	Consistent
<b>Building lines</b>	4m street 2m sides and rear	4m street 2m sides and <b>0m</b> rear	Application includes departure
<b>Parking</b>	2 bays per dwelling unit	2 bays	Consistent

## **2.4 Laws and Policies Applicable to the Application**

### **2.4.1 Overstrand Municipal Spatial Development Framework, 2020**

According to the OMSDF, 2020, the application area is located within an urban development area.

The application proposal is thus considered compatible with the Overstrand Municipal Spatial Development Framework, 2020.

### **2.4.2 Overstrand Municipal Growth Management Strategy, 2010**

In terms of the Overstrand Municipal Growth Management Strategy, 2010, the subject property is located within a Densification zone of less than 10 dwelling units per hectare.

No densification is proposed.

The application proposal is thus considered compatible with the Overstrand Municipal Growth Management Strategy, 2010.

### **2.4.3 Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020**

#### ***“90. Application for administrative penalty***

*(1) A person who is in contravention of this By-Law, and submits an application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof concerned.*

*(2) A person making an application contemplated in Subsection (1) must –*

*(a) submit an application;*

*(b) pay the prescribed fee;*

*(c) provide the information contemplated in Subsections (3); and*

*(d) comply with the duties of an applicant in Section 84.*

*(3) The applicant must, to the satisfaction of the Municipality, provide the following information such as-*

*(a) the nature, duration, gravity and extent of the contravention;*

*(b) the conduct of the person (allegedly) involved in the contravention;*

*(c) a report by a quantity surveyor in matters of unauthorised building/construction;*

*(d) whether the unlawful conduct was stopped; and*

*(e) whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law.”*





**Figure 8: Elevations Illustrating Building Line Contravention to be Legalised**  
*Refer to Annexure H for proposed building plans*

### 3.1.2 The Application

Application is subsequently made in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the following:

- **Building Line Departure** to relax the northern rear building line from 2m to 0m to allow for the existing covered patio roof, five supporting posts and patio boundary walls exceeding the building line in terms of Chapter IV, Section (16)(2)(b).
- **Waiving/Determination of the Administrative Penalty** in terms of Chapter IV, Section 16(2)(q) for the existing unapproved structures exceeding the northern 2m rear building line.

### 3.1.3 Photos



Eastern Elevation of Covered Patio



Internal View of Recreation Area



View of Private Open Space from Patio



“Hidden” View of Covered Patio from Private Open Space

### **3.1.4 Northern Rear Building Line Departure**

The existing covered patio roof, pillars as well as northern and western patio boundary walls exceed the northern 2m rear building line up to the northern erf boundary.

The property located adjacent to the north is private open space and therefore no neighbours are affected by the proposed building line departure. The floor level of the covered patio is lower than the natural ground level of the northern adjacent open space property. Therefore, the covered patio is mostly hidden from the private open space area which in turn minimises the visual impact on the open space property. The covered patio is at the back of the property behind the house and is therefore not noticeable from the street, thus the building line departure will have no impact on the character of the area either.

Due to the covered patio being partly enclosed by a wall on the west, the patio is hidden from the properties adjacent to the west of the application area.

### **3.1.5 Determination of an Administrative Penalty**

Determination/waiving of administrative Penalty in terms of Chapter IV, Section 16(2)(q) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.

The following information with regards to the administrative penalty is provided as required according to Chapter X, Section 90(3) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020:

#### **3.1.5.1 The Nature, Duration, Gravity and Extent of the Contravention**

The areas and heights of structures exceeding the northern building line are as follows:

- 14.138m<sup>2</sup> extension of patio roof with 5 wooden laminated supporting posts - constructed from June 2023 till October 2023 by current owner
- 2.4m western and northern patio boundary walls - constructed prior to 17 August, 2022 by previous owner
- 1.2m northern patio boundary wall - constructed prior to 17 August 2022 by previous owner

The unapproved structures not exceeding the northern 2m rear building line are as follows:

- Eastern 6.149m<sup>2</sup> extension of patio roof - constructed from June 2023 till October 2023 by current owner
- Northern boundary wall east of the patio steps - constructed prior to 17 August, 2022 by previous owner

Therefore, it is evident that the current owner was only responsible for the unapproved 14.138m<sup>2</sup> and 6.149m<sup>2</sup> of patio roof extension and the 5 wooden laminated supporting posts. The unapproved patio boundary walls and unapproved northern boundary wall were constructed by the previous owner.

#### **3.1.5.2 The Conduct of the Persons (Allegedly) Involved in the Contravention**

This application indicates the owners' co-operation and willingness to rectify the existing contravention by following the correct statutory procedures.

Important to note is that the owner was misinformed during July 2023 by the previous HOA committee that only HOA approval was required for the extension of the patio roof and that Council approval would only be required once the owner decided to sell the property. Subsequently, a new HOA Committee was elected notifying the owner during November 2023 that Council approval was indeed required for the patio roof extension.

### **3.1.5.3 Report by a Quantity Surveyor in Matters of Unauthorised Building/ Construction**

The owner approached several local building contractors, but was unable to acquire a builder's quote for the 14.138m<sup>2</sup> northward extension of the covered patio roof as well as for the five supporting posts. The builders approached by the owner were not prepared to provide a quote for a structure which was already built. However, in view of the fact that the owners, who are builders themselves, were responsible for constructing their own covered patio roof, a quote by "Delicate Touch Project Specialists" is provided. According to the quote, the total building costs for the 14.138m<sup>2</sup> of northern patio roof extension and the five wooden laminated supporting posts amount to R 76, 852.37. *Refer to Annexure L for the Updated Builder's Quote.*

Due to the nature, scale and immaterial impact of the contravention, the application is to waive or else to minimise the administrative penalty.

