



ERF 12816, 229 ELEVENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: WYNAND WILSENACH ARCHITECTS ON BEHALF OF WL GREEFF

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for the following:

- **Departure** in terms of Section 16(2)(b) of the By-Law in order to:
 - relax the eastern lateral building line from 2m to 0m to accommodate the existing boundary wall and gate, along with the existing standard boundary wall at a maximum height of 2.32m and 2.16m above natural ground level;
 - relax the eastern lateral building line from 2m to 1.04m to accommodate the existing timber beam at a height of 5.35m above the natural ground level;
 - relax the western lateral building line from 2m to 0m to accommodate existing boundary wall and gate at a maximum height of 2.21m above natural ground level;
 - relax the western lateral building line from 2m to 0.485m to accommodate existing timber beam at a height of 5.325m above natural ground level; and
 - relax the western lateral building line from 2m to 0m to accommodate existing garage at a height of 3.925m.
- **Determination of an administrative penalty** in terms of Section 16(2)(q) of the By-Law.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Division: Town and Spatial Planning at 16 Paterson Street, Hermanus and on the municipal webpage at the following link <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) on or before **18 September 2026**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. P Roux** at 028-313 8983. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Division: Town and Spatial Planning where a municipal official will assist them in order to formalize their comment.

Please note that in terms of the Protection of Personal Information Act (POPIA), you will be entering into a public process and as such agree and consent to your name, surname, contact details and comment(s) may be disclosed / used in the (application) process.

ERF 12816, ELFDESTRAAT 229, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: WYNAND WILSENACH ARCHITECTS NAMENS WL GREEFF

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ontvang is vir die volgende:

- **Afwyking** ingevolge Artikel 16(2)(b) van die Verordening ten einde die:
 - die oostelike syboullyn vanaf 2m na 0m te verslap om die bestaande grensmuur en hek, tesame met die bestaande standaardgrensmuur teen 'n maksimum hoogte van 2.32m en 2.16m bo natuurlike grondvlak te akkommodeer;
 - die oostelike syboullyn vanaf 2m na 1.04m te verslap om die bestaande houtbalk op 'n hoogte van 5.35m bo natuurlike grondvlak te akkommodeer;
 - die westelike syboullyn vanaf 2m na 0m te verslap om die bestaande grensmuur en hek teen 'n maksimum hoogte van 2.21m bo natuurlike grondvlak te akkommodeer; en
 - die westelike syboullyn vanaf 2m na 0.485m te verslap om die bestaande houtbalk op 'n hoogte van 5.325m bo natuurlike grondvlak te akkommodeer.
- **Bepaling van 'n administratiewe boete** ingevolge Artikel 16(2)(q) van die Verordening om die onwettige boulynoorskryding te wettig.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weekdae tussen 08:00 en 16:30 by die Afdeling: Stads- en Streekbeplanning, Hermanus en op die munisipale webtuiste by die volgende skakel <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (e) landuse@overstrand.gov.za) voor of op **18 September 2026**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mr. P Roux** at 028-313 8983. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Afdeling: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

U aandag word gevestig op die Bepalinge van die "POPI" Wet, en aangesien u opmerking deel sal uitmaak van 'n openbare deelname proses, u derhalwe toestem dat u naam, van, kontakbesonderhede en kommentaar (e) openbaar gemaak mag word.

ISIZA 12816, 229 ELEVENTH STREET, VOËLKLIP, HERMANUS, INDAWO KAMASIPALA WASE OVERSTRAND: ISICELO SOKUHAMBA KUNYE NOKUSETYENZISWA KWESOHLWAYO SOKULAWULA: WYNAND WILSENACH ARCHITECTS ON EGAMENI LE-WL GREEFF

- **Ukuhamba** ngokwemiqathango yeCandelo 16(2)(b) loMthetho kaMasipala ukuze:
 - kuphungulwe umgca wesakhiwo osecaleni osepuma ukusuka kwi-2m ukuya ku-0m ukuze kulungiselelwe udonga olukhoyo lomda kunye nesango elikhoyo, kunye nodonga olusecaleni oluqhelekileyo olukhoyo kumphakamo ophezulu we-2.32m kunye ne-2.16m ngaphezu komgangatho womhlaba wendalo;
 - kuphungulwe umgca wesakhiwo osecaleni osepuma ukusuka kwi-2m ukuya kwi-1.04m ukuze kulungiselelwe umqadi womthi okhoyo kumphakamo we-5.35m ngaphezu komgangatho wendalo womhlaba;
 - kuphungulwe umgca wesakhiwo osecaleni osentshona ukusuka kwi-2m ukuya ku-0m ukuze kulungiselelwe udonga olukhoyo lomda kunye nesango kumphakamo ophezulu we-2.21m ngaphezu komgangatho womhlaba wendalo;
 - kuphungulwe umgca wesakhiwo osecaleni osepuma ukusuka kwi-2m ukuya kwi-0.485m ukuze kulungiselelwe umqadi womthi okhoyo kumphakamo we-5.325m ngaphezu komgangatho wendalo womhlaba; kunye
 - kuphungulwe umgca wesakhiwo osecaleni osentshona ukusuka kwi-2m ukuya ku-0m ukuze kulungiselelwe igaraji ekhoyo kumphakamo we-3.925m.
- **Ukumiselwa kwesohlwayo solawulo** ngokwemiqathango yeCandelo 16(2)(q) loMthetho kaMasipala.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ukuze zihlolwe ngeentsuku zokusebenza ngamaxesha eveki phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: Ucwangciso lweDolophu noMmandla, eHermanus nakwiphapha lewebhusayithi likamasipala kwelikhonkco lilandelayo <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Naziphi na izimvo ngesindululo mazingeniswe ngokubhaliweyo ngokwemigaqo yeCandelo lama-51 kunye nelama-52 loMthetho kaMasipala omiselweyo kuMasipala (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) ngaphambi okanye nge-**18 eyomSintsi 2026**, ebonisa igama, idilesi neenkukacha zohagamshekwano, umdla kwisicelo kwakunye nezizathu zezimvo. Imibuzo ngomnxeba ingabhekiswa ku**Mnu. P Roux** kule nombolo 028-313 8900. UMasipala unokwala ukwamkela izimvo emva komhla wokuvula. Nawuphi na umntu ongakwaziyo ukufunda okanye ukubhala angandwendwela iSebe: loCwangciso lweDolophu noMmandla apho aya kuthi ancediswe ligosa likamasipala ukuze anike izimvo zakhe ngokusesikweni.

Nceda uqaphеле ukuba ngokoMthetho woKhuseleko lweNgcaciso loLwazi loBuqu (POPIA), uya kuba zingena kwinkqubo kawonke-wonke kwaye uvuma ukuba igama lakho, ifani, iinkcukacha zohagamshekwano kunye nezimvo zingabengezwa / zisetyenziswe kwi (isicelo) inqubo.



