



ERF 10578, 7 FLOWER STREET, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDEMENT OF THE APPROVED SITE DEVELOPMENT PLAN: WENTZEL ARCHITECTURE ON BEHALF OF HERMANUS REAL ESTATE CC AND A DURR

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for **amendment of the approved site development plan** in terms of Section 16(2)(l) of the By-Law.

Full detail regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Division: Town and Spatial Planning at 16 Paterson Street, Hermanus and on the municipal webpage at the following link <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) on or before **9 October 2026** quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Town Planner, Mr. B Minnaar** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Division: Town and Spatial Planning where a municipal official will assist them in order to formalize their comment.

Please note that in terms of the Protection of Personal Information Act (POPIA), you will be entering into a public process and as such agree and consent to your name, surname, contact details and comment(s) may be disclosed / used in the (application) process.

ERF 10578, FLOWERSTRAAT 7, WESTCLIFF, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM WYSIGING VAN DIE GOEDGEKEURDE TERREINONTWIKKELINGSPLAN: WENTZEL ARCHITECTURE NAMENS HERMANUS REAL ESTATE CC AND A DURR

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ontvang is vir **wysiging van die goedgekeurde terreinontwikkelingsplan** ingevolge Artikel 16(2)(l) van die Verordening.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weekdae tussen 08:00 en 16:30 by die Afdeling: Stads- en Streekbeplanning, Hermanus, en op die munisipale webtuiste by die volgende skakel <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / landuse@overstrand.gov.za) voor of op **9 Oktober 2026**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Town Planner, Mr. B Minnaar** at 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Afdeling: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

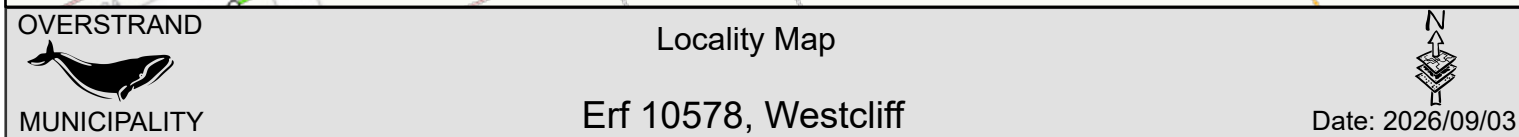
U aandag word gevestig op die Bepalinge van die "POPI" Wet, en aangesien u opmerking deel sal uitmaak van 'n openbare deelname proses, u derhalwe toestem dat u naam, van en kontakbesonderhede openbaar gemaak mag word.

ISIZA 10578, 7 FLOWER STREET, WESTCLIFF, HERMANUS, INDAWO KAMASIPALA WASE OVERSTRAND: ISICELO SOKULUNGISA ISICWANGCISO SOPHUHLISO LWENDAWO ESIVUMELWEYO: I-WENTZEL ARCHITECTURE EGAMENI LE HERMANUS REAL ESTATE CC AND A DURR

Isaziso ngoko ke sinikezelwa ngokwemiqathango yeCandelo lama-48 loMthetho kaMasipala wase-Overstrand oLungisiweyo woCwangciso loSetyenziso loMhlaba kaMasipala, ka-2020 sokuba isicelo sifunyenwe soLungiso lwesicwangciso sophuhliso lwendawo esivunyiweyo ngokweCandelo 16(2)(l) loMthetho woMasipala.

Iinkcukacha ezipheleleyo mayela noku kucetywayo ziyafumaneka ukuze ihlolwe phakathi evekini phakathi ko 08:00 no 16:30 kwiSebe: Town and Spatial Planning e-16 Paterson Street, Hermanus nakwiwebhusayithi kamasipala kweli khasi lilandelayo <https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/>. Naziphi na izimvo ezibhaliweyo mazingeniswe kuMasipala ngokuhambelana nezibonelelo zeCandelo 51 neCandelo 52 loMthetho kaMasipala (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) ngomhla okanye ungadlulanga umhla **9 EyeDwarha 2026**, ubhale igama lakho, idilesi neenkukacha zohagamshekwano, umdla kwisicelo nezizathu zokuhlomla. Imibuzo ngefowuni ingadluliselwa **ku-B. Minnaar** kui-028-313 8938. UMasipala angangavumi ukwamkela amagqabaza okuhlomla afunyenwe emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala angatyelela iSebe: leTown and Spatial Planning apho igosa lakwamasipala liza kumnceda ukuze afake amagqabaza akhe.