### **3.1.5.4 Whether the Unlawful Conduct was Stopped**

Due to the nature of the contravention, stopping the unlawful conduct would imply demolishing the section of the covered patio which exceeds the building line. This would be considered extreme, costly and unreasonable, not allowing the residents to optimise the use of this outdoor recreation area, which is the very reason for the roof extension in the first place.

Approval of this application to legalise the contravention will enable the family members to fully utilise and enjoy their outdoor recreation area - even during inclement weather. Therefore, the most reasonable, effective and cost-efficient approach in dealing with the unlawful conduct would be to legalise the contravention which causes no material impact on the surroundings or on the character of the area.

### **3.1.5.5 Whether the Persons Allegedly Involved in the Contravention has Previously Contravened this By-Law or a Previous Planning Law**

No, the current owner has not previously contravened this by-law or a previous planning law.

## **3.2 Desirability**

To summarise, the proposal is therefore considered **desirable** for the following reasons, namely:

- It is in accordance with the relevant spatial planning legislation, policies and frameworks for the area.
- No neighbours would be affected by the building line departure, as the erf adjacent to the north of the covered patio consists of private open space.

- The owners are co-operative and willing to rectify the existing contraventions by following the correct statutory procedures.
- The proposal contributes to addressing an **essential need** for an outdoor recreation area for the residents.
- The proposal will not have a material impact on the surroundings or on the character of the area.
- No obstruction to the application area for emergency purposes is caused by the proposal.
- Legalisation of the building contraventions is considered the most reasonable, cost-effective and efficient solution to the existing contraventions.

Therefore, the land will be optimally utilised to provide a satisfactory residential environment which caters for the full range of residential needs on the application area.

### **3.3 Planning Principles**

In terms of Chapter VI of the Spatial Planning and Land Use Management Act, 2013 the following Planning Principles have been applied to the application site:

#### **3.3.1 Spatial Justice**

Spatial Justice which refers to the need for redressing the past apartheid spatial development imbalances and aims for equity in the provision of access opportunities, facilities, services and land.

##### **Possible Results of the Development**

The proposal will in no way contribute to the perpetuation of past apartheid spatial development imbalances as it will merely permit the existing structures to exceed the building line on a single residential erf.

The application proposal is consistent with spatial justice.

#### **3.3.2 Spatial Sustainability**

Spatial Sustainability which refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

##### **Possible Results of the Development**

The proposal will permit the existing structures to exceed the northern building line on a single residential erf within the urban edge.

Therefore, no impact on agricultural land, environmentally sensitive areas and biodiversity rich areas will occur.

The application proposal can thus be deemed to be spatially sustainable.

#### **3.3.3 Spatial Efficiency**

Spatial efficiency which refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

### **Possible Results of the Development**

Approval of the application will allow for optimal use and enjoyment of the outdoor recreation area - even during inclement weather.

The proposal for legalisation is considered the most reasonable, cost-effective and efficient approach to the existing contravention, considering that no material impact on the surrounding land or on the character of the area is evident or foreseen.

The application proposal is consistent with the efficiency principle.

### **3.3.4 Spatial Resilience**

Spatial Resilience which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

### **Possible Results of the Development**

The application proposal will not cause any economic or environmental shocks to the community.

The application proposal is consistent with the principle of spatial resilience.

### **3.3.5 Good Administration**

Good Administration which, in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

### **Possible Results of the Development**

Consultive practices are being followed in this application as it is done in consultation with the Planning Department of the Municipality who will also advertise the application in such a manner as to enable the Government and the general public to participate in the eventual decision-making process.

The application proposal is consistent with the principle of good administration.

### **3.3.6 Planning Principles Conclusion**

The application proposal is therefore considered fully **consistent** with the planning principles of spatial justice, spatial sustainability, efficiency, spatial resilience and good administration.

## 4 Conclusion

The development proposal allows for the optimal use of the application area to provide for the essential need for an outdoor recreation area. This contributes to the mental well-being of the family members.

The scope of the application as motivated in this report is considered the most reasonable, cost-effective and efficient approach to rectify the contravention for which no material impact on the surrounding properties or on the character of the area is evident or foreseen.

The application is considered **desirable** within its local context and **well-integrated** within the existing community land-use activities and it is therefore recommended that the application be approved as follows:

- **Building Line Departure** to relax the northern rear building line from 2m to 0m to allow for the existing covered patio roof, five supporting posts and patio boundary walls exceeding the building line in terms of Chapter IV, Section (16)(2)(b).
- **Waiving of the Administrative Penalty** in terms of Chapter IV, Section 16(2)(q) for the existing unapproved structures exceeding the northern 2m rear building line.

**General Notes**

1. Settingout of work  
 All dimensions and levels are to be checked on site before settingout of work. All dimensions shown on drawings are in millimetres.  
 All boundary pegs to be identified.

2. General Specifications

**WALLS**  
 280 Cavity brick wall , plastered both sides, brick force every third course DPC around door and window openings Precast lintels over door and window openings.