MOTIVATION REPORT: APPLICATION FOR PERMANENT DEPARTURE – REV01

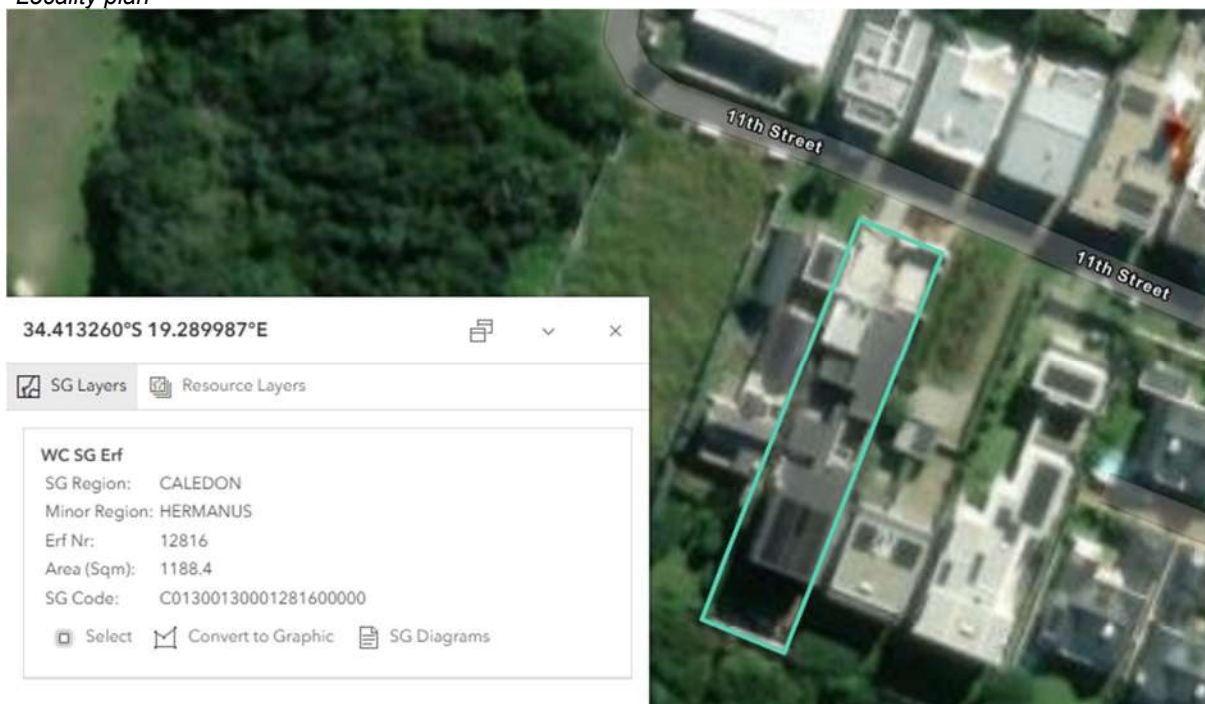
ERF 12816, HERMANUS

1. PROPERTY DETAILS

- **Property Description:** Erf 12816 Hermanus.
- **Physical Address:** 229 11th Street, Hermanus.
- **Extent:** 1189m².
- **Zoning:** Residential Zone 1: Single Residential (SR1).
- **Title Deed:** 030377/22.
- **Registered Owner:** Wynand Louw Greeff

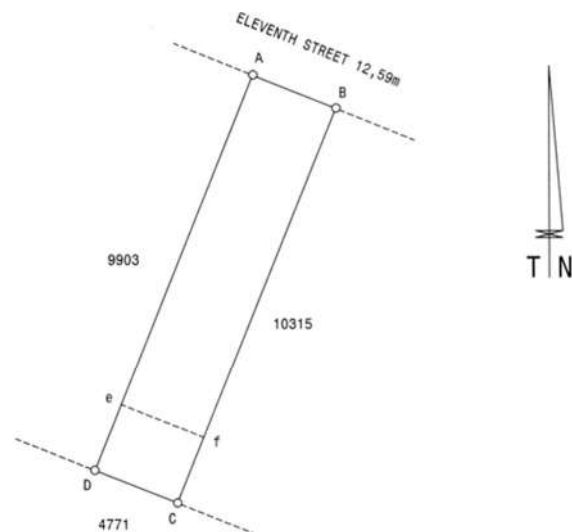


Locality plan





Zoning Map extract



SCALE 1 : 750

The figure ABCD represents 1189 square metres of land, being

ERF 12816 HERMANUS and comprises 1. and 2. as above

Surveyor General diagram extract

Current street view from 11th Street looking due west - November 2025

2. EXECUTIVE SUMMARY

This application is submitted in terms of the **Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020**. The owners of the subject property intend to **regularise** and/or permit specific departures from the **Overstrand Municipality Land Use Scheme (OMLUS), 2020**.

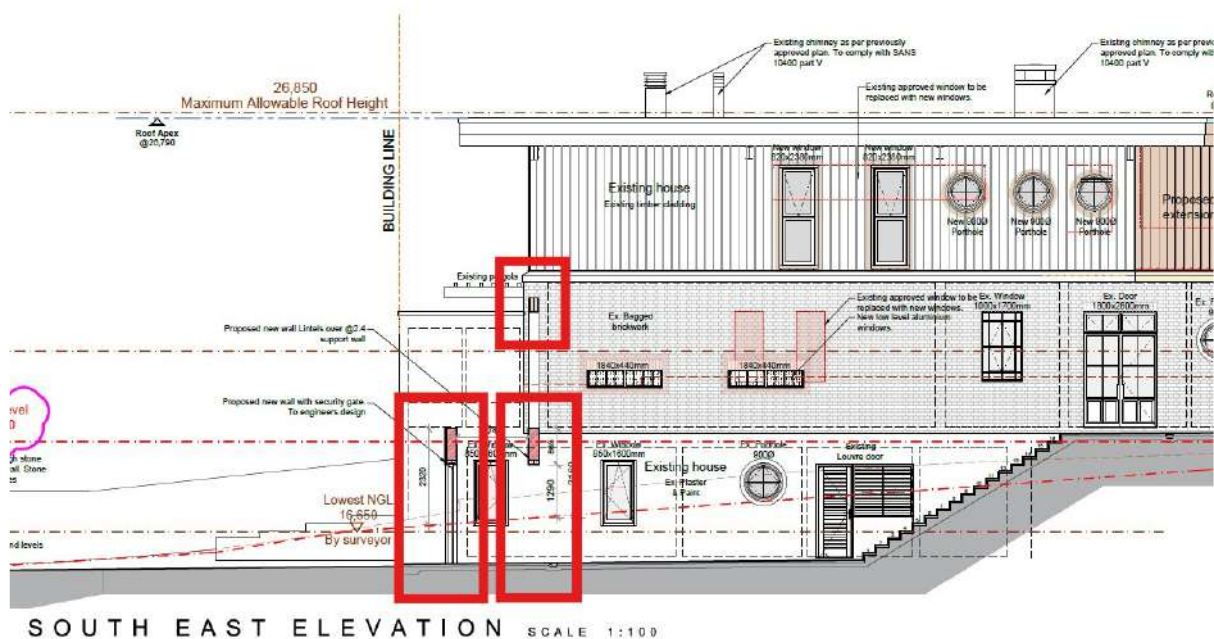
The application seeks to address historical boundary encroachments, timber beams, and a garage roof adjustment. This revised report provides the descriptive spatial specifics, height details, and the formal administrative penalty framework requested by the Municipality.

