



**ERF 1399, 347 MAIN ROAD, EASTCLIFF, HERMANUS OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: ENGELBRECHT & SCORGIE ARCHITECTURAL OFFICE (PTY) LTD ON BEHALF OF JT TEEK**

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a **departure** in terms of Section 16(2)(b) of the By-Law to relax the south-western lateral building from 2m to 1.210m and 0.811m respectively to accommodate alterations and additions to the existing dwelling.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Division: Town and Spatial Planning at 16 Paterson Street, Hermanus and on the municipal webpage at the following link <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) [landuse@overstrand.gov.za](mailto:landuse@overstrand.gov.za)) on or before **22 May 2026**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. P. Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Division: Town and Spatial Planning where a municipal official will assist them in order to formalize their comment.

*Please note that in terms of the Protection of Personal Information Act (POPIA), you will be entering into a public process and as such agree and consent to your name, surname, contact details and comment(s) may be disclosed / used in the (application) process.*

**ERF 1399, HOOFWEG 347, EASTCLIFF, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: ENGELBRECHT EN SCORGIE ARCHITECTURAL OFFICE (PTY) LTD NAMENS JT TEEK**

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ontvang is vir 'n **afwyking** ingevolge Artikel 16(2)(b) van die Verordening om die 2m suidwestelike lateraleboulyn vanaf 2m na 1.210m en 0.811m onderskeidelik te verslap om verbetering en aanbouings tot die bestaande woning te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende woensdae tussen 08:00 en 16:30 by die Afdeling: Stads- en Streekbeplanning, Hermanus en op die munisipale webtuiste by die volgende skakel <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / [landuse@overstrand.gov.za](mailto:landuse@overstrand.gov.za)) voor of op **22 Mei 2026**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mnr. P. Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Afdeling: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

*U aandag word gevestig op die Bepalinge van die "POPI" Wet, en aangesien u opmerking deel sal uitmaak van 'n openbare deelname proses, u derhalwe toestem dat u naam, van en kontakbesonderhede openbaar gemaak mag word.*

**ISIZA 1399, 347 MAIN ROAD, EASTCLIFF, INDAWO KAMASIPALA WASE HERMANUS OVERSTRAND: ISICELO SOKUHAMBA: I-OFISI YEE-ARCHITECT ZE-ENGELBRECHT & SCORGIE (PTY) LTD EGAMENI LIKA JT TEEK**

Isaziso ngoko ke sinikezelwa ngokwemiqathango yeCandelo lama-48 loMthetho kaMasipala wase-Overstrand oLungisiweyo woCwangciso lokuSetyenziswa koMhlaba kaMasipala, ka-2020 sokuba kufunyenwe isicelo **sokuhamba** ngokwemiqathango yeCandelo 16(2)(b) loMthetho kaMasipala sokuphungula umgca wesakhiwo osecaleni osemzants-ntshona ukusuka kwi-2m ukuya kwi-1.210m kunye ne-0.811m ngokulanelanayo ukuze kulungiselelwe utshintsho kunye nokongezwa kwisakhiwo esikhoyo..

Iinkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxsha eveki phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: Ucwangciso lweDolophu noMmandla, eHermanus nakwiphapha lewebhusaythi likamasipala kwelikhonkco lilandelayo <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Naziphi na izimvo ngesindululo mazingeniswe ngokubhaliweyo ngokwemigaqo yeCandelo lama-51 kunye nelama-52 loMthetho kaMasipala omiselweyo kuMasipala (16 Paterson Street, Hermanus / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) ngaphambi okanye nge-**22 Ucanzibe 2026**, ebonisa igama, idilesi neenkukacha zoqhagamshelwano, umdla kwisicelo kwakunye nezizathu zezimvo. Imibuzo ngomnxeba ingabhekiswa **kuMnu. P Roux** kule nombolo 028-313 8900. UMasipala unokwala ukwamkela izimvo emva komhla wokuvala. Nawuphi na umntu ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe: loCwangciso lweDolophu noMmandla apho aya kuthi ancediswe ligosa likamasipala ukuze anike izimvo zakhe ngokusesikweni.

*Nceda uqaphele ukuba ngokoMthetho woKhuseleko lweNgcaciso loLwazi loBuqu (POPIA), uya kuba ungena kwinkqubo kawonke-wonke kwaye uvuma ukuba igama lakho, ifani, iinkcukacha zoqhagamshelwano kunye nezimvo zingabengezwa / zisetyenziswe kwi (isicelo) inkqubo.*





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



The Town Planner  
Overstrand Municipality  
P O Box 20  
HERMANUS  
7200

29 January 2026

For attention: Mr P. Roux

Dear Sir

**DEPARTURE FROM THE OVERSTRAND MUNICIPALITY'S ZONING SCHEME REGULATIONS  
AND THE DETERMINATION OF AN ADMINISTRATIVE PENALTY : ERF 1399 : MR JT TEEK : 347  
MAIN ROAD, HERMANUS**

Please find enclosed the following information and annexures relevant to this Departure Application Document:

- **Motivation report**

- Annexure A - Town planning application form
- Annexure B - Application proof of payment
- Annexure C - Title deed
- Annexure D(i) - Power of attorney from JT Teek
- Annexure D(ii)- Power of Attorney nominating Kathy Joy Teek to sign all documentation on behalf of Mr JT Teek
- Annexure E - Municipal account
- Annexure F - SG Diagram
- Annexure G - Locality layout
- Annexure H - Previously approved drawings
- Annexure I - A1 (to scale) drawings indicating the proposed new additions and alterations (not included in hard copy)
- Annexure J - A3 (not to scale) drawings indicating the proposed new additions and alterations
- Annexure K - Photos of the existing dwelling
- Annexure L - Land Surveyor's topographic survey

**APPLICATION SUBMITTED (by hand 2 copies)**

**APPLICATION SUBMITTED (electronically)**

**DEPARTURE FROM THE OVERSTRAND MUNICIPALITY'S  
ZONING SCHEME REGULATIONS  
ERF 1399 HERMANUS**

**MOTIVATION REPORT (AMENDED 29/01/2026)**

**1. INTRODUCTION TO THE DEPARTURE APPLICATION:**

**1.1 BACKGROUND:**

The owners of the property, Mr JT Teek has instructed Brandon Scorgie from the firm Engelbrecht & Scorgie Architectural office to apply for a building line departure from the Overstrand Municipality's Zoning Scheme Regulations. Refer to **Annexure D(i)** for the enclosed Power of Attorney from JT Teek.

Enclosed **Annexure D(ii)** is a general Power of Attorney nominating Kathleen Joy Teek to sign all documentation on behalf of Mr JT Teek.

Erf 1399, referred to in this document as the application area, measures 545m<sup>2</sup> in extent and is held by Title Deed no. T00002757/2014. Refer to **Annexure C** for the enclosed Title Deed.

**1.2 APPLICATION DETAIL:**

**1.2.1 PERMANENT LATERAL BUILDING LINE DEPARTURE APPLICATION:**

The Overstrand Municipality's By-Laws on Municipal Land Use Planning, Chapter 4, Section 16(2)(b), 2020, states that an owner of an erf may apply to the Overstrand Municipality for a permanent departure from the provisions as stated in the Overstrand Municipality's Zoning Scheme Regulations; therefore, an application is made in terms of :

- Section 6.1.2 (b)(ii) of the Overstrand Municipality's Zoning Scheme Regulations for the permanent departure from the lateral building line
- According to the Overstrand Municipality's Zoning Scheme Regulations, lateral building line is determined in accordance with the net erf area, as listed in the table below:

<b>Net erf area:</b>	<b>Side and Rear building line</b>
400m <sup>2</sup> and greater	2.0m

**1.3 PROPERTY DESCRIPTION, ZONING AND PROPERTY ANALYSIS:**

**1.3.1 PROPERTY DESCRIPTION:**

The application area of 545m<sup>2</sup> in extent is located at no. 347 Main Road, Hermanus. Refer to **Annexure G** for the enclosed Locality plan.

The application area has been developed into typical single storey residential accommodation and is surrounded by similar single and double storey

dwelling. Some of these properties have been renovated and modernized over the years. The existing buildings on the application area, comprise of :

- Main dwelling :
  - 2 Bedrooms with living area, kitchen, one bathroom and stoep
- Cottage
  - Attached to main dwelling
- Free-standing garage
  - At back of the property
- A lean-to flat roof not shown on any approved drawings being a continuation of the roof over the cottage and is attached to the free-standing garage on the north western corner of the property

The application Erf 1399, as well as the surrounding properties, are relatively flat with a very slight gradient from north to south.

Most of the surrounding properties have mountain views.

The adjacent properties positioned on the north side of Main Road, have limited sea views, whereas the properties to the south of Main Road, all have good sea views.

Refer to **Annexure I** and **Annexure J** for the enclosed drawings indicating the existing dwelling along with the proposed new additions, alterations and renovations, as discussed later in this departure application document.