**ROOF**  
 40 Degee Roofing to be designed by specialist. Roof covering Chromadek Sheeting, roof sheeting on 70x50 perlin @ 900mm c/c on prefabricated roof trusses at 750mm C/C tied down onto 114x38mm wallplate with galv.hoop iron straps.

**DRAINAGE & PLUMBING**  
 IE's at all bends and sunctions in drains with marked covers all wasters to be accessible for repairs and fitted with sealed traps. UPVC drainage to soil and waste pipes to comply with Building regulations. Drainage Pipes to be concealed in walls and cavities.

3. Doors and Windows  
 Exterior Aluminum doors .  
 Exterior Aluminum sliding doors, to be glazed with safety glass and of a grey colour.  
 Interior door frames to be wood with hollow core doors fitted.  
 All windows frames are wood.  
 Garage door openings to be 4880mm wide and 2125mm high from finished floor level to underside of lintel.  
 Garage doors Aluminium Sectional Roll up grey in colour  
 Interleading garage doors to be fire doors.

4. Foundations (Stepped strip foundation)  
 Where steps are to be inserted the minimum overlap shall not be less than 375mm.  
 Levelling pegs to be placed at a approximately 2 metre intervals with tops of pegs protruding above the ground to the thickness of the concrete to be poured.  
 Foundation mass concrete to be 1 : 4 : 5 nominal mix having a compressive strength of 10MPa at 28 days.

Load bearing walls or free standing walls. the concrete to be a minimum of 250mm thick and 750mm wide.  
 Nonload bearing walls, the concrete to be a minimum of 200mm thick by 450mm wide.

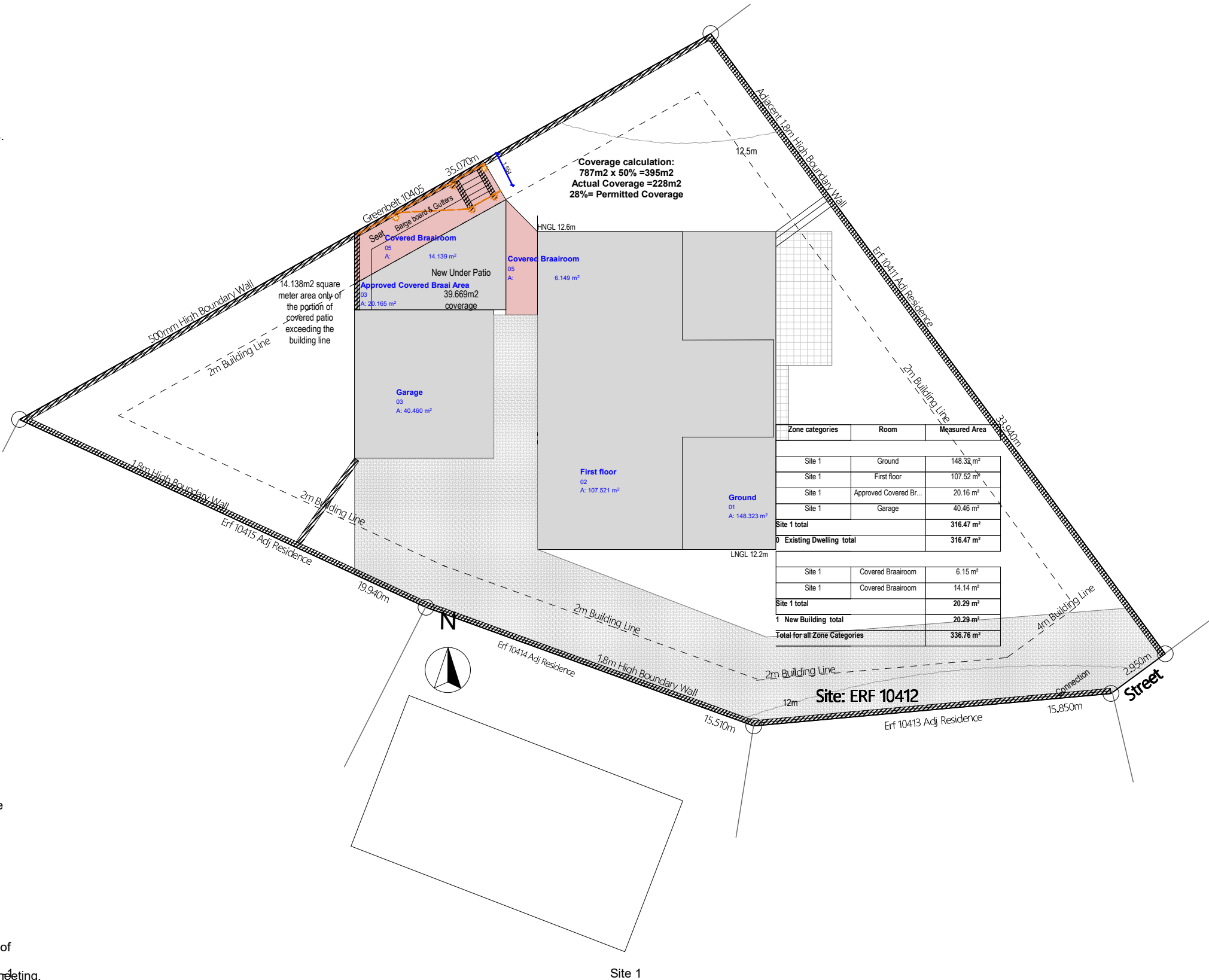
5. Concrete floor slab  
 Floor slabs in main dwelling, garage shall have a minimum thickness of 100mm of medium strength (20 MPA) concrete on compact filling, using a ratio by volume 1 : 3 : 2 using 13.2mm or 9mm stone.