Nceda uqaphele ukuba ngokoMthetho woKhuseleko lweNgcaciso loLwazi loBuqu (POPIA), uya kuba ungena kwinkqubo kawonke-wonke kwaye uvuma ukuba igama lakho, ifani, iinkcukacha zohagamshekwano kunye nezimvo zingabhengezwa / zisetyenziswe kwi (isicelo) inkqubo.





Address: 12 Kingsway Crescent,
Onrus, 7201

Contact: 078 164 7106

E-mail: kyle@wentzelarch.co.za

24 Feb 2025

The Town Planner
Overstrand Municipality
P O Box 20
HERMANUS
7200

For attention: Mr. B. Minnaar

Dear sir

**AMENDMENT OF SITE DEVELOPMENT PLAN (SDP), CONSTITUTION /
ARCHITECTURAL GUIDELINES: ERF 10578: WESTCLIFF, 7 FLOWER
STREET – OVERSTRAND MUNICIPALITY**

1 – INTRODUCTION TO THE PROPOSED DEVELOPMENT

1.1 Background

My client, Mr. Huw Jones, owner of the property ERF 10 578, Westcliff, registered under HERMANUS REEL ESTATE CC, has instructed me, Kyle Wentzel from Wentzel Architecture to submit an updated Site Development Plan for the proposed units to be added to ERF 10578, Westcliff. This application is therefore an amendment to the previous Site Development Plan of Sectional Title number SK000000035/2012.

1.2 Application detail

The Overstrand Municipality's By-Laws on Municipal Land Use Planning, Chapter 4, Section 16,3 - 2020, states that the municipality may require a site development plan to be submitted to its satisfaction for any land unit.

The proposal in the application is to adhere to all previously approved building line setbacks, height restrictions, coverage, parking requirements, etc. The amendments to the approved SDP are as listed below:

- 1.2.1 The Name of Flower Village as referred to in the previous SDP documentation being referred to as Flower Place forward.
- 1.2.2 The proposed unit layout remaining 3 additional units other than the original heritage dwelling, however, the orientation and proportion of the units change.
- 1.2.3 The coverage and total area of each unit, not exceeding the approved coverage limit.
- 1.2.4 The allocation of Private open Space and Private common space.
- 1.2.5 Access point remains in the same position, however, the internal access and parking is indicated differently with more clarity
- 1.2.6 The re-registration of the original heritage graded dwelling under one sectional title number.

1.3 Property description, zoning and property analysis

1.3.1 Property description:

The application area of 1475m² in extent is located within the residential suburb of Westcliff at 5 Flower Street. Refer to the enclosed locality layout.

The existing heritage graded (3B) dwelling with the registration of 2 x sectional title registry numbers. This dwelling on the application area is a double story comprising of a typical family type living accommodation with a bedsitter type dwelling linked to the side of the dwelling.

The remainder of the ERF remains vacant with a few unauthorized Gumpole shade net structures.

The footprint of the existing dwelling on the application area along with the unauthorized structures (shown as new on the enclosed drawings) comprise the following:

AREA CALCULATIONS:

Existing ground storey area	- 189.81m ²
Existing first storey area	- 65.05m ²
Total:	254.86m ²
ERF	- 1475m ²
Coverage	- 17.28%

1.3.2 Zoning:

ERF 10578, Westcliff has a zoning of General residential 3, this seems to have not been updated on the GIS image below yet. As seen below, there a variety of different zoning types directly and indirectly positioned around the application property.