The footprint of the existing dwelling on the application area along with the proposed additions, alterations and renovations, as discussed later in this departure application document, comprise the following:

#### **AREA CALCULATIONS :**

##### **EXISTING STRUCTURES :**

Existing free-standing garage - to be demolished	24,15m <sup>2</sup>
Existing dwelling	111,78m <sup>2</sup>
Existing cottage/ out-building	42,33m <sup>2</sup>
<u>Total of existing (excluding garage to be demolished)</u>	<u>178,26m<sup>2</sup></u>

##### **ADDITIONS TO EXISTING :**

###### **Ground floor :**

New ground floor	82,03m <sup>2</sup>
New porch	1,21m <sup>2</sup>
<u>Total of additional ground floor area</u>	<u>83,24.m<sup>2</sup></u>

###### **First floor :**

New loft	46,97m <sup>2</sup>
<u>Total additional area ground and first floor</u>	<u>130,21m<sup>2</sup></u>

**COVERAGE CALCULATIONS :**

Erf size	545m <sup>2</sup>
Total covered area (ground and first floor)	284,32m <sup>2</sup>
Total covered area (ground floor)	239,97m <sup>2</sup>
Total coverage %	44%

**1.3.2 ZONING:**

Erf 1399, the application area, has the following land use rights:

<b>Erf number:</b>	<b>Zoning:</b>
Erf 1399, Hermanus	Residential Zone 1: Single Residential

The zoning permits the development of a residential dwellings with outbuildings as defined in the Overstrand Municipality’s Zoning Scheme.

All erven directly surrounding the application area are zoned as Residential Zone 1: (Single Residential) with the road zoned as Transport Zone 2 : (Road and Parking). Please refer to the zoning map abstract provided below.

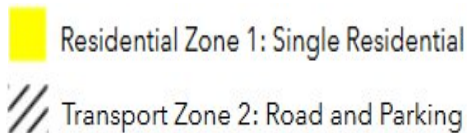


Figure 1: Zoning, an extract from the Overstrand Public Viewer – NOT TO SCALE  
**1.3.3 PROPERTY ANALYSIS AS PER THE OVERSTRAND MUNICIPALITY’S ZONING SCHEME REGULATIONS:**

The development parameters for the application area as per the Overstrand Municipality Land Use Scheme, 2020 can be summarized as follows:

Design parameters:		Overstrand Municipality's Zoning Scheme Regulations:	Proposal:	Comments:
<b>Zoning</b>		Residential Zone 1: Single Residential (SR1)	Residential Zone 1: Single Residential (SR1)	Unchanged
<b>Primary Use</b>		Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self-catering	Dwelling house	Unchanged
<b>Consent Use</b>		Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture	None	Unchanged
<b>Coverage</b>		50%	44%	Unchanged
<b>Height Restriction</b>		8.0m	8.0m	Unchanged
<b>Building lines</b>	<b>Provincial roads building line</b>	5.0m	5.0m	Unchanged
	<b>Municipal street building line</b>	4.0m	4.0m	Unchanged
	<b>Lateral (West)</b>	2.0m 2.0m	0.88m 1.21m	<b>Application for a departure</b>
	<b>Lateral (East)</b>	2.0m	2.0m	Unchanged
	<b>Rear</b>	2.0m	2.0m	Unchanged
<b>Parking</b>		Dwelling house: 2 bays	Dwelling house: 2 bays	Unchanged

#### 1.3.4 PROPERTY ANALYSIS AS PER THE TITLE DEED OF THE APPLICATION AREA:

Refer to **Annexure C** for the enclosed Title Deed for Erf 1399, Hermanus.

Title Deed No. T2757/2014 was perused and there are no restrictive conditions that prohibits the proposals being made.

There is no bond registered against Erf 1399.

## 2. **CONTEXTUAL SITE INFORMATION:**

### 2.1 **LOCATION:**

#### 2.1.1 **APPLICATION AREA WITHIN A REGIONAL CONTEXT:**

Within a regional context, the application area is located between Hermanus CPB and Voëlklip. The area is known as Eastcliff and Kwaiwater.



Figure 2: Erf 1399 within a Regional Context, an extract from Google Maps – NOT TO SCALE

#### 2.1.2 **APPLICATION AREA WITHIN A LOCAL CONTEXT:**

Within a local context, the application area consists of a residential erf within Hermanus. The application area is located at 347 Main Road, Hermanus.



Figure 3: Erf 1399 within a Local Context, an extract from the Overstrand Public Viewer – NOT TO SCALE

### **3. BACKGROUND AND INTRODUCTION TO THE APPLICATION AND THE ACTUAL APPLICATION:**

#### **3.1 BACKGROUND AND INTRODUCTION TO THE APPLICATION:**

Mr Justin Tabor Teek approached our firm, Engelbrecht & Scorgie Architectural Office, to re-design the property. The brief included :

- Keep the footprint of the house and free-standing cottage/ out-building and re-design the dwelling incorporating requirements as listed below :
  - Demolish the garage at the back of the property
  - Demolish the lean-to flat roof, which spans between the cottage and the free-standing garage (not reflected on any approved drawings)
  - Construct a new double garage facing the street, which could act as a buffer against the road noise
  - Optimize on the mountain and sew-view by incorporating a loft area somewhere with windows facing both north and south

Copies of the approved drawings were obtained from Council and a topographical survey was conducted by a Land Surveyor. The existing approved drawings show approval for the main dwelling and semi-detached free-standing cottage/ out-building in the position as they currently stand, i.e. :

As mentioned, Mr JT Teek was not keen on a total demolition due to the value in the existing structures and briefed us to re-design the property, but retain the footprint as

far as possible. The current Zoning Scheme Regulations apply a 2.000 lateral building line.

Considering the re-design and expansion of the existing dwelling and out-building, which falls within the 2.0m lateral building line, it was clear that a relaxation of the western lateral building line would be required.

The departure that would be required, would be for the relaxation of the lateral building line from 2.0m to 1.210m to accommodate a portion of the renovated house with additions and the relaxation of the same lateral building line from 2.0m to 0.811m to accommodate the 2<sup>nd</sup> portion of the renovated house with additions.

See extract below :



Refer to **Annexure I (A1 to scale)** and **Annexure J (A3 not to scale)** for the enclosed drawings indicating the existing dwelling and out-building along with the proposed new addition and alterations on the application.

### 3.2 THE ACTUAL APPLICATION:

The application is submitted in terms of the Overstrand Municipality's amended By-Laws

on Municipal Land Use Planning, Chapter 4, Section 16(2)(b), 2020. The By-Law states that an owner of an Erf, may apply to the Overstrand Municipality for a **Permanent Building Line Departure** from the provisions as stated in the Overstrand Municipality's Zoning Scheme Regulations, therefor application is made for :

- Section 16(2)(b), Chapter 4 – Building line departure application for a departure from the prescribed building line applicable to Remainder of Erf 1399, Hermanus, in order to accommodate the re-design of the property, which includes additions, alterations and renovations
- This application does not cover anything else, other than the building line departure
- Title deed : There are no restrictive title deed clauses applicable to this application
- Administrative penalty : There are no illegal structures or deviations from the approved drawings

#### 3.2.1 PROPOSED BUILDING LINE DEPARTURE

- The relaxation of the western lateral building line from 2.0m to 1,210m
  - The subject relaxation is necessary to accommodate the alterations to the dwelling as reflected on the drawings
  - Furthermore, the existing footprint is extended by 3.8m to the south in-line with the existing dwelling to accommodate the footprint extension, which is taken up by the garage. The subject relaxation is necessary to accommodate the extension of the building footprint by 3.8m, which falls within the lateral building line
  - Furthermore, the subject relaxation is necessary to accommodate a loft area positioned partially above the living, dining, kitchen and scullery below
  - The new loft area necessitates that the ridge height of the existing roof is raised by  $\pm 1,2\text{m}$
- The relaxation of the western lateral building line from 2.0m to 0.881m
  - The subject relaxation is necessary to accommodate the alterations to the existing cottage/ out-building (now incorporated as part of the main dwelling)
  - Furthermore, due to the internal layout and re-configuration of the re-designed dwelling, the existing footprint needs to be extended towards the north by 0.95m and towards the south by 1.1m respectively in order to accommodate the re-designed dwelling configuration



Refer to **Annexure I (A1 to scale)** and **Annexure J (A3 not to scale)** for the enclosed drawings indicate the existing footprint along with the proposed new additions and alterations on the application area.

#### **4. GENERAL:**

##### **4.1 CHARACTER OF THE ENVIRONMENT IN GENERAL:**

As mentioned, and highlighted throughout this Departure Application Document, the application area is situated within a well-established neighborhood of Hermanus.

The initial buildings on Erf 1399, the application area, similar to the majority of the nearby adjoining dwellings, were constructed to conform to the former applicable building lines and Zoning Scheme parameters.

Several surrounding and adjacent properties have undergone similar types of refurbishments over the years, where property owners may have been required to submit similar Departure Applications to the Overstrand Municipality to obtain permission to make changes within the current Lateral and rear Building Lines.