6. Lintels and window sills  
 All window sills are to be brick on edge. Plastered and painted to one of the house specified colours..

7. Roof Trusses and Roof Covering  
 Gangnail roof trusses designed by engineer and the installation to be inspected by engineer.  
 Pitch angle of roof to be 40 degrees.  
 Wall plates 38mm x 110mm.  
 Trusses to be secured with galvanized hoop iron straps and extend into the wall to a minimum of 300mm.

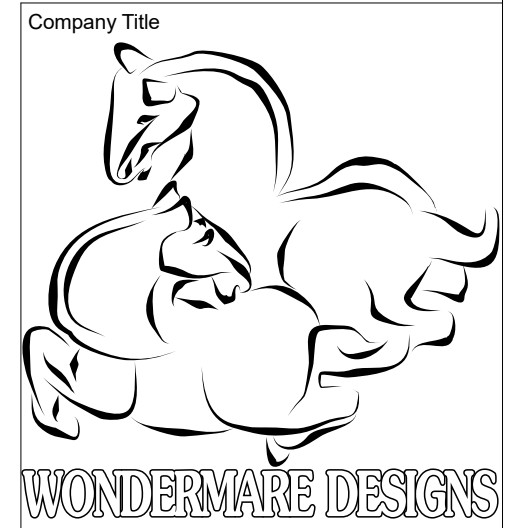
Perlins at + 900 centres or according to roof Manufacturer.  
 Roofing as per specialists design.  
 Water proofing plastic sheet to be secured under roof sheets.  
 Roof covering - light grey as per existing dwelling sheeting.

Chromadek  
 Ceiling Gypsum  
 core with paper liner secured to branders with 35mm clout nails.



Zone categories	Room	Measured Area
Site 1	Ground	148.32 m²
Site 1	First floor	107.52 m²
Site 1	Approved Covered Br...	20.16 m²
Site 1	Garage	40.46 m²
<b>Site 1 total</b>		<b>316.47 m²</b>
<b>Existing Dwelling total</b>		<b>316.47 m²</b>
Site 1	Covered Braairoom	6.15 m²
Site 1	Covered Braairoom	14.14 m²
<b>Site 1 total</b>		<b>20.29 m²</b>
<b>1 New Building total</b>		<b>20.29 m²</b>
<b>Total for all Zone Categories</b>		<b>336.76 m²</b>

**Coverage calculation:**  
 787m² x 50% = 395m²  
 Actual Coverage = 228m²  
 29% = Permitted Coverage



Company Title  
**Steven van der Merwe** 0741027897  
 Wednesday, July 31, 2024  
**D2456 PArchDraught**  
 steven.van.der.merwe@gmail.com

Job Title **Erf 10412**  
 Admin Penalty Additional Plan  
 Lojo Holdings 101 (Pty) Ltd , 0836569243  
 3 The Quarterdeck, Mariners Village, Westcliffe  
 Hermanus.  
 #Client City  
 7200  
 johan@thedelicatetouch.co.za