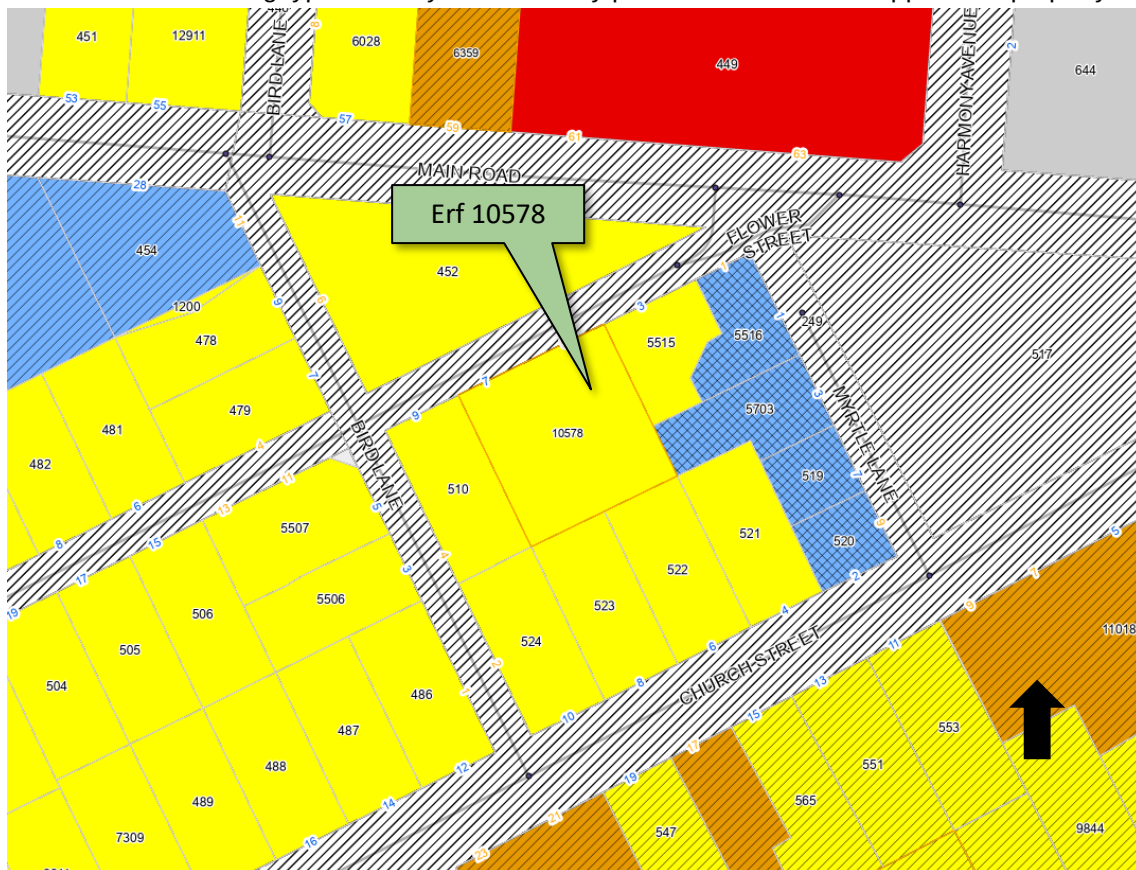


Figure 1: Zoning, an extract from the Overstand Public Viewer – NOT TO SCALE



2 – THE APPLICATION:

Analysis - Development Criteria of changes to the existing approved zoning certificate of the sectional title property.

The development parameters for the application area as per the approved zoning certificate:

A	Zoning	General Residential Zone 1	N/A
B	Primary Use/s	Town housing, private road, private open space	N/A
C	Consent use	Creche, daycare center, dwelling house in accordance with 6.1.2, flats, green house, residential building, retirement village and tourist accommodation.	N/A
D	Consent uses approved	None	N/A
E	Departures approved	29 June 2006 & 21 February 2007 (see copy of letters attached).	Applicable to layout changes

Development Parameters			
A	Density	i. A maximum gross density in this zone is 35 units per hectare. (The recommendation of the Overberg Growth Management Strategy and the SDF must also be taken into consideration.) ii. A maximum erf size of 1475m² is applicable for densification.	N/A
B	Coverage	The maximum coverage for all buildings on the top of the land unit is 45%	N/A
C	Height	The maximum height of a building measured from base level to the top of the structure, is 7m, 2 stories.	N/A
D	Building lines on the perimeter of a town housing development	i. Street = 7m ii. Lateral and rear = 4.5m iii. The general building line exemptions of 16.2 apply iv. As per approval 29 June 2006 (attached).	N/A
E	Building lines within the town housing development	i. The street building lines on internal streets are 1m, provided that garages must be set back at least 5m from the road curb ii. The lateral and rear building line is 1m iii. A garage may be constructed at 0m on one internal side boundary and 0m on the internal rear boundary, provided that the building does not occupy more than 50% of such internal side or rear boundary. iv. The general building line exemptions of 16.1 apply.	N/A