Due to the natural topography of this particular section of Hermanus, properties to the sides and rear of the application area have not all been elevated or constructed double story. Most properties generally offer excellent views towards the mountain range in a Northern direction, while providing fair to no views of the sea in a Southern direction.

The properties to the south of the application area situated on the sea-side of Main Road, all boast both excellent sea and mountain views.

This particular area in which the application area is situated, is renowned for its diverse range of different Architectural style and designs. This is evident throughout old Hermanus.

Main Road is located in the well-established neighborhood of Eastcliff/ Kwaaiwater in Hermanus. Although this area does not have many graded conservation-worthy architectural properties.

The properties surrounding the application area are all zoned as Single Residential erven and have been developed with either single or double storey dwellings. These properties serve as either permanent residences or holiday houses.

##### **4.2 EFFECTS THAT THE PROPOSED NEW DEVELOPEMNT WILL HAVE ON THE CHARACTER OF THE AREA, THE ENVIRONMENT, THE STREETScape, AND SURROUNDING PROPERTIES:**

When determining the effects that the proposed new development will have on the character of the area, the environment, the streetscape, and surrounding properties, it is important to take note of the following:

- The original dwelling on Erf 1399, the application area, along with the majority of the adjacent properties, were constructed to conform to the building lines and Zoning Scheme parameters enforced at the time
- The proposed re-design of the dwelling on the application area that will encroach the 2.0m Western Municipal Lateral Building Line, constitute common residential components typically found on any residential property.
- The proposed renovations, additions and alterations on the application area which will encroach the 2.0m Western Municipal Lateral Building Line, will not detract from the character of the area

With the above being said, it can be assured that the proposed re-design with additions on the application area:

- Will be a visual improvement for passersby and all directly affected property owners
- Will not have a negative impact on the character of the area,
- Will not have a negative impact on the environment,
- Will not have a negative impact on the streetscape,
- Will not have a negative impact on any of the surrounding properties.

Refer to **Annexure I (A1 to scale)** and **Annexure J (A3 not to scale)** for the enclosed drawings indicating the new proposed additions and alterations to the existing dwelling on the application area.

#### 4.3 **COMPATIBILITY AND IMPACT OF THE PROPOSED ADDITIONS, ALTERATIONS AND RENOVATIONS ON IMMEDIATE SURROUNDING PROPERTIES:**

The compatibility and impact that the proposed new development will have on the immediate surrounding properties was assessed based on the following five factors:

- **Location and proximity:**  
The position and proximity of the affected surrounding property in relation to the application area.
- **Land use compatibility:**  
This revolves around evaluating how well the proposed additions, alterations and renovations on the application area aligns with the existing zoning and the current land use in the area.
- **Views:**  
This revolves around how the proposed additions, alterations and renovations on the application area might affect the visual landscape of the immediate surrounding properties.
- **Privacy:**  
This revolves around evaluating how the proposed additions, alterations and renovations on the application area might affect the privacy of the immediate surrounding properties.
- **Gravity and visual aesthetics:**  
This revolves around evaluating how the proposed additions, alterations and renovations on the application area will harmonize with the immediate surrounding properties.

The aerial photo below reveals the properties affected by the proposed additions, alterations and renovations. Although it can be said with fair certainty that the directly affected neighbours are limited to Erf 7043 and Erf 1401. The rest of the surrounding properties have also been considered.



CALE

#### 4.3.1 Erf 11022 – No. 300 and 302, Main Road, Hermanus

**Erf 11022** is a recently developed property with the design focus being the sea views. The large subject property spanning the width of approx. 3 average sized erven, is located on the south side of Main Road and slightly more towards the south-east of the application area and is quite distant and therefore unaffected by the application area.

As mentioned previously, the Zoning and Land Use of the application area, aligns with the current Zoning Scheme with the existing structures, as well as the proposed additions, alterations and renovations, seamlessly blending in with the neighbourhood.

The view lines of the subject property, are predominantly to the south, but due to its location, the potential for unobstructed mountain views, is equally as impressive.

The application area does not affect any of the mountain views in anyway whatsoever.

When assessing the gravity and visual aesthetics of the proposed additions, alterations and renovations on the application area, it is important to take note of the following :

- The additions, alterations and renovations will encroach the eastern lateral building line. The additions, alterations and renovations are typical residential components and are in line with the current existing approved structures
- The additions, alterations and renovations follow the same line as the existing structures with the visual that can be seen from the subject Erf being limited to the following :
  - The footprint of the existing structure is being extended towards Main Road by 3,8m
  - The new double pitched roof raises the ridge height by approx. 1,2m. this is still approx. 1,6m below the 8m height restriction
  - The addition of the loft area and roof over the living area, is 0.65m lower than the rest of the roofed area and has no additional impact on any view lines
  - The overall aesthetics of the re-designed house, is a vast improvement from the visual appearance of the current structures, which are in need of maintenance and modernization. The chosen style for the re-designed house is in keeping with the current style of the dwelling. Traditional double pitched roof element with lean-to roofs flowing from this, but in a slightly modernized style
  - Due to the slightly raised new double pitched roof and the addition of a loft area, the visual impact will be increased marginally, but in a positive manner, as the re-designed house will seamlessly be integrated within the existing residential context and vastly improve the visual aesthetics of the neighbourhood as a whole

#### **Erf 5687 – No. 349 and 351 Main Road, Hermanus**

**Erf 5687** is located directly east of the application area. The subject Erf 5687, one of the erven closest in proximity to the application Erf.

The property has been developed on a single level. The house being placed approximately in the centre of the double Erf with outbuildings being constructed for approx. half the length of the eastern lateral boundary of the subject Erf .

The property has sea views and mountain views, which are unaffected by the proposed alterations, additions and renovations on the application Erf.

The design of the house on Erf 5687, does not have any area facing the application area. The impact on privacy is considered negligible. This conclusion is based on the fact that out-buildings have been constructed on the eastern lateral boundary of the subject Erf with no openings facing the application area.

When assessing the gravity and visual aesthetics of the proposed additions, alterations and renovations on the application area, it is important to take note of the following :

- The additions, alterations and renovations will encroach the eastern lateral building line. The additions, alterations and renovations are typical residential components and are in line with the current existing approved structures
- The additions, alterations and renovations follow the same line as the existing structures with the visual affected as follows :
  - The footprint of the existing structure is being extended towards Main Road by 3,8m
  - The new double pitched roof raises the ridge height by approx. 1,2m. this is still approx. 1,6m below the 8m height restriction
  - The addition of the loft area and roof over the living area, is 0.65m lower than the rest of the roofed area and has no additional impact on any view lines
  - The overall aesthetics of the re-designed house, is a vast improvement from the visual appearance of the current structures, which are in need of maintenance and modernization. The chosen style for the re-designed house is in keeping with the current style of the dwelling. Traditional double pitched roof element with lean-to roofs flowing from this, but in a slightly modernized style
  - Due to the slightly raised new double pitched roof and the addition of a loft area, the visual impact will be increased marginally, but in a positive manner, as the re-designed house will seamlessly be integrated within the existing residential context and vastly improve the visual aesthetics of the neighbourhood as a whole

#### **Erf 7043 – No. 345A Main Road, Hermanus**

The 3 properties to the west of the application area, being Erf 7043, Erf 7042 and Erf 1396, have enclosed the 3 erven with boundary walls and fences to form a single enclosed property. These three properties can be seen as a single subject area, even though they are 3 separate free-standing erven.

Reference to Erf 7043 will be used as the subject Erf, due to its proximity to the application area. Erf 7043 is zoned single residential and should this Erf be developed in the future, the owner of this Erf being the subject Erf, would be governed by the Zoning Regulations applicable at the time.

The proximity of the building on the application area, would be considered by the property owner at the time, should the owner decide to develop the subject property in the future.

It must be noted that the majority of the footprint as shown on the attached drawings (refer to **Annexure I (A1 to scale)** and **Annexure J (A3 not to scale)**), is existing with the additions to the footprint as described in detail elsewhere in this departure application.

The existing structures, aligned with the Zoning Scheme at the time, the proposed re-designed House have alignes with the Land Use and Zoning Scheme parameters, except for the section of the dwelling within the western lateral building line.

lines  
The  
Erf

There is a minimal gradient on the subject Erf, as well as the application area. The view on the subject Erf are southwards towards the sea and northwards towards the mountain. existing structures currently positioned on the application area, as well as the proposed additions, alterations and renovations, will not impact any of the view lines on the subject Erf

It can be seen from the enclosed drawings (refer to **Annexure I (A1 to scale)** and **Annexure J (A3 not to scale)**), that the re-designing of the application area has considered a north-eastern focal area to optimize on the open space of the property, as well as the northern sun aspect.

The western windows facing the subject Erf, are for light only.

observes  
the Windows.

At ground floor level there is a boundary wall between the two erven, which partially obscures the Windows. This minimizes the privacy impact on the subject Erf.

of a  
mountain and sea view, but without the need for a full 2<sup>nd</sup> level of accommodation.