3. PROPOSED DEPARTURES

Application is made in terms of **Section 16(2)(b)** of the By-Law for permanent departures from the prescribed development parameters:

3.1 Eastern Lateral Boundary Interface

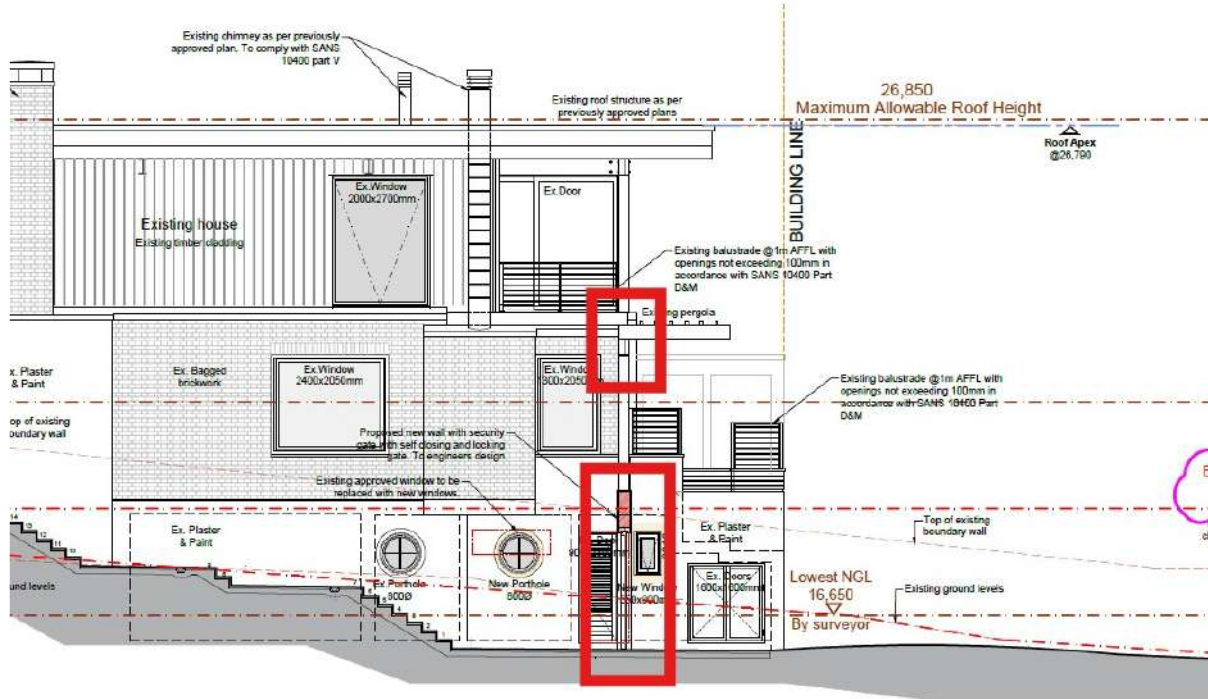
- Departure 1 (Servitude Area Boundary Wall):** Application is made to relax the eastern lateral building line parameter to accommodate a **1.6m x 0.46m** plastered and painted wall structure. This wall is positioned perpendicular to the eastern boundary line and is located within the defined building line of **0m in lieu of 2m**. The structure reaches a maximum vertical height of **2.32m** from Natural Ground Level (NGL), thereby exceeding the standard permissible boundary height limit of **2.1m**.



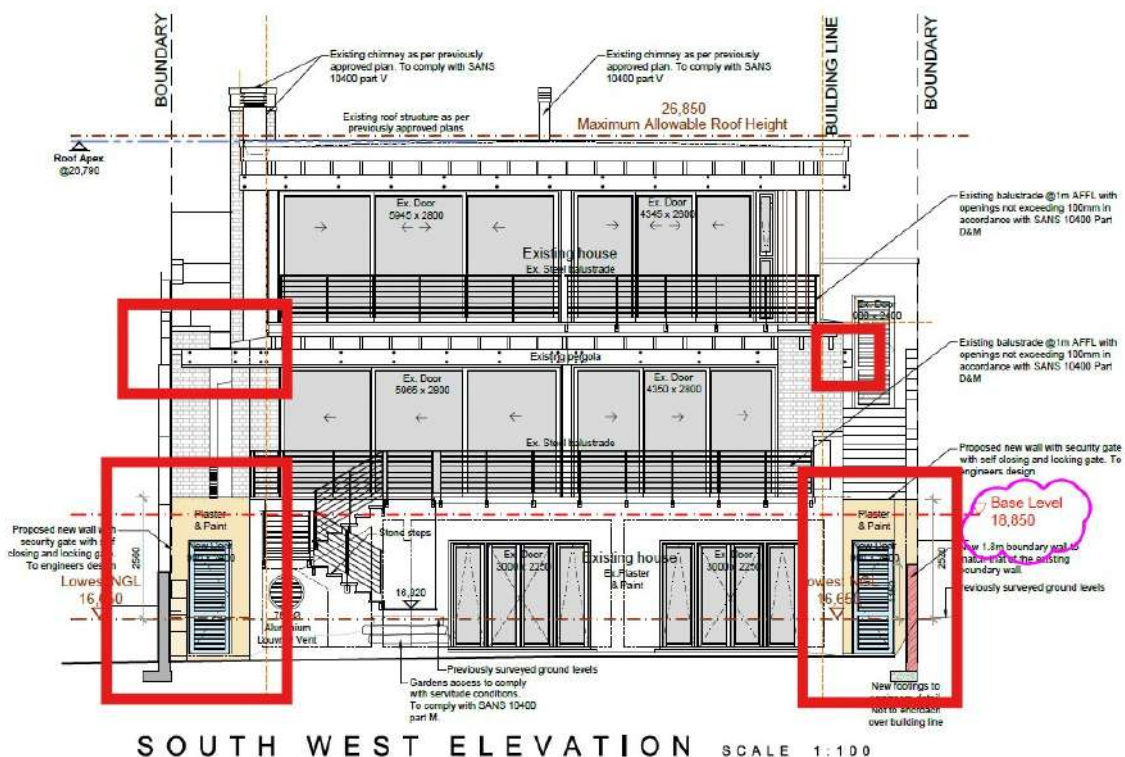
- Departure 2 (Standard Boundary Wall):** Application is made to relax the eastern lateral building line to permit a second **1.6m x 0.46m** plastered and painted wall. Positioned perpendicular to the eastern boundary within the defined building line of **0m in lieu of 2m**, this feature reaches a maximum vertical height of **2.16m** from NGL, exceeding the permissible **2.1m** parameter.
- Departure 3 (Timber Beam Encroachment):** Application is made to permit a **100mm timber beam** to project over the eastern lateral building line within the defined building line of **1.04m in lieu of 2m**. The structural placement of this beam sits at a height of **5.35m** above NGL, which exceeds the allowed **2.1m** restriction within the building line setback area.

3.2 Western Lateral Boundary Interface

- Departure 4 (Boundary Wall):** Application is made to relax the western lateral building line parameter to accommodate a **1.7m x 0.46m** plastered and painted wall. Situated perpendicular to the western boundary line within the defined building line of **0m in lieu of 2m**, this wall tracks to a maximum vertical height of **2.21m** from NGL, exceeding the permissible **2.1m** restriction.