F	Parking	i. Parking and access shall be provided on the land unit in accordance with 17.1 ii. Parking may be provided at the town house concerned, form part of a communal parking, or be a combination of the two.	Applicable to layout changes
G	Internal roads	The minimum internal road reserve width is 8m, provided that the municipality may require a greater road reserve width where it is of the opinion that the vehicular use or length requires a greater road reserve width.	Applicable to layout changes
H	Flats within a town housing development	Flats must form an integrated component of the town housing development, and the development parameters for town housing apply, provided that: i. The total floor area of flats shall not exceed 40% of the total floor space of all buildings on the town housing site, and ii. The open space requirements for dwelling units in a town housing site apply.	N/A
I	Day care centre	The provisions of chapter 16.10 apply	N/A
J	Home occupations	The provisions of chapter 16.10 apply	N/A
K	Site development plans	The municipality may require that a site development plan be submitted for approval in accordance with Chapter 16.3	Applicable to layout changes
L	Open space provision	Communal open space of at least 10% of the whole property must be provided as outdoor recreational/garden area as one functional space.	Applicable to layout changes

Table 1: Extract from approved zoning certificate

3 – CONTEXTUAL SITE INFORMATION:

3.1 Property Description

Property:	Extent:	Sectional Title No:	Registered Owner:
Erf 10578, Westcliff	1475m ²	SK000000035/2012	Hermanus Real Estate CC

Refer to Annexure C for the Sectional Title of Erf 10578, Westcliff

Refer to Annexure U for the SG Diagram:

The following Surveyor General plan reflect the application site

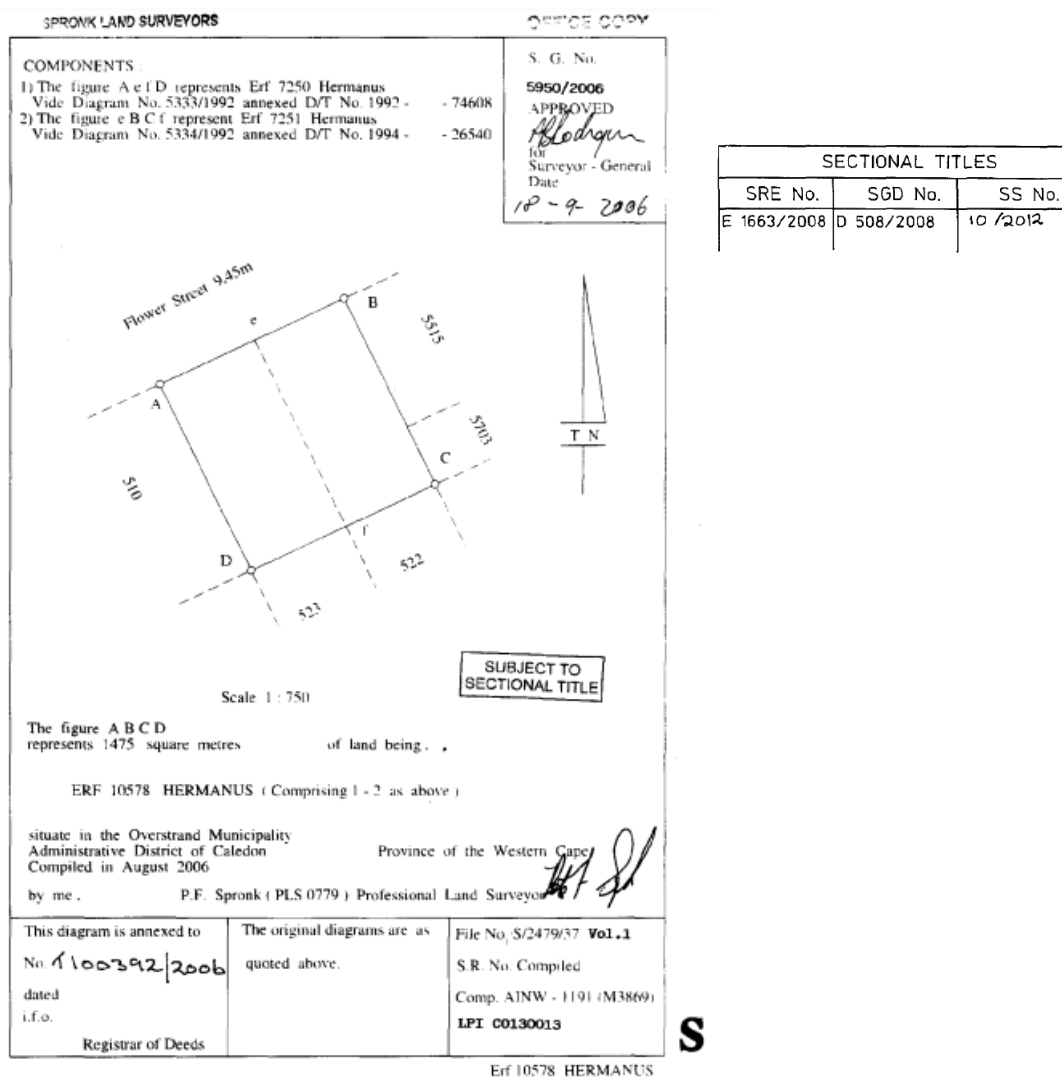


Figure 2: Extract of the Surveyor General Plans of the application site – NOT TO SCALE

3.2 Location

3.2.1 Regional Context:

Within a regional context, the application area is located just off the Hermanus Main Road, in a mixed-use area, predominantly residential, near the Hermanus CBD.

Refer to Annexure G for the Locality layout

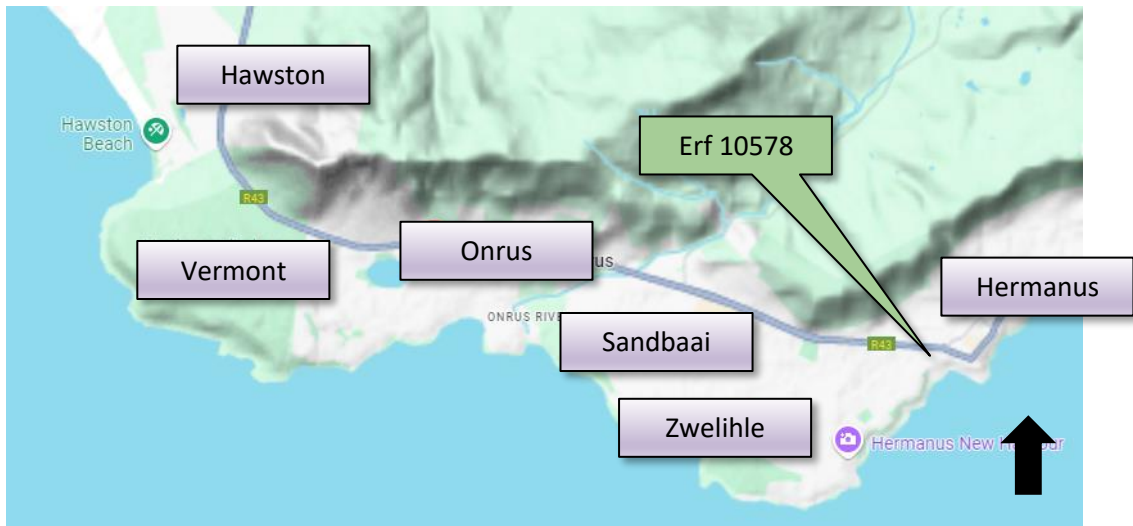


Figure 3: Regional Context – NOT TO SCALE

3.2.2 Local Context:

Within a local context, the application area consists of a General residential ERF on the Northern edge of the Westcliff area. The application area is located at No. 7 Flower Street.



Figure 4: Local Context, an extract from the Overstrand Public Viewer – NOT TO SCALE

4 – PROPOSAL:

Proposed amendments to the approved Site Development Plan

4.1 To make minor changes to the existing approved SDP:

The municipality may require that a site development plan be submitted for approval in accordance with the Overstrand Municipality's By-Laws on Municipal Land Use Planning Chapter 4, Chapter 16.3 (2020)

4.2 The Name of Flower Village as referred to in the previous SDP documentation being referred to as Flower Place forward:

The owner of the property would like to rename, for the purpose of documentation referencing, the complex / development to better suit the new concept of the development.