The proposed loft addition above the living room, was primarily considered to gain a bit of a mountain and sea view, but without the need for a full 2<sup>nd</sup> level of accommodation.

The focus on view will predominantly be northwards and southwards with the western window facing the subject Erf being for additional light only.

When assessing the gravity and visual aesthetics of the proposed additions, alterations and renovations on the application area, it is important to take note of the following :

- The additions, alterations and renovations will encroach the eastern lateral building line. The additions, alterations and renovations are typical residential components and are in line with the current existing approved structures
- The additions, alterations and renovations follow the same line as the existing structures with the visual that can be seen from the subject Erf, being limited to the following :
  - The footprint of the existing structure is being extended towards Main Road by 3,8m taken up by a position of the garage
  - The footprint of the free-standing out-building/ cottage incorporated as part of the house, will be extended
    - 950mm to the north (single storey)
    - 1100mm to the south (single storey)
  - The new double pitched roof raises the ridge height by approx. 1,2m. this is still approx. 1,6m below the 8m height restriction
  - The addition of the loft area and roof over the living area, is 0.65m lower than the rest of the roofed area and has no additional impact on any view lines
  - The overall aesthetics of the re-designed house, is a vast improvement from the visual appearance of the current structures, which are in need of maintenance and modernization. The chosen style for the re-designed house is in keeping with the current style of the dwelling. Traditional

- double pitched roof element with lean-to roofs flowing from this, but in a slightly modernized style
- Due to the slightly raised new double pitched roof and the addition of a loft area, the visual impact will be increased marginally, but in a positive manner, as the re-designed house will seamlessly be integrated within the existing residential context and vastly improve the visual aesthetics of the neighbourhood as a whole

#### **Erf 1401 – No. 4 Flat Street, Hermanus**

**Erf 1401** is located directly to the north of the application area. The double storey component of the subject Erf is set back approx.  $\frac{1}{3}$  the depth of the Erf. The proposed loft level on the application area, is located on the lower half of the application area Erf leaving considerable open upper-level “vista” space between both properties.

Erf 1401 is zoned as Residential Zone 1 and has been developed as such. The application area has a similar zoning, thus aligning seamlessly with the Zoning and Land Use in the area and neighbourhood.

Erf 1401 has been developed with the section of the house facing Flat Street being single storey and a double storey component at the back of the property. The subject Erf has a view of the mountains towards the north and a sea view towards the south. The double storey component on the subject Erf has specifically been rotated off a parallel axis relative to the lateral boundaries in order to have an unobstructed view down Sieverspunt Road towards the sea. The proposed additions, alterations and renovations on the application area, will have no impact on the view lines down Sieverspunt Road towards the sea.

The slight view which the subject Erf possibly had overlooking the application area, has subsequently been compromised by the development of the double storey building on Erf 11022, which lies south to south-east of the application area.

The application area has been re-designed to optimize on the mountain view and northern sun aspect for outdoor living. The orientation and configuration of the house on the application area, reflects a “U”-shaped design to create privacy from the northern neighbour being the subject Erf, but in such a way to allow the morning sun to flood the living area (the northern wing of the application area, is single storey).

The re-design of the application area allows for predominantly single level living with a small loft component to allow for a sea and mountain view.

The loft area is minor in scale and limited to a footprint of 39.27m<sup>2</sup>. The house can almost be seen as a single storey dwelling with a minor “room in the roof” element. The entertainment area is on the north-eastern side of the property with the northern bedroom wing creating a privacy barrier between the subject Erf and application area. The double storey component on the subject Erf has no entertainment area to the south and it appears that the entertainment area is at ground floor level to the south of the dwelling.

No privacy will be compromised by the proposed additions, alterations and renovations at a ground floor level. The addition of the loft is isolated to the double volume area within the living, dining and kitchen and is minor in scale with the floor area for the Mezzanine being only a mere 39.27m<sup>2</sup>.

The loft area is accessed by means of an internal spiral staircase. The space has been designed to appear as a “room” in the roof so as to minimize the visual impact on the surrounding properties.

The mountain and sea views from the loft are taken through narrow dormer type windows specifically facing :

- North towards the mountain
- South towards the sea

Although there may be a slight impact on the privacy of the subject Erf, it is minimal compared to a double storey dwelling constructed 2m from the rear boundary. The loft area is set-back approx. 15m from the northern rear boundary of the subject Erf.

When assessing the gravity and visual aesthetics of the proposed additions, alterations and renovations on the application area, it is important to take note of the following :

- The additions, alterations and renovations will encroach the eastern lateral building line. The additions, alterations and renovations are typical residential components and are in line with the current existing approved structures
- The additions, alterations and renovations follow the same line as the existing structures with the visual that can be seen from the subject Erf, being the following :
  - The footprint of the existing out-building/ cottage is extended towards the north by 950mm
  - The new double pitched roof raises the ridge height by approx. 1,2m. this is still approx. 1,6m below the 8m height restriction
  - The addition of the loft area and roof over the living area, is 0.65m lower than the rest of the roofed area and has no additional impact on any view lines
  - The overall aesthetics of the re-designed house, is a vast improvement from the visual appearance of the current structures, which are in need of maintenance and modernization. The chosen style for the re-designed house is in keeping with the current style of the dwelling. Traditional double pitched roof element with lean-to roofs flowing from this, but in a slightly modernized style
  - Due to slightly raised new double pitched roof and the addition of a loft area, the visual impact will be increased marginally, but in a positive manner, as the re-designed house will seamlessly be integrated within the existing residential context and vastly improve the visual aesthetics of the neighbourhood as a whole
  - It must be noted that the free-standing garage constructed against the southern balcony of the subject Erf, will be demolished

#### **4.4 IMPACT OF THE PROPOSED NEW DEVELOPMENT:**

##### **4.4.1 Economic impact:**

The Overstrand Municipality’s Land Zoning Scheme Regulations govern structures and the uses thereof on properties. The proposed new development on the application area, as highlighted throughout this Departure Application Document, form part of common residential components one would find on any typical residential

erf. With this being said, the proposed additions, alterations and renovations on Erf 1399 will add value to the property on the application area as well as the area in which it is located.

#### **4.4.2 Social impact:**

The proposed additions, alterations and renovations on Erf 1399 will have no impact on the social status of the area in which the application area is located, as no negative impact on the social wellbeing of the surrounding properties is anticipated. As mentioned elsewhere in the Departure Application Document, the proposed development is compatible with the character of the area and will not negatively impact the rights of any of the adjacent properties in the area.

#### **4.4.3 Compatibility with surrounding land uses:**

The application area is situated in an existing low-density residential area. The Departure Application does not pose to change the current zoning or the current land use of the application area, and therefore the current land use is compatible with the surrounding land uses.

As mentioned above, the surrounding properties are developed with single and double storey dwellings and the use of the surrounding properties is for permanent residences and holiday houses. The scale of the existing dwelling, and the scale of the proposed new development on the application area merge well with the scale of the surrounding dwellings in the immediate area.

#### **4.4.4 Impact on Municipal Engineering services:**

All services on the application area already exist.

The proposed additions, alterations and renovations on the application area will have no negative impact on the usage of the existing available municipal services, such as electricity, water, or sewerage, since no additional loading of the existing municipal services is needed.

#### **4.4.5 Impact on health, safety and the wellbeing on the surrounding community:**

The proposed new development on the application area will have no impact on the general safety and wellbeing of the surrounding community.

#### **4.4.6 Impact on heritage and heritage value:**

Erf 1399, the application area, is not situated within the Heritage Overlay Zone as determined by the Overstrand Municipality's Heritage Overlay Zone, has no grading, and has no heritage value.

#### **4.4.7 Impact on traffic, parking and access:**

There is an existing approved driveway giving access to the existing single garage at the rear of the property. The position of the driveway, will change due the re-design of the property. An application for the relocation of the driveway taking access from Main Road, has been submitted to the Department of Transport.

The land use of the property will remain the same and therefore the impact on the traffic flow and parking in the area withing the property, will remain unchanged.

## **5. PLANNING PRINCIPLES**

Policies, principles, planning, development norms, and criteria as set out in Section 42 of the Spatial Planning and Lund Use management Act (SPLUMA) and Chapter VI of the Land Use Planning Act (LUPA) were considered and the proposed Departure Application is in compliance with this. The principles are defined and recorded below:

### **5.1.1 Spatial justice:**

Spatial justice refers to the need to redress the past apartheid spatial development imbalances and aim for equity in the provision of access to opportunities, facilities, services, and land. In the broadest sense, it seeks to promote the integration of communities and the creation of settlements that allow the poorest of the poor to access opportunities.

The primary objective of this application is to enable the owner of Erf 1399, the application rea, to obtain approval for the proposed new additions, alterations and renovations to the application area. With this being said, it is important to note that it is not predicted that the proposed new development on the application area is set to influence past spatial injustices.

### **5.1.2 Spatial sustainability**

Spatial sustainability refers to a sustainable form of development. This means promoting less resource consuming development typologies that promote compaction, pedestrianization and mixed-use urban environments which allow for the development of a functional public transport system and space economy.