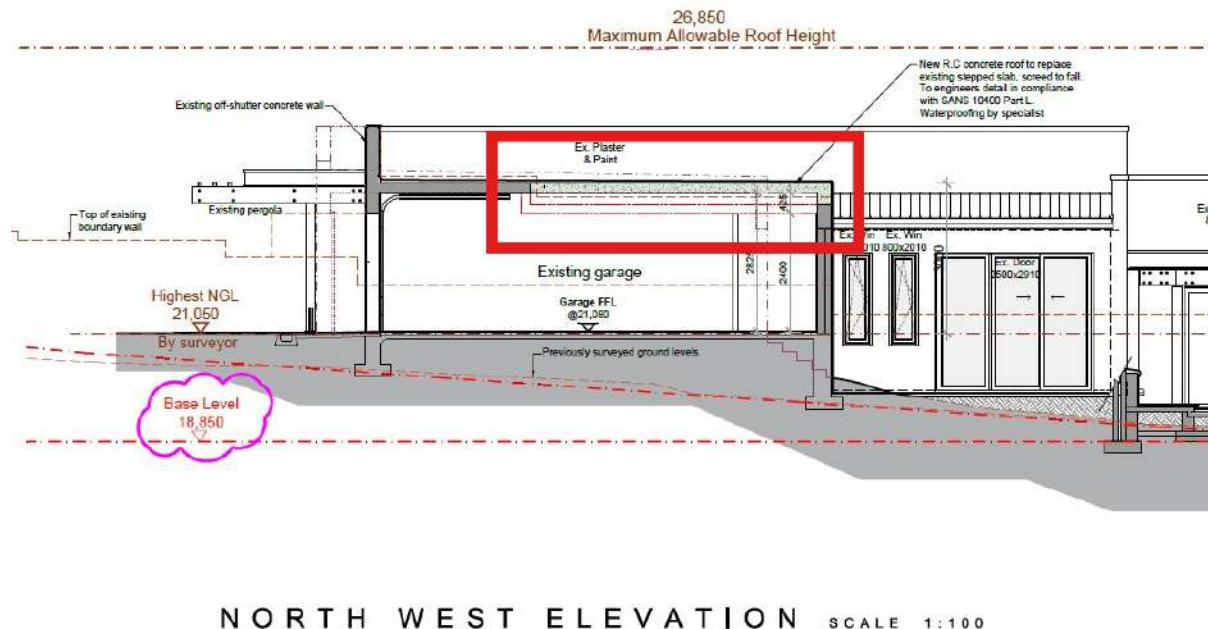


- Departure 5 (Timber Beam Encroachment):** Application is made to allow a **1.85m timber beam** to cross over the western building line parameter within the defined building line of **0.485m in lieu of 2m** at a finished height of **5.325m** above NGL, exceeding the standard **2.1m** height restriction.



3.3 Garage Height Departure

- Departure 6 (Garage Roof Lift):** The Land Use Scheme dictates a maximum height parameter of **3.5m** for single residential garages. To accommodate the structural roof design, application is made to relax this parameter, lifting the garage roof profile by **425mm** to a total height of **3.925m** above NGL, within **0m in lieu 2m** building.



4. PLANNING ASSESSMENT

4.1 Character of the Environment

The Voëlklip residential fabric contains varied coastal topography where stepped boundary treatments, architectural timber pergolas, and roof profile adjustments are common design solutions.

4.2 Neighbouring Amenity:

The walls and timber elements are non-habitable, lightweight, or low-scale. They present no threat of overshadowing, blockages of natural light, or visual obstruction to the adjacent properties.

4.3 Services and Traffic:

These features generate zero additional floor area, sewer loading, or traffic impact on Eleventh Street.

5. SECTION 90 ADMINISTRATIVE PENALTY ASSESSMENT

In direct accordance with Section 16(2)(q) and Section 90(3) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020, the following details are submitted for consideration:

- (a) Nature, Duration, Gravity, and Extent of the Contravention:** The contraventions are minor in structural extent, consisting of lateral boundary height extensions ($\pm$ boundary walls and beams) and a minor 425mm structural height variance on a garage roof. The total physical footprint area of the building line encroachments is strictly limited to 11.6 m². The structures are non-habitable and do not compromise public safety, structural integrity, or civil infrastructure.

- (b) Conduct of the Person Involved:** The owner, WL Greeff, was aware that the executed building and boundary alterations deviated from standard parameters and would require subsequent regularisation. Rather than evading municipal oversight, the owner proactively appointed a professional architectural team to survey the deviations, compile the necessary technical documentation, and submit this formal application. This demonstrates a cooperative intent to bring the entire property into full statutory alignment with the Overstrand Municipality Land Use Scheme, 2020.
- (c) Report by a Quantity Surveyor:** In compliance with the Municipality's directive please see an itemised costings detailing the construction value of the affected structures have been provided under Section 6 of this report and appended as **Annexure A**.
- (d) Whether the Unlawful Conduct Was Stopped:** All active construction work relating to the encroaching elements has ceased. No further structural alterations will be executed on-site until the Municipality has finalised its land use decision and building plan assessments.
- (e) Whether the Person Allegedly Involved Has Previously Contravened this By-Law or a Previous Planning Law:** It is placed on record that administrative penalties were previously determined and paid for historical work executed on this property. While this establishes a precedent of prior non-compliance, it also demonstrates the owner's track record of fulfilling their financial and legal obligations to the Municipality without delay.

The current application is a definitive, comprehensive effort to regularise all remaining outstanding structural anomalies on the erf simultaneously, ensuring that no further rolling non-compliance occurs. We respectfully request that the Municipal Planning Tribunal or Authorised Official balances this historical factor against the owner's current proactive transparency and voluntary disclosure.

6. COSTING

COSTING AND SPECIFICATION SUMMARY

As mandated by the outstanding information directive, separate independent costings for the affected structures are detailed below. The formal items include materials and labour calculations for the boundary walls, timber beams, and modified garage roof work.

Structural Element	Quotation 1 –costs from AMPS QS (KAD Construction)
Eastern Boundaries (Walls & 100mm Beam)	R 5 382.38
Western Boundaries (Wall & 1.85m Beam)	R 11 459.46
Garage Roof Structural Adjustment (425mm Lift)	R 18 153.47
Total Estimated Construction Value	R 34 995.31

Note: Complete signed copy appended to this report under **Annexure A**.

7. CONCLUSION

The localised departures requested for Erf 12816 are minor in planning scope, completely benign to the streetscape of Voëlklip, and accurately quantified. The documentation satisfies the legislative requirements of Section 43(1) and Section 90. It is respectfully requested that the application be processed favourably.

Prepared by Hugh Paver PrArch – for Wynand Wilsenach Architects (Pty) Ltd

Attached:

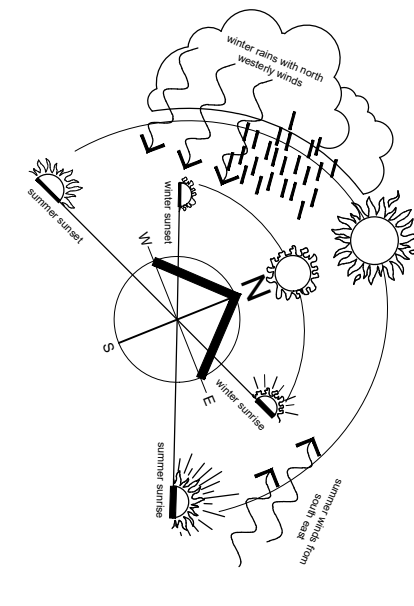
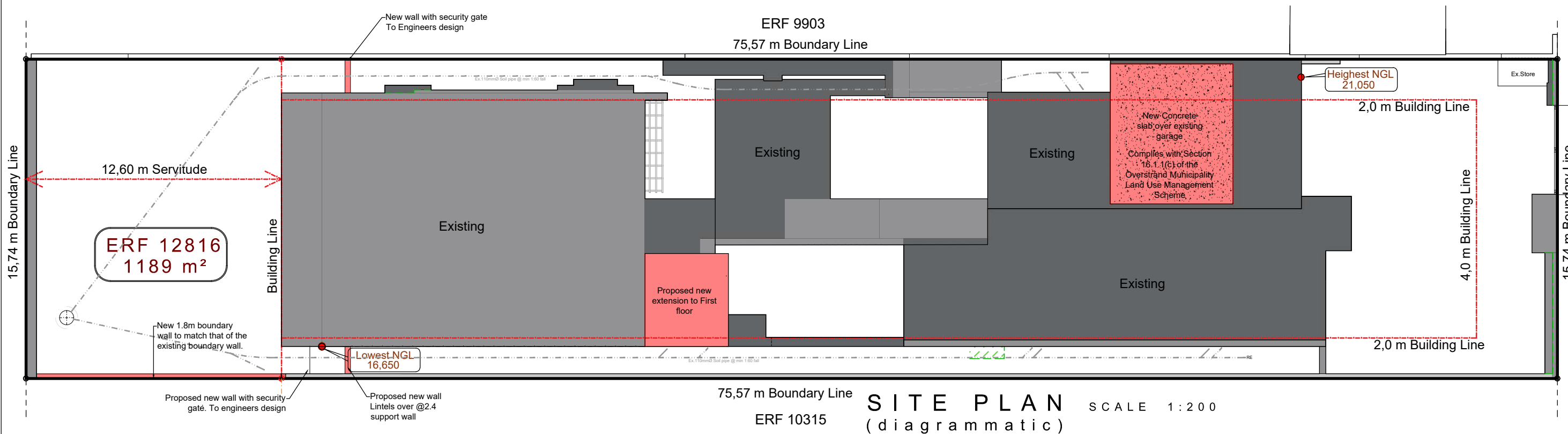
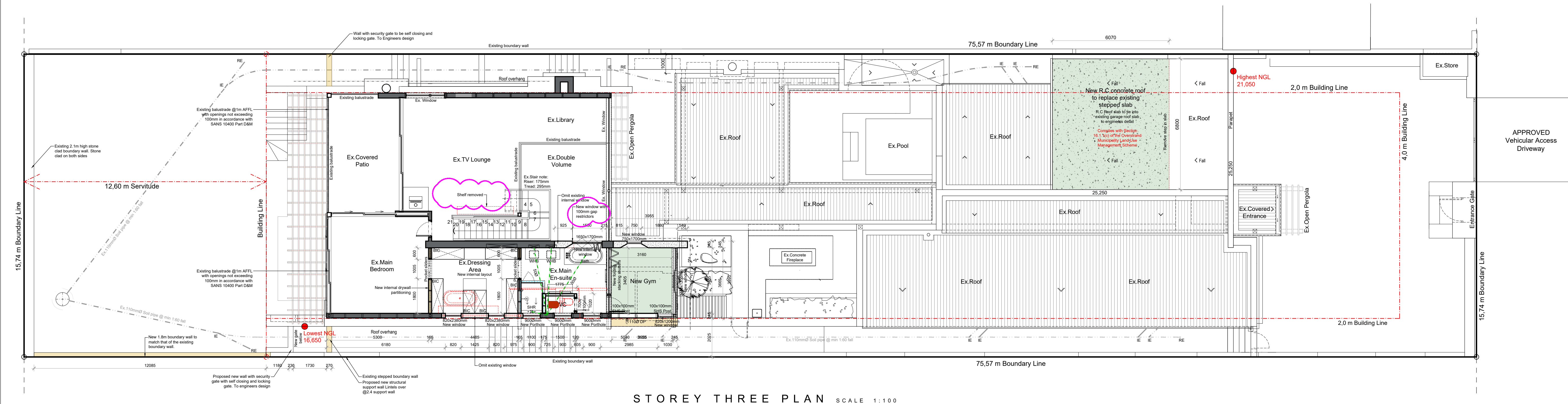
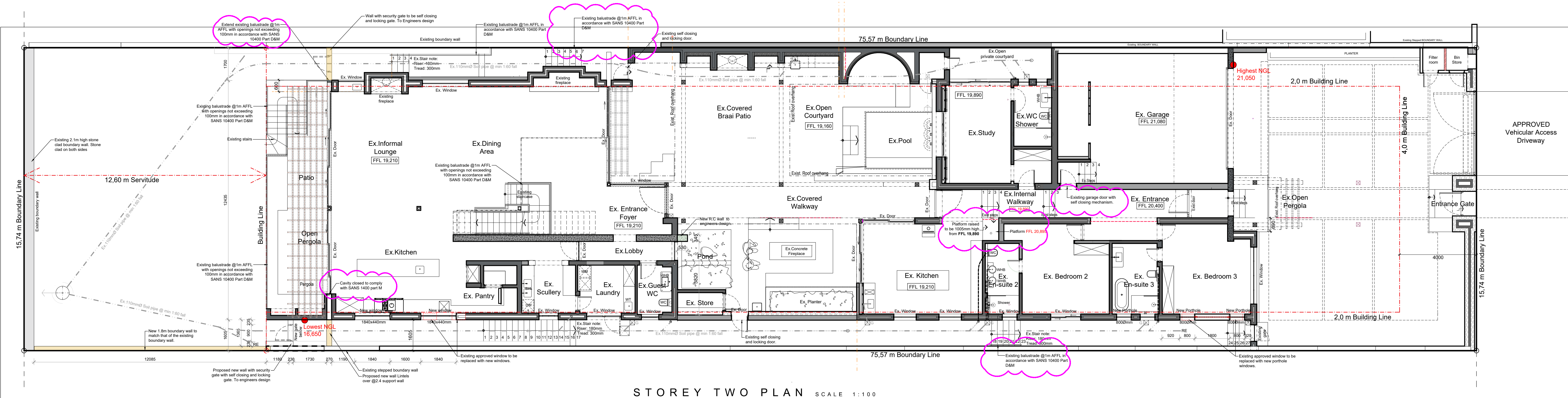
Annexure A – Value of Works applicable to Permissible Penalties – prepared by AMPS QS

SG Diagram

Title deeds

Previous approved plans

Current application plans



R11	2025/12/03	BF	Revised drawings as per council amendments letter 01 December 2025
			General notes
			Regulation notes
			Balustrades
			Omit access gate
R10	2025/10/28	BF	FOR COUNCIL APPROVAL: Final Planning Departure Approval for:
			New proposed Gym extension to
			Internal changes to Main En-suite,
			New Concrete slab over existing
			garage,
			with pedestrian gates.

WYNAND WILSENACH ARCHITECTS	CLIENT: Wynand Greeff 25 van der Stel Rd, Stellenbosch	ALTERATIONS & ADDITIONS Erf 12816, Hermanus 229 11th Street, Hermanus	PROJECT 1904	REVISION R11	PROJECT NO. LAD 201	LOCAL AUTHORITY LOCAL AUTHORITY
2ND FLOOR, EARLGO BUILDING CNR KLOOF ST & PARK RD 6001, GARDENS POSTNET SUITE #98 P BAG X1 VLAEBERG 8018 TEL +27214243330 EMAIL architects@w2.co.za	ARCHITECT: SACAP - 4288	CLIENT: Wynand Greeff 25 van der Stel Rd, Stellenbosch	PROJECT 1904	REVISION R11	PROJECT NO. LAD 201	LOCAL AUTHORITY LOCAL AUTHORITY
PROJECT 1904	REVISION R11	PROJECT NO. LAD 201	LOCAL AUTHORITY LOCAL AUTHORITY	LOCAL AUTHORITY LOCAL AUTHORITY	LOCAL AUTHORITY LOCAL AUTHORITY	LOCAL AUTHORITY LOCAL AUTHORITY

GREEFF HERMANUS

[illegible]

No encroach beyond the proposed building to encroach beyond the site boundaries.

* All work to be in strict accordance with SANS 10400-1990 and all related codes.

* All notes to refer to SANS 10400.

* Any discrepancies related to the whole of the works to be brought to the attention of the architect, prior to construction and within reasonable time to find a solution.

C: Structural Design

* All material, installation and maintenance to comply with SANS 10400 B, and shall be SANS approved in all respects.

* All structure work, including foundations, ground slabs, suspended R.C. floors, staircases, and all roof truss designs and fixing detailing to be done strictly to engineer's specifications and specifications.

* Connections between existing and new structures or alterations to existing structures to be designed and approved to be specified by retaining engineer. This applies to excavation, retaining walls, protection, waterproofing and support of new and existing structures.

D: Driveways

* All to comply with SANS 10400 Part C.