Drawing Name  
**Roof, Site 1, Privyseal2023**

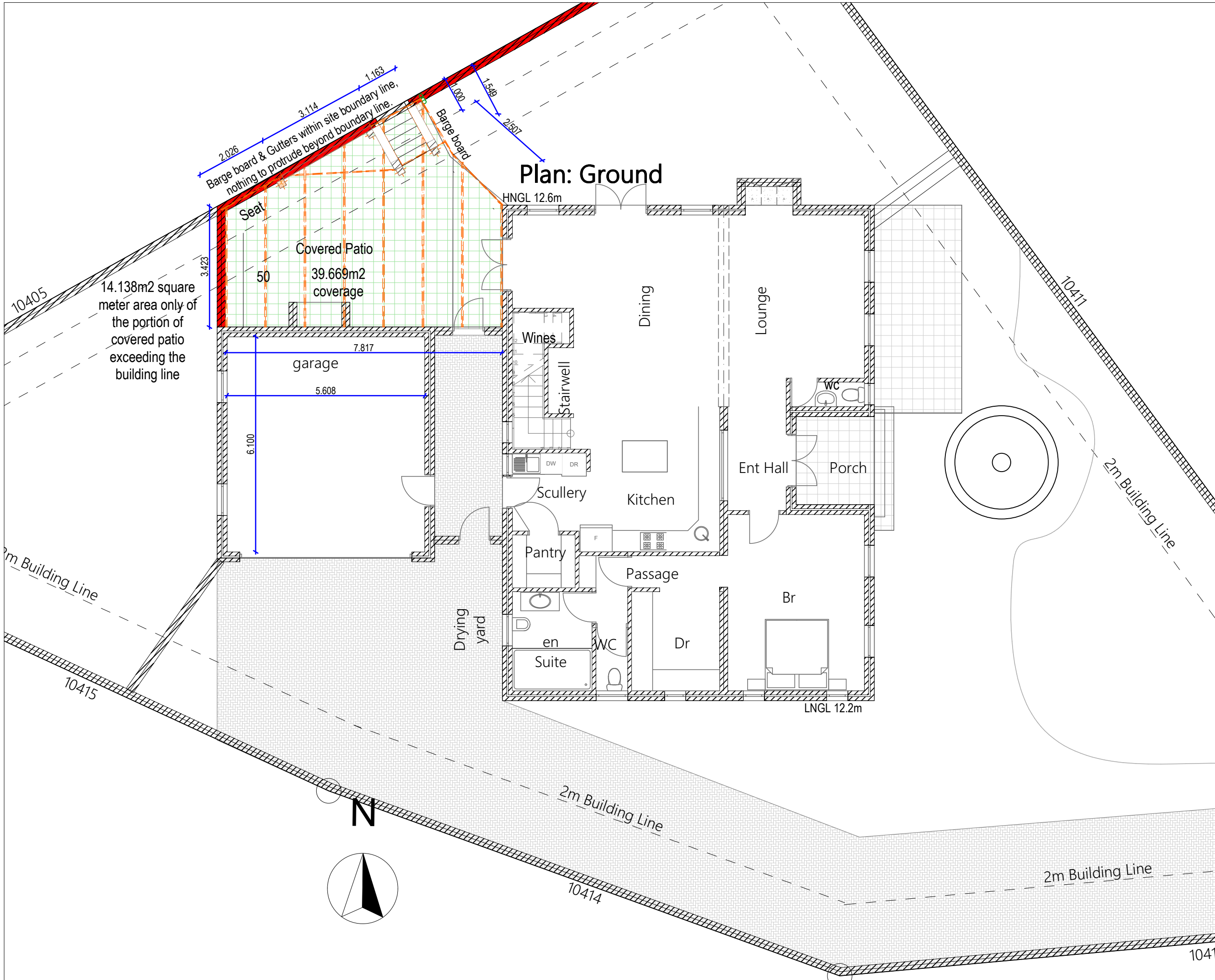
Drawing Status  
**Submission Drawings Only**

Drawn by **Steven van der Merwe** Date **27/05/2022**  
 Checked by \_\_\_\_\_ Date \_\_\_\_\_

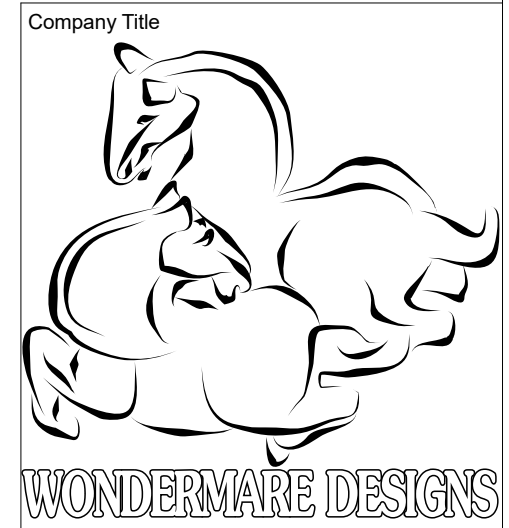
Drawing Scale  
**1:100**

Layout ID **A.01.1** Status \_\_\_\_\_ Revision \_\_\_\_\_  
 Job **2210 Lojo Holdings 101 (Pty) Ltd** Job bag. \_\_\_\_\_

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON  
**STEVEN CHRIS VAN DER MERWE**  
 14:26 PM (Africa/Johannesburg) on 09 Feb 2023



**Coverage calculation:**  
 787m<sup>2</sup> x 50% = 395m<sup>2</sup>  
 Actual Coverage = 228m<sup>2</sup>  
 29% = Permitted Coverage



**Steven van der Merwe** 0741027897

Wednesday, July 31, 2024  
 D2456 PArchDraught  
 steven.van.der.merwe@gmail.com

Job Title **Erf 10412**  
 Admin Penalty Additional Plan  
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 johan@thedelicatetouch.co.za