The proposed Departure Application intends to ensure that the property on the application area is utilized to its maximum capabilities.

### **5.1.3 Efficiency**

Efficiency refers to the need to create settlements that optimize the use of space, energy, infrastructure, resources, and land.

The proposed Departure Application, as mentioned above, is intended to logically maximize the use of space of the subject property within a developed residential area.

### **5.1.4 Spatial resilience**

Spatial resilience in the context of land use planning refers to the need to promote the development of sustainable livelihoods for the poor (i.e. communities that are more likely to suffer the impacts of economic and environmental shocks). Spatial resilience also refers to the requirement for flexibility in spatial plans, policies, and land use management systems to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks. The spatial plans, policies

and land use management systems should enable the communities to be able to resist, absorb and accommodate these shocks and to recover from these shocks in a timely and efficient manner, which includes the preservation and restoration of essential basic infrastructure and functions, but also adaptation in order to ensure increased resilience in terms of future shocks.

With the above being said, we are of the opinion that the principle of Spatial Resilience is not applicable to this Departure Application.

#### **5.1.5 Good administration**

Good administration in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role-players ensure a joint planning approach is pursued. Furthermore, it is critical that decisions made in terms of land use planning seek to minimize the negative financial, social, economic, and environmental impacts of a development. Furthermore, good administration in the context of land use planning, refers to a system which is efficient, well run, and where the timeframe requirements are adhered to.

#### **Engelbrecht & Scorgie Architectural Office :**

Our Company is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The Departure Application will follow due process as stipulated in the relevant Municipal By-Laws and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's By-Laws on Municipal Land Use Planning, 2020.

#### **Overstrand Municipality :**

The Overstrand Municipality has a credible track record of good administration regarding the method of public participation, as this forms an integral part of the land use planning process. This process provides people who may be affected by the proposal with an opportunity to provide their comments and to raise any possible issues of concern about the proposal or make possible suggestions that may result in an enhanced outcome of which both the affected parties will benefit from as these comments will be reviewed and considered after which it will be addressed accordingly.

## **6. FORWARD PLANNING**

The Overstrand Spatial Development Framework, 2020, earmarks the area where Erf 1399, the application area, is situated, for urban development purposes. The proposed alterations, additions and renovations for the Departure Application is required, form part of any typical residential component and the Overstrand Municipality's Zoning Scheme Regulations make provision for departure procedures to incorporate structures within the building line zones.

The character and zoning of the application area will remain unchanged and therefore the property falls within the existing planning of the Eastcliff/ Kwaiwater area.

## **RECOMMENDATION**

We trust that when the planning application is reviewed that all the information provided, will be considered.

The planning application on Erf 1399 for which approval is requested, includes :

- The western lateral building line departure from 2.0m to 0.88m and 1.21m respectively. The existing dwelling and free-standing out-building as constructed, has been re-designed, which includes renovations and additions within the lateral building line.
  - The proposed alterations, additions and renovations are aligned with the Overstrand Spatial Development Framework (2020), the Overstrand Growth Management Strategy (2010) and Planning Principles of Spluma (2013). The application reflecting the proposed alterations, additions and renovations to the existing structures, aligns with the development of the surrounding properties in the neighbourhood and “Old Hermanus” as a whole.
  - As mentioned throughout this document, the proposed additions, alterations and renovations have very little to zero impact on any of the surrounding properties.
  - The property values of surrounding erven, will not be affected other than in a positive manner, as the re-development of the property will add value to the application area, as well as to the surrounding properties and the rest of the neighbourhood as a whole.
  - There are no addition impact on the Municipal services.
  - There are no Heritage implication.
  - The proposed additions, alterations and renovations have been designed in such a way as to have a positive impact on the surrounding properties.
  - The re-developed property is well below the height restriction with much open area on 3 sides of the dwelling, ensuring a low visual impact on the streetscape.

Based on the factors and motivational reasons as mentioned, the proposed building line departure is considered to be reasonable and it is recommended that the application be considered positively.





**DEMOLITION AND REMEDIAL LAYOUT**  
Scale 1:50

**GENERAL NOTES AND SPECIFICATIONS**

- a. All above for windows
- b. All relevant capacity work including skilings and window sill.
- c. All relevant costs to repair damage done to brickwork or plaster by the plumber and electrician shall be included in the contract.
- d. All work shall be done in accordance with the relevant building codes and standards.
- e. All wall and floor finishing (all tiles or window reveals to be mitered).
- f. All work shall be done in accordance with the relevant building codes and standards.
- g. All work shall be done in accordance with the relevant building codes and standards.
- h. A chemical test to be provided on site and must be kept neat and clean at all times.
- i. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
- j. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
- k. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
- l. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
- m. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
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- w. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
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- y. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.
- z. The removal of rubble from site on a weekly basis before the weekend and as necessary during the week.

**COMPLIANCE TO HEALTH & SAFETY MEASURES:**

- 1. The contractor shall ensure that all workers are provided with appropriate personal protective equipment (PPE) and that all safety measures are strictly followed.
- 2. The contractor shall ensure that all workers are trained in the use of PPE and safety measures.
- 3. The contractor shall ensure that all workers are provided with first aid facilities and that all safety measures are strictly followed.
- 4. The contractor shall ensure that all workers are trained in the use of PPE and safety measures.
- 5. The contractor shall ensure that all workers are provided with first aid facilities and that all safety measures are strictly followed.
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- 7. The contractor shall ensure that all workers are provided with first aid facilities and that all safety measures are strictly followed.
- 8. The contractor shall ensure that all workers are trained in the use of PPE and safety measures.
- 9. The contractor shall ensure that all workers are provided with first aid facilities and that all safety measures are strictly followed.
- 10. The contractor shall ensure that all workers are trained in the use of PPE and safety measures.

**LEVELS AND DIMENSIONS:**

- 1. The levels and dimensions are shown on the drawings and shall be strictly followed.
- 2. The contractor shall ensure that all levels and dimensions are strictly followed.
- 3. The contractor shall ensure that all levels and dimensions are strictly followed.
- 4. The contractor shall ensure that all levels and dimensions are strictly followed.
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- 9. The contractor shall ensure that all levels and dimensions are strictly followed.
- 10. The contractor shall ensure that all levels and dimensions are strictly followed.

**DEMOLITION AND REMEDIAL WORK:**

- 1. Demolition of existing brickwork as shown.
- 2. Demolition of existing timber window, window frame, remove floor and frame.
- 3. Demolition of existing timber window, window frame, remove floor and frame.
- 4. Demolition of existing timber window, window frame, remove floor and frame.
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- 10. Demolition of existing timber window, window frame, remove floor and frame.

**REMOVAL OF EXISTING MATERIALS:**

- 1. Remove existing timber window, window frame, remove floor and frame.
- 2. Remove existing timber window, window frame, remove floor and frame.
- 3. Remove existing timber window, window frame, remove floor and frame.
- 4. Remove existing timber window, window frame, remove floor and frame.
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- 8. Remove existing timber window, window frame, remove floor and frame.
- 9. Remove existing timber window, window frame, remove floor and frame.
- 10. Remove existing timber window, window frame, remove floor and frame.

**DEMOLITION OF EXISTING MATERIALS:**

- 1. Demolish part of existing brickwork as shown to accommodate new window.
- 2. Demolish part of existing brickwork as shown to accommodate new window.
- 3. Demolish part of existing brickwork as shown to accommodate new window.
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Rev	Date	Description
1	10-05-2025	Original sketch plans issued to client
2	24-06-2025	Revised sketch plans
3	24-06-2025	Revised drawings
4	02-09-2025	Revised drawings
5	12-09-2025	Revised construction drawings - window doors and
6	23-09-2025	Revised drawings
7	16-10-2025	Upper floor level - left added
8	10-11-2025	Site plan layout revised
9	28-11-2025	Left and dates revised
10	01-11-2025	Left and dates revised
11	01-11-2025	Left and dates revised

CLIENT	House Teak
ADDRESS	347 Main Road Hermonia, 7200
ERF	ErF 1399, Hermonia
DRAWING No.	J1318; A1
DATE	16 October, 2025
SCALE	1 : 50
PAGE SIZE	A1
PROJECT NUMBER & PAGE No.	J1318; 02

DRAWN BY	Petro Priesnos
CHECKED BY	Gerhard Engelbrecht ST 1938 Brandon Scorgie ST 939
PROJECT DESCRIPTION	Proposed addition and alteration to residential dwelling
PAGE CONTENT	Demolition and remedial layout Current drawings - work in progress

**ENGELBRECHT & SCORGIE**  
ARCHITECTURAL OFFICE

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Members: SACAP, SAAB, B. Scorgie  
C2002002002

**OVERSTRAND MUNICIPALITY**  
is recommended for Building Plan No. 103 of 1977 and all other applicable law by the Building Control Officer.

Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager Building Control Officer.