* All dimensions and levels are to be on check and as shown on drawings.

D: Public Safety

* All work to be in strict accordance with SANS 10400 Part D Public Safety.

E: Demolition Work

* All work to be done in strict accordance with SANS 10400 Part E Demolition work

F: Site operations

* All work to be in strict accordance with SANS 10400 Part F Site operations

G: Excavations

* All work to be strictly according to SANS 10400 Part G Excavations

H: Foundations

* In general, all new foundations to be min 15MPa at 28 days if not reinforced (1:4:5 coarse aggregate) at min. 200mm thick.

* All work to be in strict accordance with SANS 10400 Part H Foundations.

* Engineer to design and specify all foundations including connection between exist and new.

* All foundations and foundation walls below NGL (internally) shall have subsoil Geo-pipe drainage to engineer's specifications and design

* DR min 150mm above NGL

* All work to be in strict accordance with SANS 10400 Part KK9 Foundation Walls.

* All new ground floor and suspended R slabs shall be designed and specified by Engineer.

- * Refer to notes on drawings.
- * In general, no floor slab to be cast at a thickness of less than 100mm.
- * Where a 375 micron DPM, turned up around the perimeter at least the thickness of the slab, on well compacted clean sand, on clean fill or compacted layers not exceeding 150mm.
- * All work to be in strict accordance with SANS 10400 Part J Floors.

K: Walls

- * Normal brick work to be 280mm cavity walls, consisting of 115mm good quality ROK's, tied together with wall ties evenly distributed at 5 ties per square meter of face area.
- * All cavity walls to have cavity walls to have Damp Proof Course stepped from internal skin down to external skin with brick work in holes at regular intervals (every fifth brick up) on the external face.
- * Cavities below DPC level to be concrete filled
- * All new work is to be in strict accordance with SANS 10400 Part K Walls.
- * All new work to be in strict accordance with specifications to be followed for all structural walls and supports.

L: Roof

- * All roof truss designs, support beams/posts and fixing methods to be designed and specified by Structural Engineer.
- * Refer to Roof Plan for falls.
- * Refer to Drawings for various and specific notes and specifications.
- * Grade 400 reinforcement shall be used for all new roof structures.
- * All new work is to be in strict accordance with SANS 10400 Part L Roofs.

M: Stairways

- * Max. Rise: 200mm. Min. treads=250mm
- * All stairs to comply with Part M: 4.2.8.2 x Riser plus 1 x Going to be not less than 570mm and may not exceed 350mm
- * Example: 2 x 175 riser = 350 plus 300mm tread = 650mm
- * Vertical rise between landings not to exceed 3000mm
- * Min. stairway width - 750mm.
- * Balustrades to be min 1m high with no part of balustrade to allow passage of a 100mm Ø sphere.
- * All stairs/stairways to comply with SANS 10400 Part M, Stairways.

All glazing to be in strict accordance with SANS 10400 Part N, Glazing

- * Glass greater than 1m² or less than 500mm from FFL and all access doors to be safety glazing.

Windows and Doors:

- * Pre-cast reinforced concrete lintels are to be built into brick work above all horizontal openings not exceeding 3000mm in width, unless otherwise specified by engineer.
- * Brickwork built in between each course for min of 5 courses above lintels.

Q: Lighting and Ventilation

Natural lighting and ventilation elements to be not less than 10% of floor area of habitable room.

- * Natural Ventilation - Area of openable sections of windows and doors on external walls to be not less than 5% of floor area of habitable room.
- * No Mechanical ventilation required.
- * All work is to be in strict accordance with SANS 10400 Part O Lighting and Ventilation.

P: Drainage

Refer to drawings.

- * Any pipe work that might pass under the building or vehicular driveway shall be protected from external loads by encasing it in min. 100mm concrete, and shall only be accessed externally via a manhole.
- * Engineer's specification for protection against movement and external loads to be followed.
- * All drains to be in strict accordance with SANS 10400 Part P Drainage.

Q: Non-water-borne means of sanitary disposal

Not applicable.

R: Stormwater

- * All work is to be in strict accordance with SANS 10400 Part R Stormwater Disposal.
- * All new stormwater downpipes to lead from walls to external drainage within the building.

S: Facilities for persons with disabilities

Not applicable.

T: Fire Protection

- * All work to be in strict accordance with SANS 10400 Part F Fire Protection.
- * Beamed/filled, half hour fire rated walls between Storerooms/Garages and Habitable Areas.
- * All ceiling and roof ceiling insulation to be SABS approved and to comply with all fire related codes for each individual and specific purpose.

U: Refuse disposal

- * All work to be in accordance with SANS 10400 Part U, Refuse disposal.

- * Internal fireplaces shall be fitted with a damp closer, to be in closed position when not in use.
- * All chimneys to be min. 1m above roofslab/wall/tilles.
- * All work and installation to comply with SANS 10400 Part V, Space heating.
- W: Fire installation**
- * Not applicable.
- XA: Energy Efficiency in buildings**
- * All work to comply with SANS 10400 Part XA 2017
- XA: ROOF LIGHTS**
- * No rooflights applicable
- XA: FENESTRATION**
- * Refer to competent person's report.
- XA: INSULATION**
- Roof:**
- New Roofs over habitable areas:
- Energy Zone 2 to achieve minimum R-value of 3,7
- * Metal roof with skimmed ceiling
- $R=0,35$
- * Radenshield d/sided alum. foil
- $R=1,5$
- * 100mm Isotherm polyester blanket
- $R=1,84$
- TOTAL R-VALUE ACHIEVED**
- R=3,75**
- Therefore: $3,75 > 3,7$ = Comply with regulation XA of SANS10400
-
- All new RC roof slab above habitable areas to have 120mm Isoboard below or ontop of roof slab to achieve the required R-value of 3,7 for Energy Zone 2
- * RC Slab $R=0,25$
- * Skimmed ceiling $R=0,17$
- * 120mm Isoboard $R=3,4$
- TOTAL R-VALUE ACHIEVED**
- R=3,82**
- Therefore: $3,82 > 3,7$ = Comply with regulation XA of SANS10400



R17	12/03	BF	Revised drawings as per council amendment of 11 December 2025
			• General notes • Dimensions • Regulation notes • Onit access gate
R18	2025/1028	BF	FOR COUNCIL APPROVAL: Following Town & Spatial Planning Department Approval for: • New proposed Gym extension to Main En-suite. • Internal changes to Main En-suite. • New concrete slab over existing • New structural support walls with pedestrian gates.

W Y N A N D
WILSENACH
ARCHITECTS

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CLIENT:
Wynand Greeff
25 van der Stiep Rd, Stellenbosch