4.3 Proposed development:

4.3.1 Existing urban development:

The existing approved Site Development Plan was approved on rezoning ERF 10578, Westcliff, as General Residential 3 and there are no proposed changes to deviate from this previous approval.

4.3.2 Road and access to the development:

With reference to the previously approved Site Development plan (annexure K), the street access was previously approved being one central access point on the North-Western, street boundary of the property, with an additional garage access point on the North-Eastern street boundary. The proposed new Site Development Plan (Annexure H) does not influence the previous approvals for access and the access point will remain in the same position. The internal road has minor changes due to the design of the proposed unit layouts and orientation and does comply with the previously approved site development plan and zoning certificate road widths.

4.3.3 Infrastructure:

The previously approved Site development plan (Annexure K) was approved with the intention of adding 3 townhouses to the property other than the original heritage graded dwelling. The previous proposal included an individual street front house with a semi-detached structure comprising of the remaining 2 dwellings. The new proposed Site Development plan (Annexure H) also indicated the addition of 3 new dwellings as previously approved. The dwellings have been designed to fit within the existing zoning certificate parameters with all units being fully detached dwellings. The previously approved departure, dated 21 February 2007, is therefore no longer required for the new Site Development Plan as seen fit by the Local town planning department (Annexure M). The new proposed Site Development Plan is designed to keep in line with all zoning certificate parameters previously approved.

4.3.4 Traffic:

The approved development is situated on a small, somewhat quiet, side street which branches off from the Hermanus Main Road as previously approved. The development access gate is set back 7.5m from the property street boundary, as indicated in Annexure H, as requested by the local town planning department to allow for sufficient stacking distance of vehicles entering and exiting the Private communal internal area. The access points remain the same as the previously approved Site Development Plan and therefore should not influence any changes to the originally traffic assessment approval.

4.3.5 Parking requirements:

As set out in the approved zoning certificate, the parking requirements are to comply with Overstrand Municipality's By-Laws on Municipal Land Use Planning Chapter 4, Chapter 17.1 (2020). Parking may be provided at the town house concerned, form part of a communal parking, or be a combination of the two.

Parking as per proposed Site Development Plan (Annexure H)	
Number of parking bays per unit	2
Number of proposed units	4
Number of off-street parking required	8
Number of parking bays provided for dwellings	8
Additional parking provided	1
Total of off-street parking Provided	9

4.4 Character of the environment:

4.4.1 Changes in form, orientation and style of the proposed town houses:

The form of the proposed dwellings is to remain of a cape vernacular, rectangular shape as described in the architectural guideline, Annexure P.

The previously approved Site Development plan indicated 3 additional dwelling of which 1 was free standing and 2 were semi-detached. The new proposed Site Development Plan Indicates 3 additional dwellings of which all 3 are free standing units.

The previously approved Site Development plan indicated that the free-standing unit was to be positioned on the street boundary to conform to the heritage street frontage in Flower Street. The new proposed Site Development Plan rather indicates the street front dwelling within the 7.5m street building line, positioning the dwelling further back, as to not oppose the original heritage graded dwelling and streetscape.

4.4.2 Accommodation density:

The previously approved Site Development Plan indicates dwellings with an estimated floor area of 140m² per unit. The new proposed Site Development Plan proposes to enlarge the unit floor area as per the table indicated below. The size of the proposed dwellings is still to remain in line with and may not exceed the approved zoning certificate parameters of 45% coverage.

Unit area's as set out on the proposed Site Development Plan (Annexure H)	
Existing Unit 1 (Double storey)	254.86m ²
Unit 2 (Double storey)	221.35m ²
Unit 3 (Double storey)	232.43m ²
Unit 4 (Double storey)	232.43m ²

4.4.3 Registration with the existing heritage graded building on the property.

The existing heritage graded house will need to combine / merge the separate sectional title registrations into one entity. The original heritage graded house will also need to ensure that there is an interleading door or passage between portion A and portion B of the dwelling as referred to in Annexure R. This is required as the approved zoning certificate states that a maximum gross density in this zone is 35 units per hectare, which allows for 4 dwelling unit on the property. These dwellings then being the existing heritage graded dwelling – Unit 1 (combined) and the 3 new proposed dwelling units, Unit 2, Unit 3 and Unit 4.