<b>EXISTING FLOOR AREAS</b>	24.15m <sup>2</sup>
Existing window openings	11.73m <sup>2</sup>
Existing door openings	11.73m <sup>2</sup>
<b>Total existing floor area to be demolished</b>	<b>47.61m<sup>2</sup></b>
<b>NEW FLOORING</b>	
New ground floor	83.0m <sup>2</sup>
New first floor	83.2m <sup>2</sup>
New 2nd floor	38.47m <sup>2</sup>
<b>Total additional area</b>	<b>174.7m<sup>2</sup></b>
<b>CONCRETE CALCULATIONS:</b>	
Ef area	54m <sup>2</sup>
Faf covered area (ground and first floor)	277.2m <sup>2</sup>
<b>Total concrete area (approximate)</b>	<b>331.2m<sup>2</sup></b>

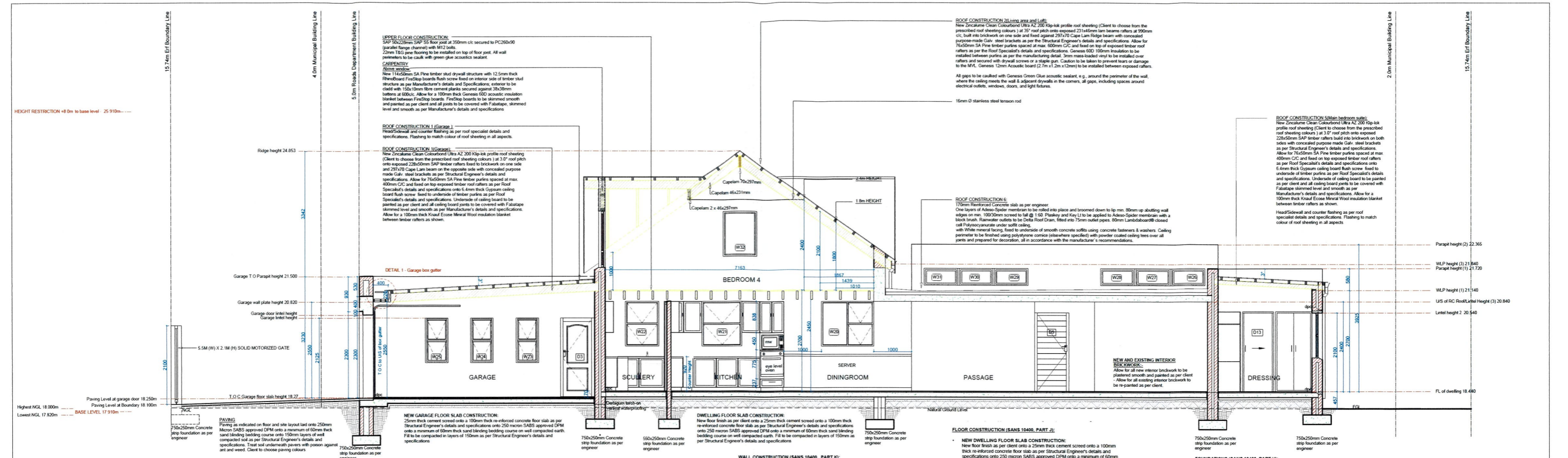
**Legend**

Opening Dimension	-----
Addition Dimension	-----
Work Above	-----
Work Below	-----
Demolish	-----
Building line	-----
Existing wall not to be demolished	-----
New wall	-----
Existing Drainage	-----
New Drainage	-----
Waste pipe	-----