C L I E N T

Alterations & Additions
Rf 12816, Hermanus
229 11th Street,
Hermanus

P R O J E C T

STOREY ONE FLOOR PLAN
DIAGRAMMATIC Site Plan / Areas

D R A W I N G

SHEET NO
A1

SCALE
1:100

TM
EDMAN

WWW/HP
CHECKED

1904

R11

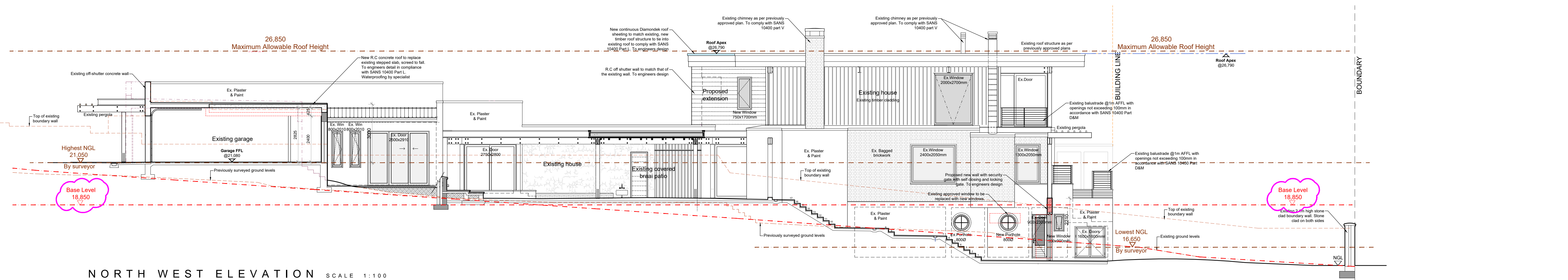
PROJECT
REMARK

LAD 202

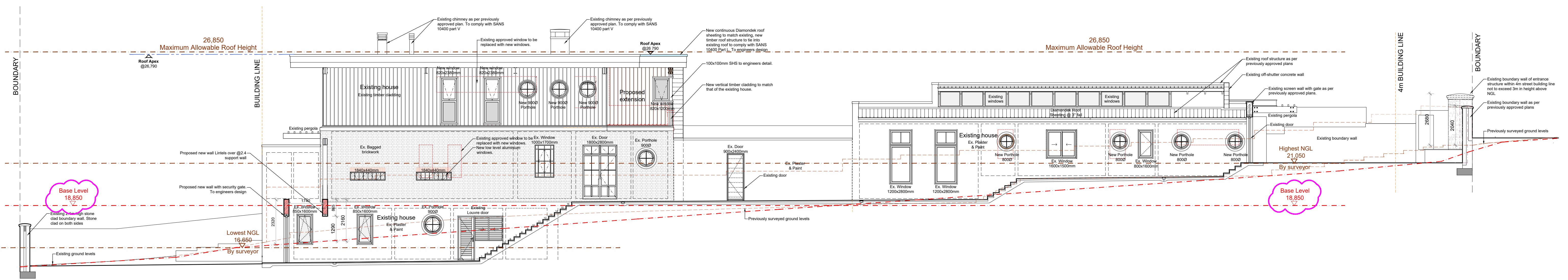
LOCAL AUTHORITY

LOCAL AUTHORITY

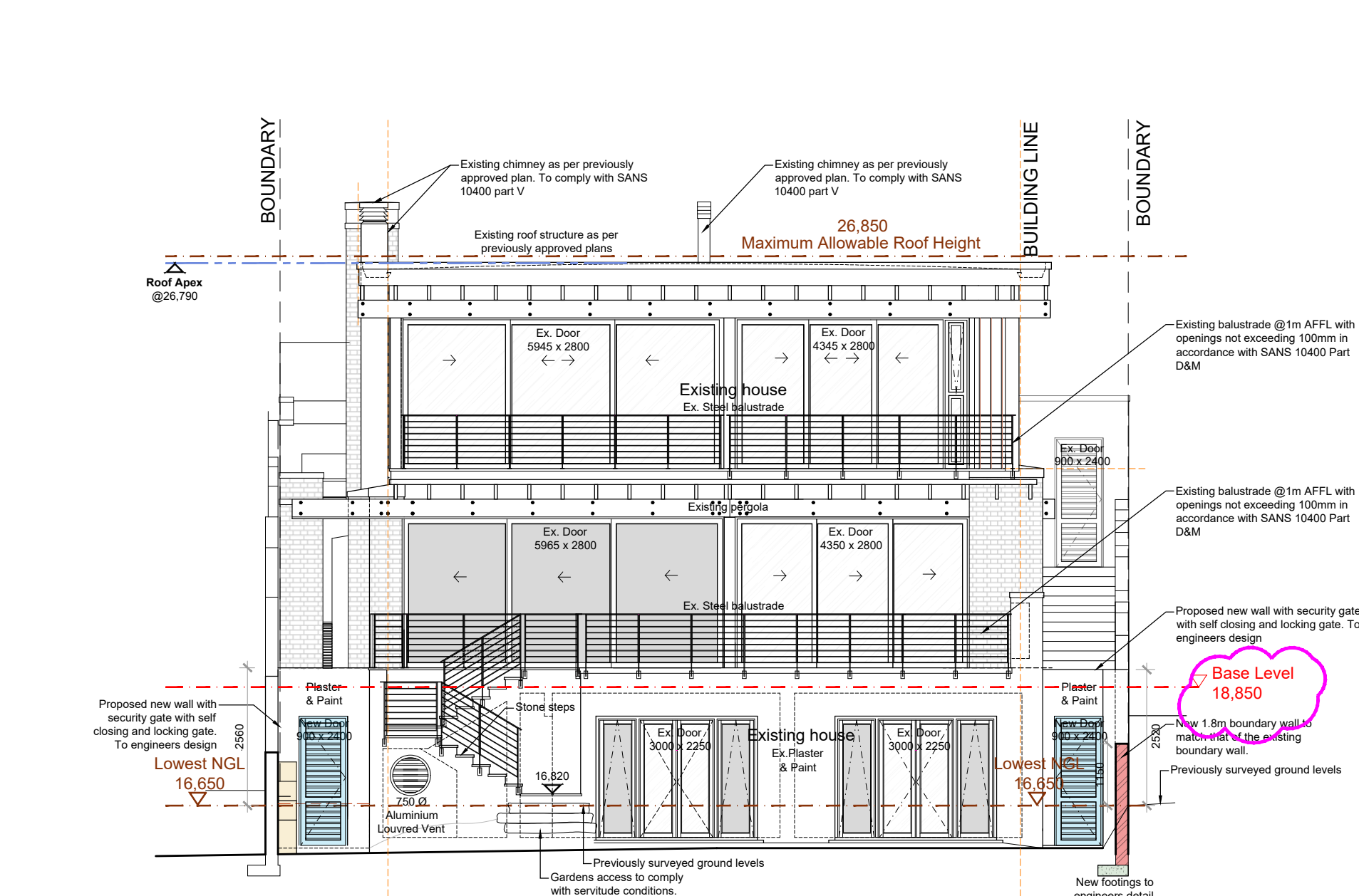
G R E E F F H E R M A N U S



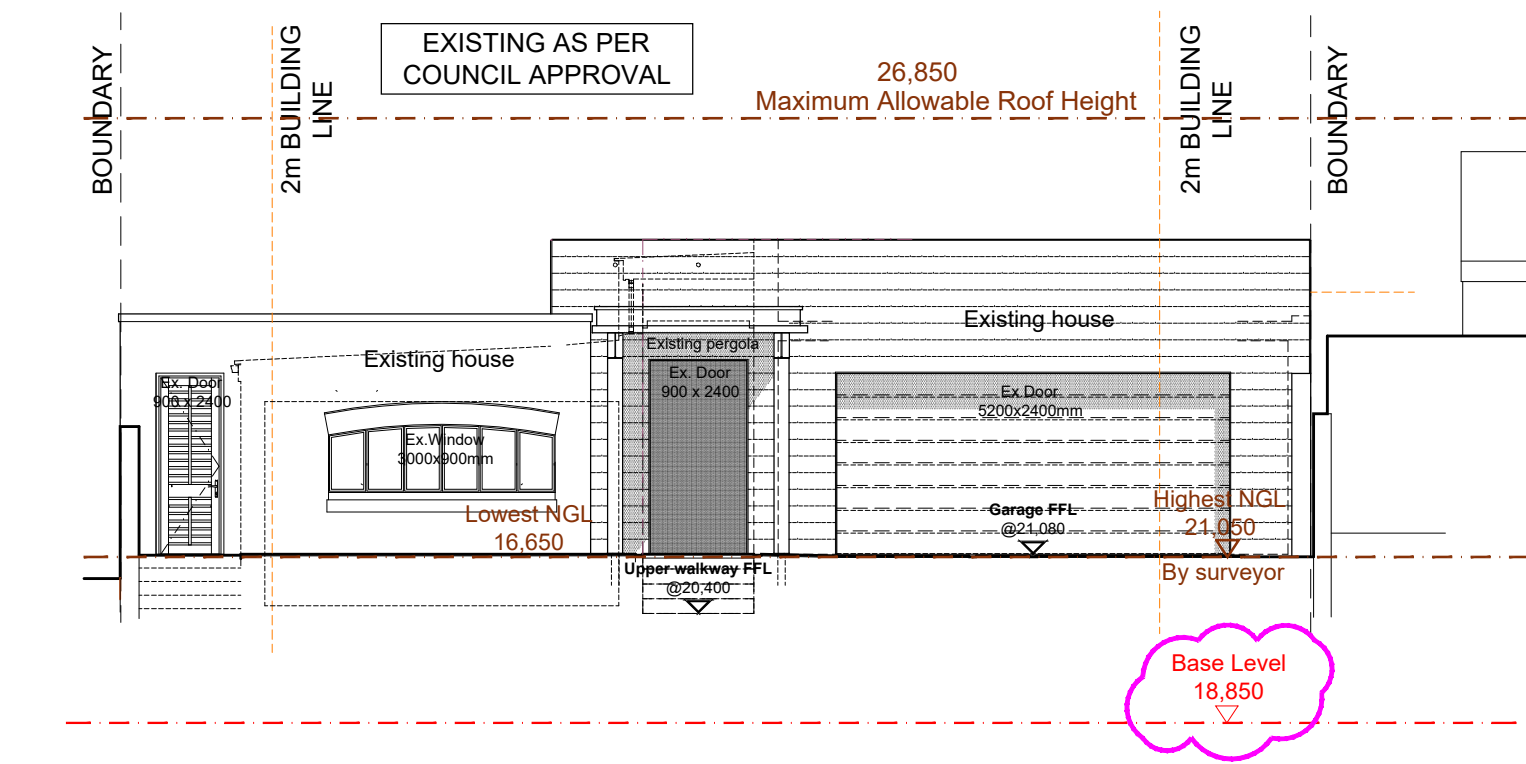
NORTH WEST ELEVATION SCALE 1:100



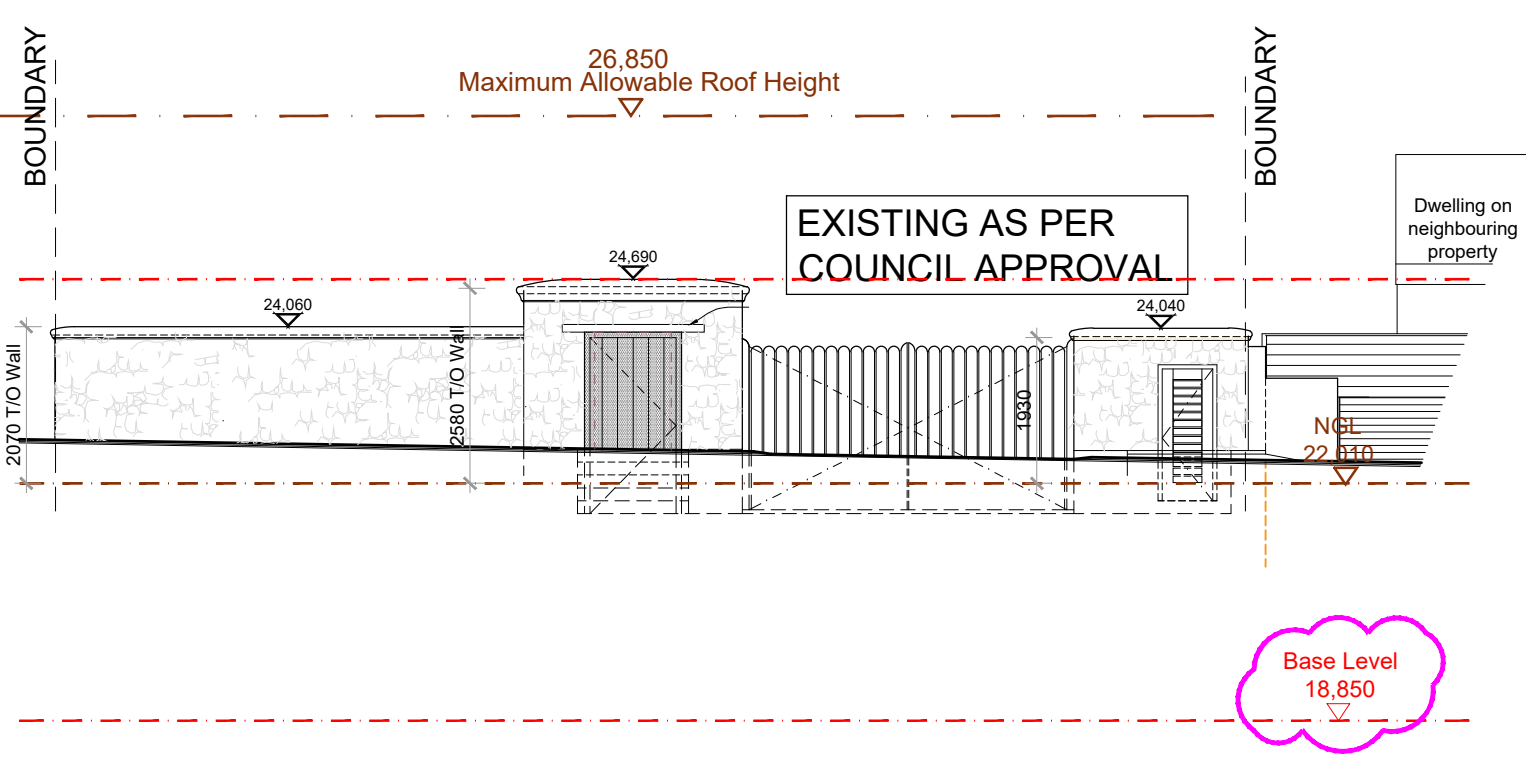
SOUTH EAST ELEVATION SCALE 1:100



SOUTH WEST ELEVATION SCALE 1:100



NORTH EAST ELEVATION SCALE 1:100



NORTH EAST ELEVATION BOUNDARY ELEVATION SCALE 1:100

Revised drawings as per council approval 11/12/2025/12/03 BF General notes • Dimensions • Regulation notes • On-site access gate		FOR COUNCIL APPROVAL: Following Town & Spatial Planning Departure Approval for: • New proposed Gym extension to Main En-suite • Internal changes to Main En-suite. • New concrete slab over existing garage • New structural support side walls with pedestrian gates.		WYNAND WILSENACH ARCHITECTS 2ND FLOOR EARLGO BUILDING CNR KLOOF ST & PARK RD 8001 GARDENS POSTNET SUITE #98 P BAG X1 VLAEBERG 8018 TEL +27214245320 EMAIL architects@w2.co.za ARCHITECT: SACAP - 4288		CLIENT: Wynand Greeff 25 van der Stel Rd, Stellenbosch		ALTERATIONS & ADDITIONS Erf 12816, Hermanus 229 11th Street, Hermanus		PROJECT	
ELEVATIONS AND SECTIONS		DRAWING		1:100		1904		R11		LAD 203	
A1		TM		1904		R11		LAD 203		LOCAL AUTHORITY	
DATE		BY		DESCRIPTION		NO.		DATE		DOCUMENTATION NAME	

GREEFF HERMANUS