Drawing Name

**Ground**

Drawing Status

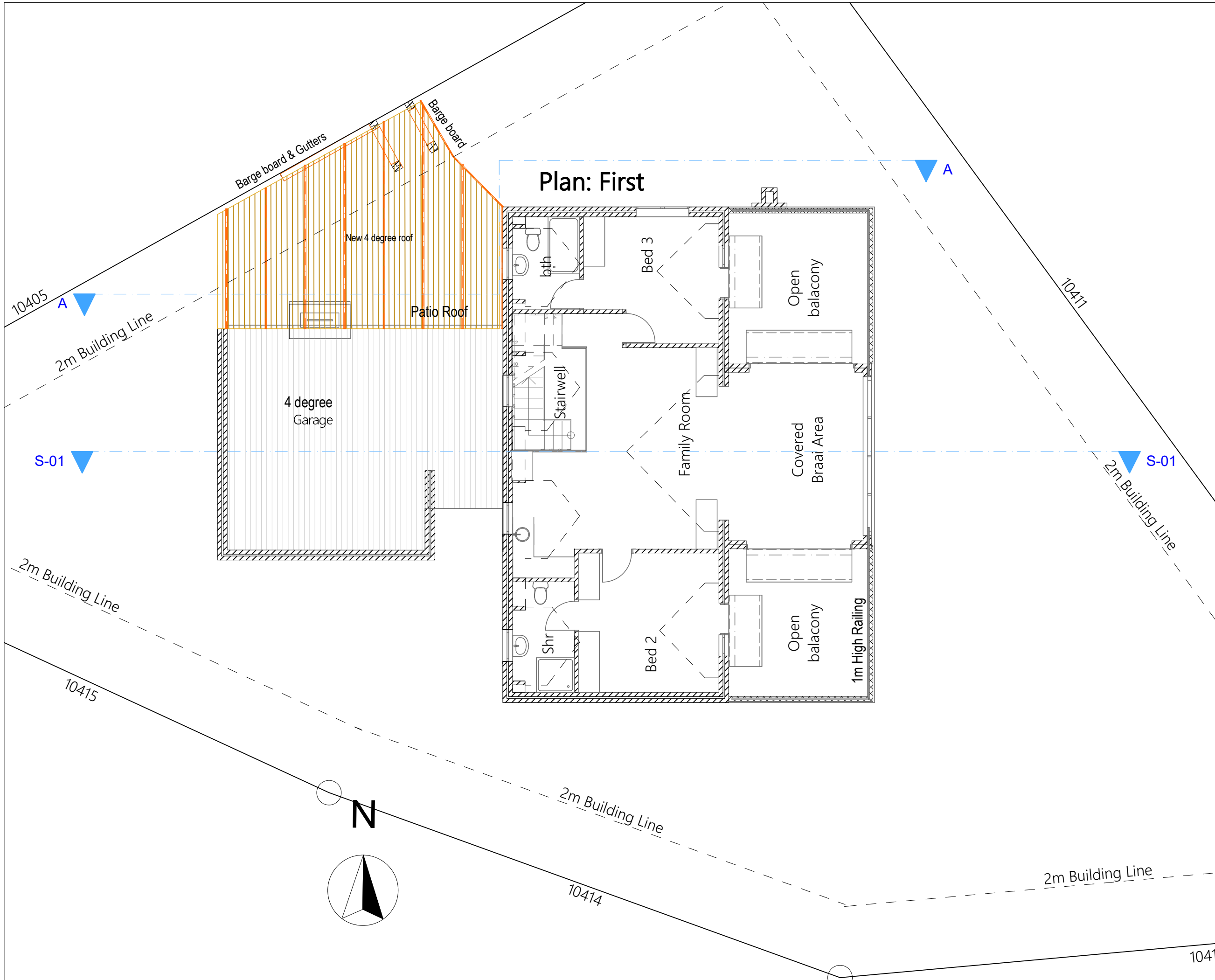
**Submission Drawings Only**

Drawn by **Steven van der Merwe** Date **27/05/2022**  
 Checked by Date

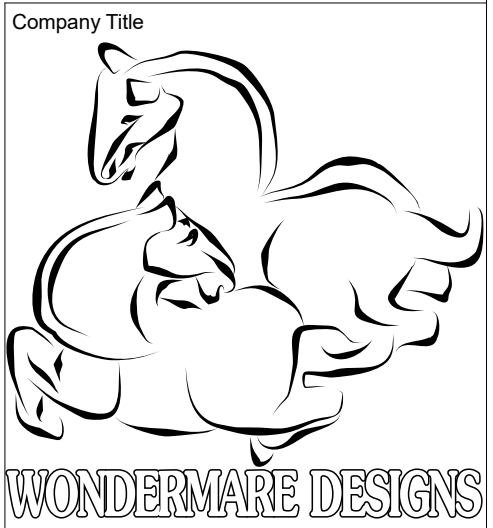
Drawing Scale

**1:100**

Layout ID	Status	Revision
<b>A.01.2</b>		
Job	Job bag.	
<b>2210 Lojo Holdings 101 (Pty) Ltd</b>		



**Plan: First**



Company Title  
**Steven van der Merwe** 0741027897  
 Wednesday, July 31, 2024  
**D2456 PArchDraught**  
 steven.van.der.merwe@gmail.com

Job Title **Erf 10412**  
 Admin Penalty Additional Plan  
 Lojo Holdings 101 (Pty) Ltd , 0836569243  
 3 The Quarterdeck, Mariners Village, Westcliffe  
 Hermanus.  
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 7200  
 johan@thedelicatetouch.co.za