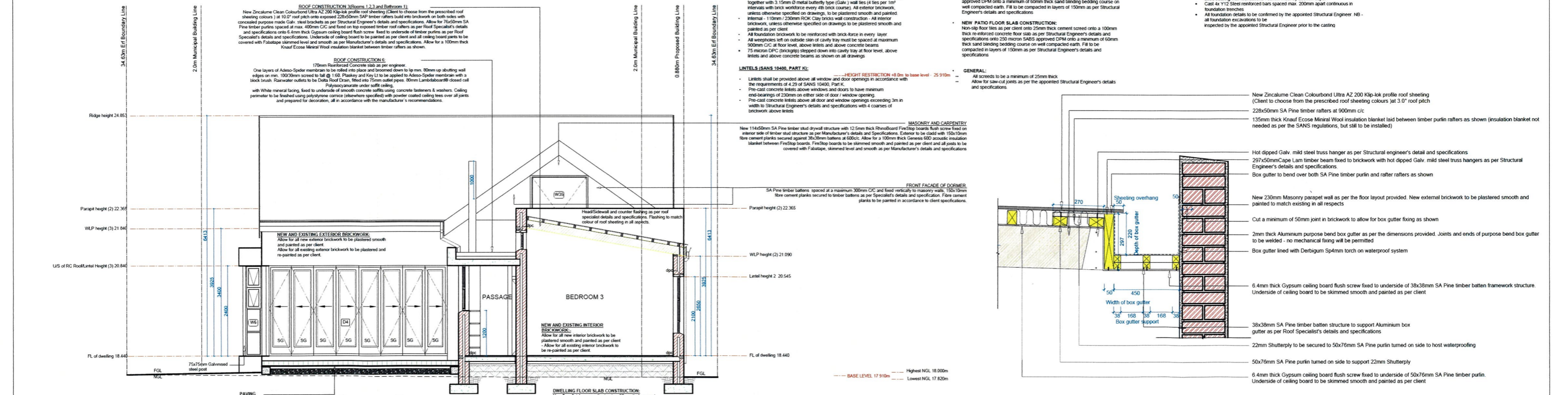








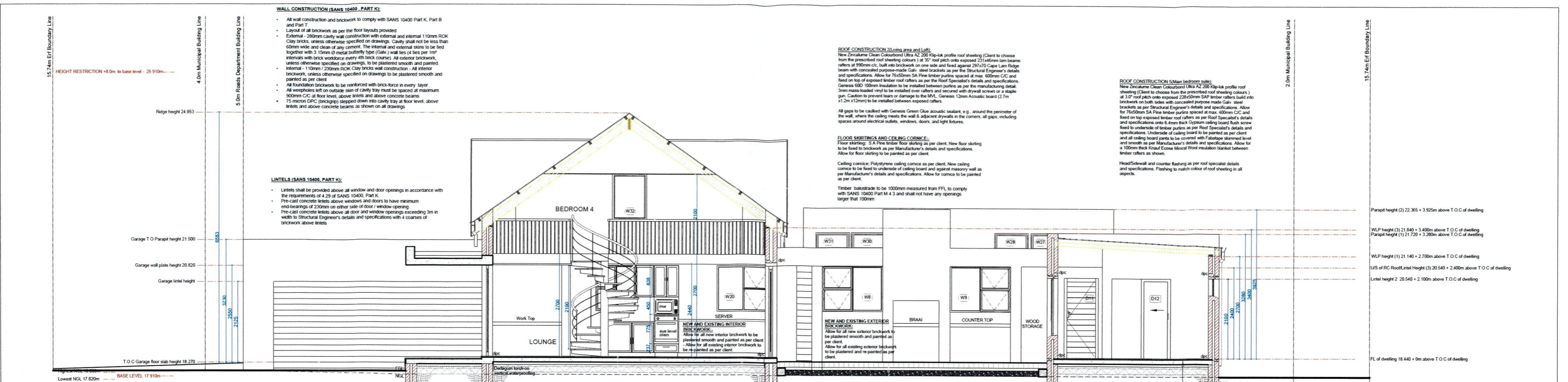
**SECTION A-A**  
Scale 1:50



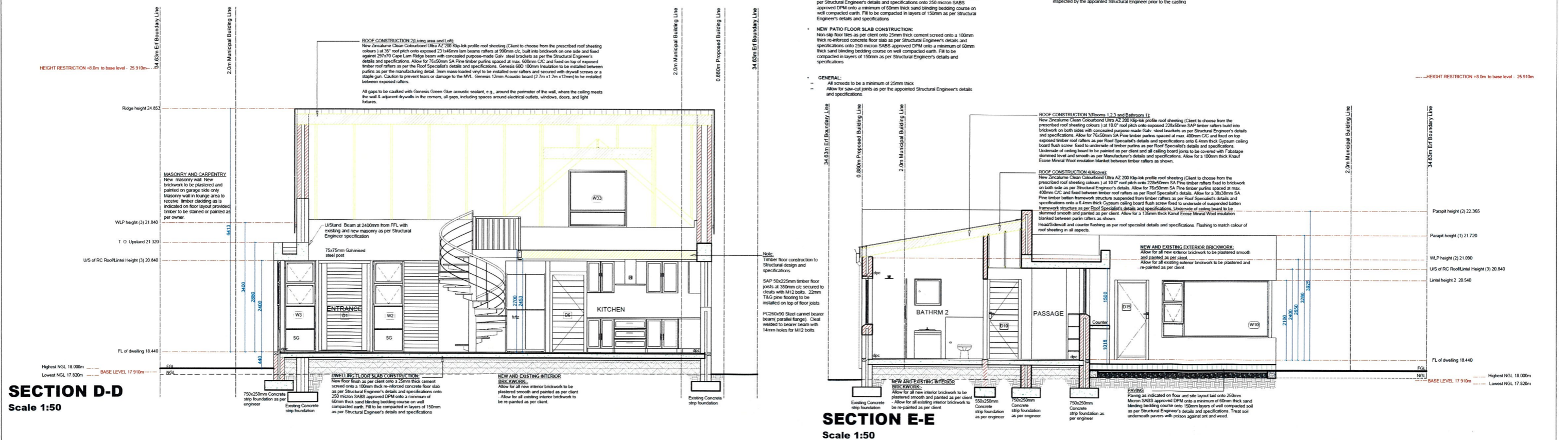
**SECTION B-B**  
Scale 1:50

**DETAIL 1 - GARAGE BOX GUTTER**  
Scale 1:10

<p><b>AREA CALCULATIONS MUNICIPALITY:</b></p> <p><b>EXISTING FLOOR AREAS</b></p> <p>Existing free-standing garages - to be demolished = 24.15m²          Existing dwelling = 111.78m²          Existing cottages/old building = 42.33m²</p> <p>Total existing (excluding garages to be demolished) = 154.11m²</p> <p><b>ADDITION TO EXISTING</b></p> <p>Ground floor = 82.03m²          New ground floor = 1.21m²          Total additional ground floor area = 83.24m²</p> <p>First Floor = 38.47m²          Total additional area = 121.71m²</p> <p><b>COVERAGE CALCULATIONS:</b></p> <p>Et area = 546m²          Total covered area (ground and first floor) = 272.49m²          Total covered area (ground floor) = 275.82m²</p>	<p><b>OVERSTRAND MUNICIPALITY</b></p> <p>Building Plan No. _____ is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.</p> <p>Date _____</p> <p>Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control</p> <p>Date _____</p>	<p><b>ENGELBRECHT &amp; SCORGIE</b> ARCHITECTURAL OFFICE</p> <p>48 Main Road, Onrust River • PO Box 181 • Onrust River          Tel 028 316 3294 • Fax 028 316 2200 • archoffice@mavnet.co.za</p> <p>Members: G Engelbrecht &amp; B Scorgie          OC06902683623</p>	<table border="1"> <thead> <tr> <th>Rev</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td>1</td><td>Original sketch plans issued to client</td><td>10-08-2025</td></tr> <tr><td>2</td><td>Revised sketch plans</td><td>24-07-2025</td></tr> <tr><td>3</td><td>Municipal submission drawings</td><td>24-08-2025</td></tr> <tr><td>4</td><td>Revised drainage</td><td>02-09-2025</td></tr> <tr><td>5</td><td>Revised construction drawings - window/doors and replace</td><td>12-09-2025</td></tr> <tr><td>6</td><td>Revised drainage</td><td>23-09-2025</td></tr> <tr><td>7</td><td>Upper floor level - left added</td><td>16-10-2025</td></tr> <tr><td>8</td><td>Site Plan layout revised</td><td>05-11-2025</td></tr> <tr><td>9</td><td>Area revised</td><td>10-11-2025</td></tr> <tr><td>10</td><td>Loft and stairs revised</td><td>28-11-2025</td></tr> <tr><td>11</td><td>Loft and stairs revised</td><td>01-12-2025</td></tr> </tbody> </table>	Rev	Description	Date	1	Original sketch plans issued to client	10-08-2025	2	Revised sketch plans	24-07-2025	3	Municipal submission drawings	24-08-2025	4	Revised drainage	02-09-2025	5	Revised construction drawings - window/doors and replace	12-09-2025	6	Revised drainage	23-09-2025	7	Upper floor level - left added	16-10-2025	8	Site Plan layout revised	05-11-2025	9	Area revised	10-11-2025	10	Loft and stairs revised	28-11-2025	11	Loft and stairs revised	01-12-2025	<p><b>DRAWN BY:</b> Peto Pretorius</p> <p><b>CHECKED BY:</b> Gerhard Engelbrecht ST 1938          Brandon Scorgie ST 1939</p> <p><b>PROJECT DESCRIPTION:</b> Proposed addition and alteration to residential dwelling</p> <p><b>PAGE CONTENT:</b> Sections A-A and B-B          Current drawings - work in progress</p> <p>This drawing and design is subject to copyright and must not be reproduced in part or in whole without prior written consent. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.</p>	<p><b>CLIENT:</b> Justin Tabor Teek</p> <p><b>ADDRESS:</b> 347 Main Road Hermanus, 7200</p> <p><b>ERF:</b> Erf 1399, Hermanus</p> <p><b>DRAWING No.:</b> J1318; A1</p> <p><b>DATE:</b> 16 October, 2025</p> <p><b>SCALE:</b> 1:50</p> <p><b>PAGE SIZE:</b> A1</p> <p><b>PROJECT NUMBER &amp; PAGE No.:</b> J1399 - 06</p> <p><b>REV:</b> 11</p>
Rev	Description	Date																																							
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**SECTION C-C**  
Scale 1:50



**SECTION D-D**  
Scale 1:50

**SECTION E-E**  
Scale 1:50

**AREA CALCULATIONS MUNICIPALITY:**

<b>EXISTING FLOOR AREAS</b>	
Existing free-standing garages - to be demolished	= 24.15m <sup>2</sup>
Existing dwelling	= 111.7m <sup>2</sup>
Existing cottages/out-building	= 42.33m <sup>2</sup>
<b>Total existing (excluding garages to be demolished) =</b>	<b>154.11m<sup>2</sup></b>
<b>ADDITION TO EXISTING</b>	
Ground floor	= 82.03m <sup>2</sup>
New ground floor	= 1.21m <sup>2</sup>
New covered porch	= 1.21m <sup>2</sup>
<b>Total of additional ground floor area =</b>	<b>84.45m<sup>2</sup></b>
<b>FULL FLOOR</b>	<b>= 38.47m<sup>2</sup></b>
<b>Total additional area =</b>	<b>121.71m<sup>2</sup></b>
<b>COVERED CALCULATIONS:</b>	
Erf area	= 545m <sup>2</sup>
Total covered area (ground and first floor) =	274.49m <sup>2</sup>
Total covered area (ground floor) =	275.82m <sup>2</sup>

**OVERSTRAND MUNICIPALITY**

Building Plan No. \_\_\_\_\_ is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer

Date: \_\_\_\_\_

Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager/ Building Control Officer

Date: \_\_\_\_\_

**ENGELBRECHT & SCORGE**  
ARCHITECTURAL OFFICE

48 Main Road, Oudt River - PO Box 181 - Oudt River  
Tel 028 316 3294 - Fax 028 316 2200 - archoffice@msn.co.za

Members: G Engelbrecht & Scorge  
CK090698923

Rev	Description	Date
1	Original sketch plans issued to client	10-06-2025
2	Revised sketch plans	24-07-2025
3	Municipal submission drawings	24-08-2025
4	Revised drainage	02-09-2025
5	Revised construction drawings - windows/ doors and fireplace	12-09-2025
6	Revised drainage	23-09-2025
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8	Site Plan layout revised	05-11-2025
9	Area revised	10-11-2025
10	Loft and stairs revised	28-11-2025
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**DRAWN BY:** Petro Pretorius

**CHECKED BY:** Gerhard Engelbrecht ST 1938  
Brandon Scorge ST 1939

**CLIENT:** Justin Tabor Teek

**ADDRESS:** 347 Main Road  
Hermanus, 7200

**ERF:** Erf 1399, Hermanus

**DRAWING No.:** J1318; A1

**PROJECT DESCRIPTION:** Proposed addition and alteration to residential dwelling

**PAGE CONTENT:** Sections C-C and D-D  
Current drawings - work in progress

**DATE:** 16 October, 2025

**SCALE:** 1 : 50

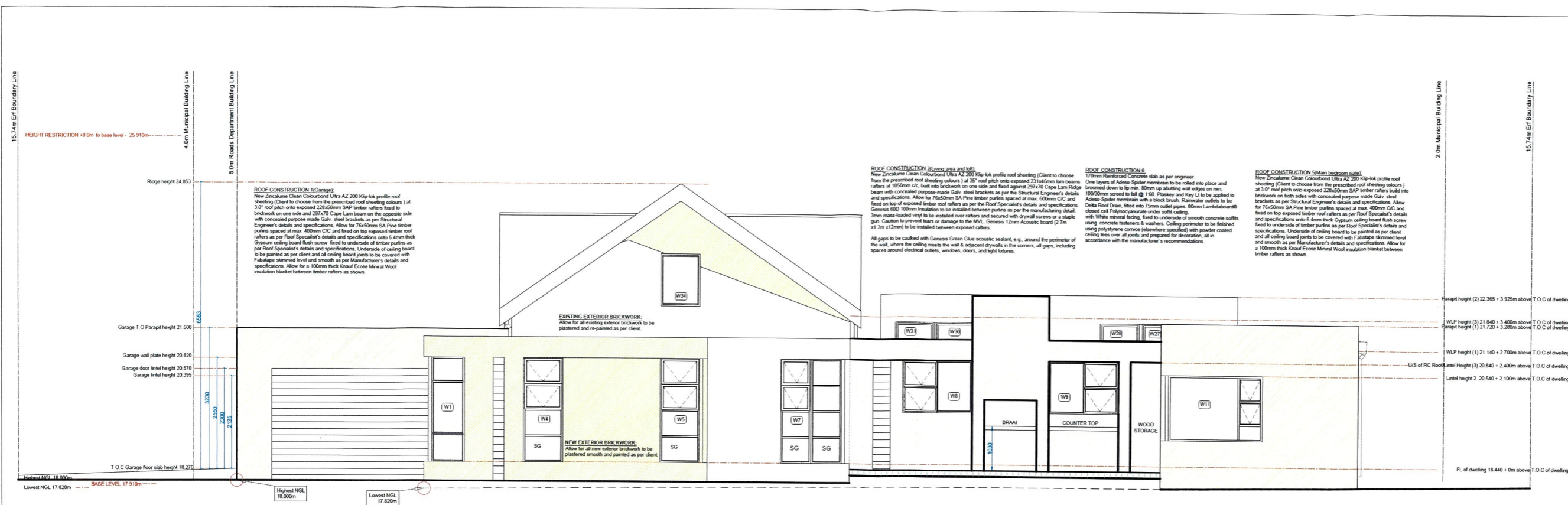
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**PROJECT NUMBER & PAGE No.:** J1399 - 07

**REV:** 11

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**NORTH EAST ELEVATION**

**RAINFATHER GOODS (SANS 10400, PART R)**

- GUTTERS:** New gutters - 125x100mm Seamless Aluminium Open profile gutters. Fixing of gutters strictly as per Specialist's details and specifications with gutter brackets spaced at max. 500mm C/C. Rainwater goods colour to match building colour unless specified otherwise.
- FASCIA BOARDS:** New fascia boards - Nutec Cement fibre boards, medium density (250 x 12mm) cut to 160mm and fixed to rafter ends. Fascia joiners to be used between fascia lengths and at corners.
- DOWNPIPES:** New downpipes - 110mm Ø / 75mm Ø (refer to drawings) PVC downpipes. Refer to the roof layout provided for the exact positions of new downpipes. Downpipes to be securely fixed to brickwork as per Specialist's details and specifications. Rainwater goods colour to match building colour unless specified otherwise.
- RAINFATHER SPREADERS:** 75x50mm rectangular profile aluminium downpipe connected to an Aluminium rainwater spreader (RWS) as per Specialist's details and specifications. Refer to the roof layout provided for the exact positions of rainwater spreaders. Colour of rainwater spreader and downpipe to match colour of roof sheeting in all respects.

**LEVELS AND DIMENSIONS:**

- The additions and alterations to be laid out and erected in the positions and to the levels as indicated on the drawings.
- All top soil must be removed from the area to be built upon.
- Excavate where necessary to reduce levels as shown on drawings.
- Excavated material can be used for filling if suitable and can also be used for other site works.
- All grading and leveling of ground must be done by a qualified Civil Contractor.
- Minor filling can be done by the appointed Contractor.
- Where large tree stumps and stumps are to be removed in the area, the hole must be filled with suitable material and well compacted in layers of max. 150mm before building on.

**DOOR FURNITURE AND IRONMONGERY:**

- Allow for a PC amount as specified in the provided tender documentation.
- All door furniture and ironmongery to be specified by client.
- Ensure that all door furniture and ironmongery is protected and kept free from paint.

**WINDOWS, DOORS AND OPENINGS (SANS 10400, PART N & O):**

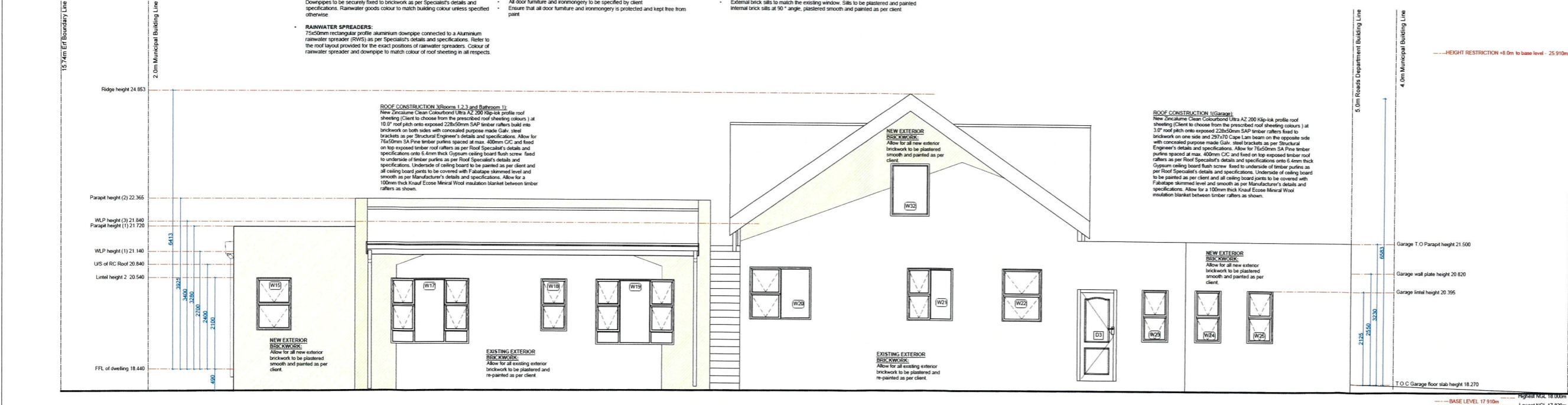
- Windows to exceed 0.2 or 10% of a room floor area with a minimum of 5% to be operable as per SANS 10400 Part O.
- Glazing to comply with SANS 10400 Part N and SABS 0137 and 1263 as relevant.
- Glazing to windows and doors exceeding 1m<sup>2</sup> or lower than 500mm from floor level to be minimum firm laminated safety glazing.
- All sections of SANS 10400 Part T and W3 to be complied with.
- Doors and windows built into walls securely, plumb and correctly installed to Manufacturer's details and specifications.
- 375 Micron 300mm wide DPC to be built in around all door and window openings.
- 375 Micron DPC (backlog) stepped down into cavity tray above pre-cast concrete lintels.

**WINDOW AND DOOR SILLS:**

- External brick sills to match the existing window. Sills to be plastered and painted.
- Internal brick sills at 90° angle, plastered smooth and painted as per client.

**LINTELS (SANS 10400, PART X):**

- Lintels shall be provided above all window and door openings in accordance with the requirements of 4.29 of SANS 10400, Part X.
- Pre-cast concrete lintels above windows and doors to have minimum end-bearing of 200mm on either side of door / window opening.
- Pre-cast concrete lintels above all door and window openings exceeding 3m in width to Structural Engineer's details and specifications with 4 courses of brickwork above lintels.



**SOUTH WEST ELEVATION**

Scale 1:50

**GENERAL NOTES ON SANS 10400:XA Requirements**

No alterations are to be made without consulting the architectural professional for recalculation of SANS 10400, part XA:2021 requirements to ensure compliance.

N.B.  
- Roof overhang to remain as given.  
- No doors & window specs can be altered in any way without a recalculation.  
- All insulation to roof, pipe work etc. to be strictly adhered to.

**AREA CALCULATIONS MUNICIPALITY:**

EXISTING FLOOR AREAS	
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<b>Total existing (excluding garages to be demolished)</b>	<b>= 154.11m<sup>2</sup></b>
ADDITION TO EXISTING	
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New covered porch	= 1.21m <sup>2</sup>
<b>Total additional ground floor area</b>	<b>= 83.24m<sup>2</sup></b>
First floor	= 38.47m <sup>2</sup>
<b>Total additional area</b>	<b>= 121.71m<sup>2</sup></b>
COVERAGES CALCULATIONS	
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<b>Total covered area (ground and first floor)</b>	<b>= 272.49m<sup>2</sup></b>
<b>Total covered area (ground floor)</b>	<b>= 275.82m<sup>2</sup></b>

**OVERSTRAND MUNICIPALITY**

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Date \_\_\_\_\_

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Date \_\_\_\_\_

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ARCHITECTURAL OFFICE

48 Main Road, Orust River - PO Box 181 - Orust River  
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Members: G Engelbrecht & B Scorgie  
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DRAWN BY: Petro Pretorius  
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PROJECT DESCRIPTION: Proposed addition and alteration to residential dwelling  
PAGE CONTENT: Elevations  
Current drawings - work in progress

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ADDRESS: 347 Main Road, Hermanus, 7200  
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DATE: 16 October, 2025  
SCALE: 1:101 : 50  
PAGE SIZE: A1

PROJECT NUMBER & PAGE No.: J1399 - 9  
REV: 11