Drawing Name  
**First**

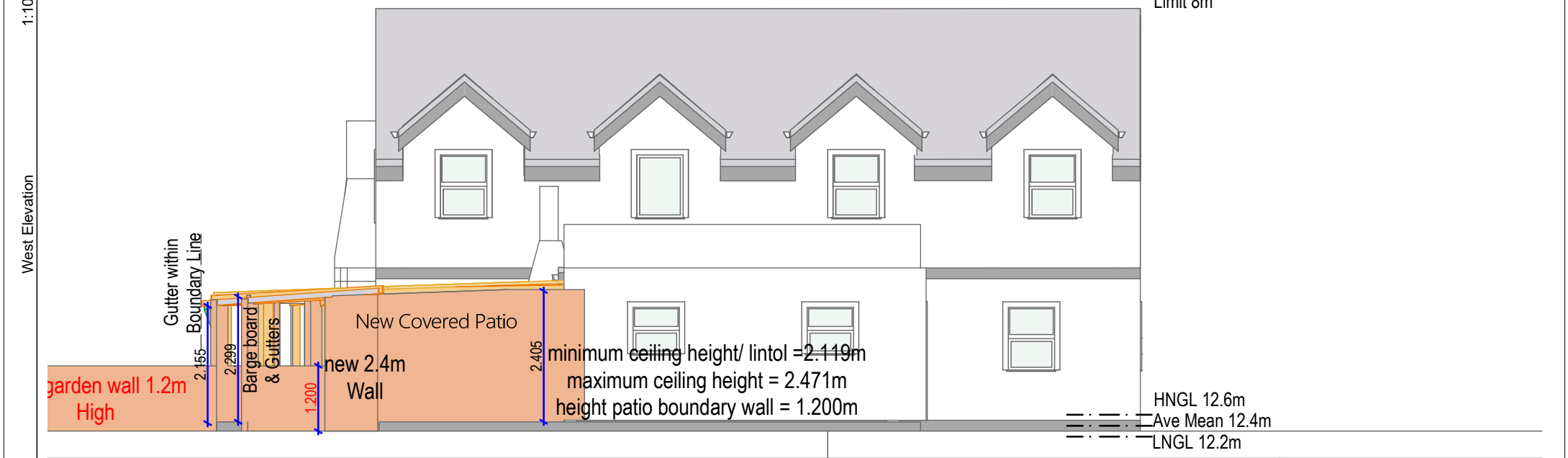
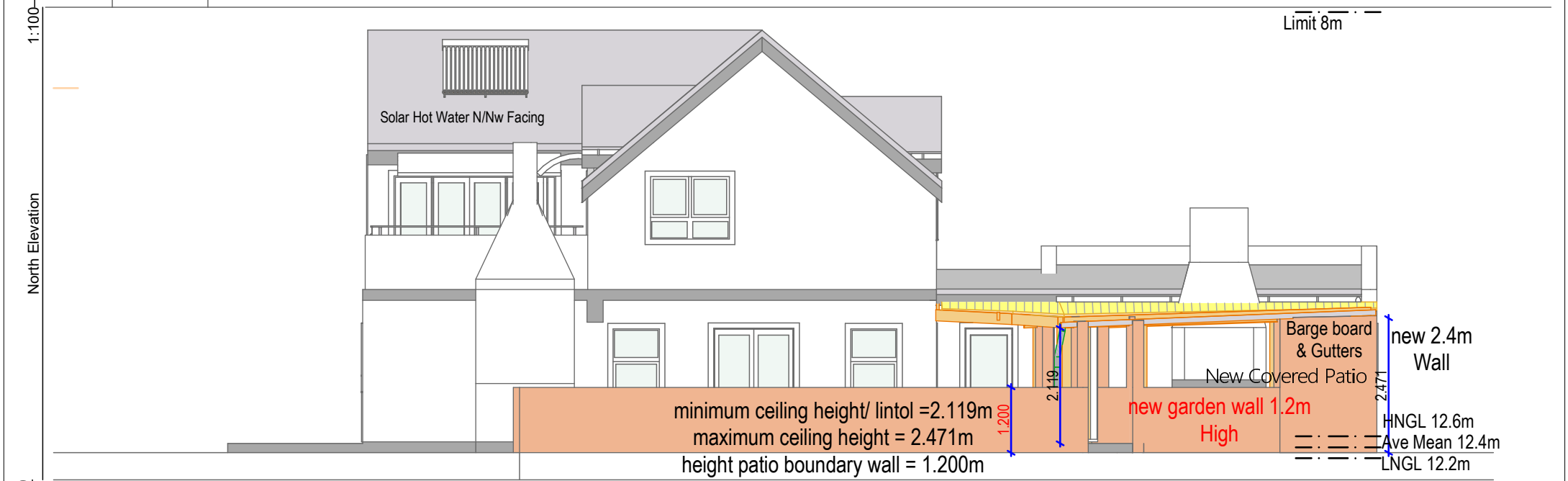
Drawing Status  
**Submission Drawings Only**

Drawn by **Steven van der Merwe** Date **27/05/2022**  
 Checked by \_\_\_\_\_ Date \_\_\_\_\_

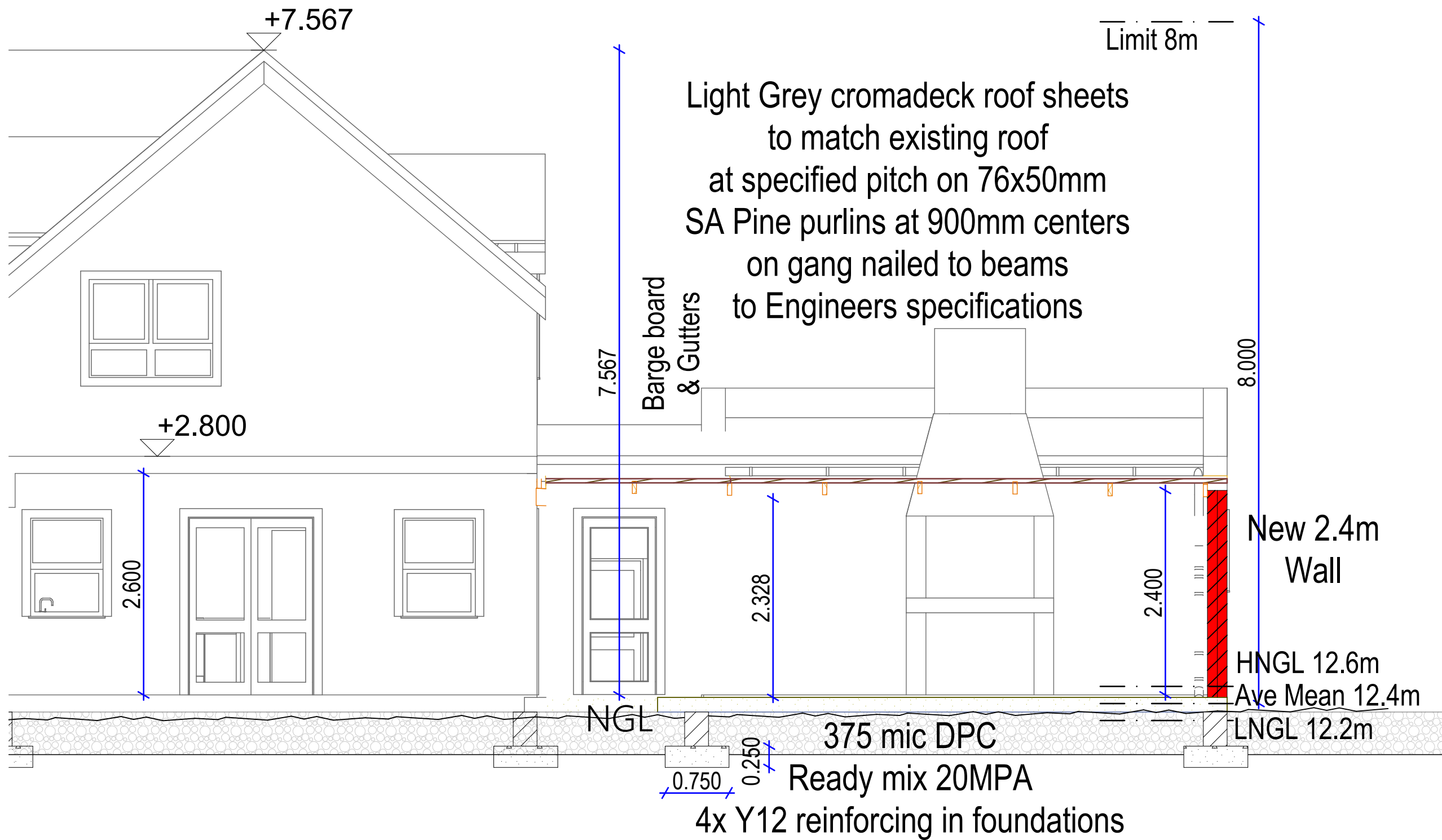
Drawing Scale  
**1:100**

Layout ID	Status	Revision
<b>A.01.3</b>		
Job <b>2210 Lojo Holdings 101 (Pty) Ltd</b>		Job bag.





<p><b>Company Title</b></p> <p><b>WONDERMARE DESIGNS</b></p>	
<p><b>Steven van der Merwe</b></p> <p>Wednesday, July 31, 2024</p> <p><b>D2456 ParchDraught</b></p> <p>steven.van.der.merwe@gmail.com</p>	<p><b>0741027897</b></p>
<p><b>Job Title</b></p> <p>Admin Penally Additional Plan</p> <p>Lojo Holdings 101 (Pty) Ltd, 0836569243</p> <p>3 The Quarterdeck, Mariners Village, Westcliffe</p> <p>Hermanus.</p> <p>#Client City</p> <p>7200</p> <p>Johan@thedelicatetouch.co.za</p>	<p><b>Erf 10412</b></p>
<p><b>Drawing Name</b></p> <p>East Elevation, North Elevation, South Elevation, West Elevation</p>	<p><b>Submission Drawings Only</b></p>
<p><b>Drawn by</b></p> <p>Steven van der Merwe</p> <p><b>Checked by</b></p> <p>Steven van der Merwe</p>	<p><b>Date</b></p> <p>27/05/2022</p> <p><b>Date</b></p> <p></p>
<p><b>Drawing Scale</b></p> <p>1:100</p>	<p><b>Layout ID</b></p> <p><b>A.01.5</b></p> <p>Job 2210 Lojo Holdings 101 (Pty) Ltd</p>
<p><b>Status</b></p> <p>Revision</p>	<p><b>Job bag.</b></p>



Company Title



WONDERMARE DESIGNS

Steven van der Merwe 0741027897

Wednesday, July 31, 2024  
 D2456 PArchDraught  
 steven.van.der.merwe@gmail.com

Job Title **Erf 10412**  
 Admin Penalty Additional Plan  
 Lojo Holdings 101 (Pty) Ltd , 0836569243  
 3 The Quarterdeck, Mariners Village, Westcliffe  
 Hermanus.  
 #Client City  
 7200  
 johan@thedelicatetouch.co.za

Drawing Name

Building Section, Privyseal2023

Drawing Status

**Submission Drawings Only**

Drawn by **Steven van der Merwe** Date **27/05/2022**  
 Checked by \_\_\_\_\_ Date \_\_\_\_\_

Drawing Scale

**1:100**

Layout ID Status Revision

**A.01.6**  
 Job **2210 Lojo Holdings 101** Job bag.  
**(Pty) Ltd**

A

Building Section

1:50


**PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON**  
**STEVEN CHRIS VAN DER MERWE**  
 South African Council for the Architectural Profession  
 14:26 PM (Africa/Johannesburg) on 09 Feb 2023