4.4.4 Screening and boundary on the street edge:

The property has an existing low wall along the street boundary on the North Eastern side. The new wall to be constructed is proposed to receive masonry-built columns with a low wall with palisade fencing above it, in between the columns to relate to the existing on street scape aesthetic. It was also a request from roads department for the use of palisade in the front boundary to allow for visibility to the street when entering and exiting the property by means of a vehicle. The proposal is to make use of the column and palisade wall along the center of the street edge with a 7.5m setback of the vehicular gate on one end and a set back of the street boundary for planting on the other end to soften the hard build edge along the street.

4.4.5 Views of the proposed units and privacy:

The new proposed dwellings orientation and layouts are designed to create comfortable living out areas for each unit and to consider the views of each unit as well as the impact of view encroachment over neighbouring dwellings and properties while taking advantage of weather screening directions, sun tracking and regional views.

4.4.6 Private communal area and exclusive use areas:

The new Site Development plan indicates open out door areas for common use being the roadway and a small grass area along the center of the South-East boundary. while each dwelling on the property also receives its own exclusive use area to comply with the requirements in the approved zoning certificate; Communal open space of at least 10% of the whole property must be provided as outdoor recreational/garden area as one functional space.

4.5 Desirability of the proposed utilization:

4.5.1 Influences and benefit of the proposed town housing development:

The proposed Site Development Plan is set out to erect 3 new dwellings as previously approved for the property. There are no major changes proposed between the new proposed Site Development plan and the Previously approved Site Development plan; therefore, the desirability of the proposed utilization does not change.

4.5.2 Relation to approved departures regarding the new layout of the development:

The design of the development is proposed in a way that aims to abide by all previously approved parameters though the previously approved Consolidation of the erven, the zoning certificate and the previously approved Site Development Plan.

4.6 Investigations carried out in terms of other laws, relevant to the consideration of the application:

4.6.1 Environmental impact:

There are no environmental services which have a direct impact on the property or the proposed works to the property.
The ERF does not fall under local environmental management overlay zone.

4.6.2 Heritage impact:

The existing house on ERF 10578, Westcliff does have a heritage grading of 3B as seen in the attached Annexure N. I has been reviewed by the local heritage committee and the proposed site development plan was altered to conform to the request of the local heritage committee. See attached Annexure T. The ERF also falls under local area with the Heritage Protection Overlay Zone.

4.6.3 Biophysical impact:

It is not predicted that the proposal will have an impact on the biophysical environment.

- 4.7 The impact of the proposed land development on municipal engineering services:
- 4.7.1 The proposed structures to be built, remain in line with the existing approved Site development plan, therefore no changes are made to the existing approved service requirements for the property as per Annexure F – Comments from the engineering services department.
- 4.8 Consideration of forward planning and land use documents:
- 4.8.1 The proposed structures to be built, remain in line with the existing approved Site development plan, therefore, no changes to the original consideration of forward planning should be required regarding the previously approved and the new proposal.

5 – PLANNING PRINCIPLES:

Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA):

Section 7 of the “Spatial planning and land use management act, 2013 (Act 16 of 2013) refers to a list of 5 development principals based on which any development application must be evaluated. The principles referred to are as follows:

5.1 Spatial Justice

Spatial Justice refers to the need for redressing the past apartheid spatial development imbalances and aims for equity in the provision of access opportunities, facilities, services, and land.

The application for the amendments to the previously approved Site Development Plan will not have an impact on spatial justice based on the original approval of the Site Development Plan and the minor changes applied for in the amendment to the Site Development Plan.

5.2 Spatial Sustainability

Spatial Sustainability refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

The application is based on an existing approved Site Development Plan for the property within a mixed land use area in a rural town and will not impact on spatial sustainability.

5.3 Spatial Efficiency

Spatial Efficiency refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

Amendments to the approved Site Development Plan will not impact on spatial efficiency.

5.4 Spatial resilience

Spatial resilience which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

Amendments to the approved Site Development Plan will not have an impact on spatial resilience as the application is consistent with the principle of spatial resilience.

5.5 Good administration

Good administration in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

The Overstrand Municipality has a credible track record of good administration.

6 – CONCLUSION:

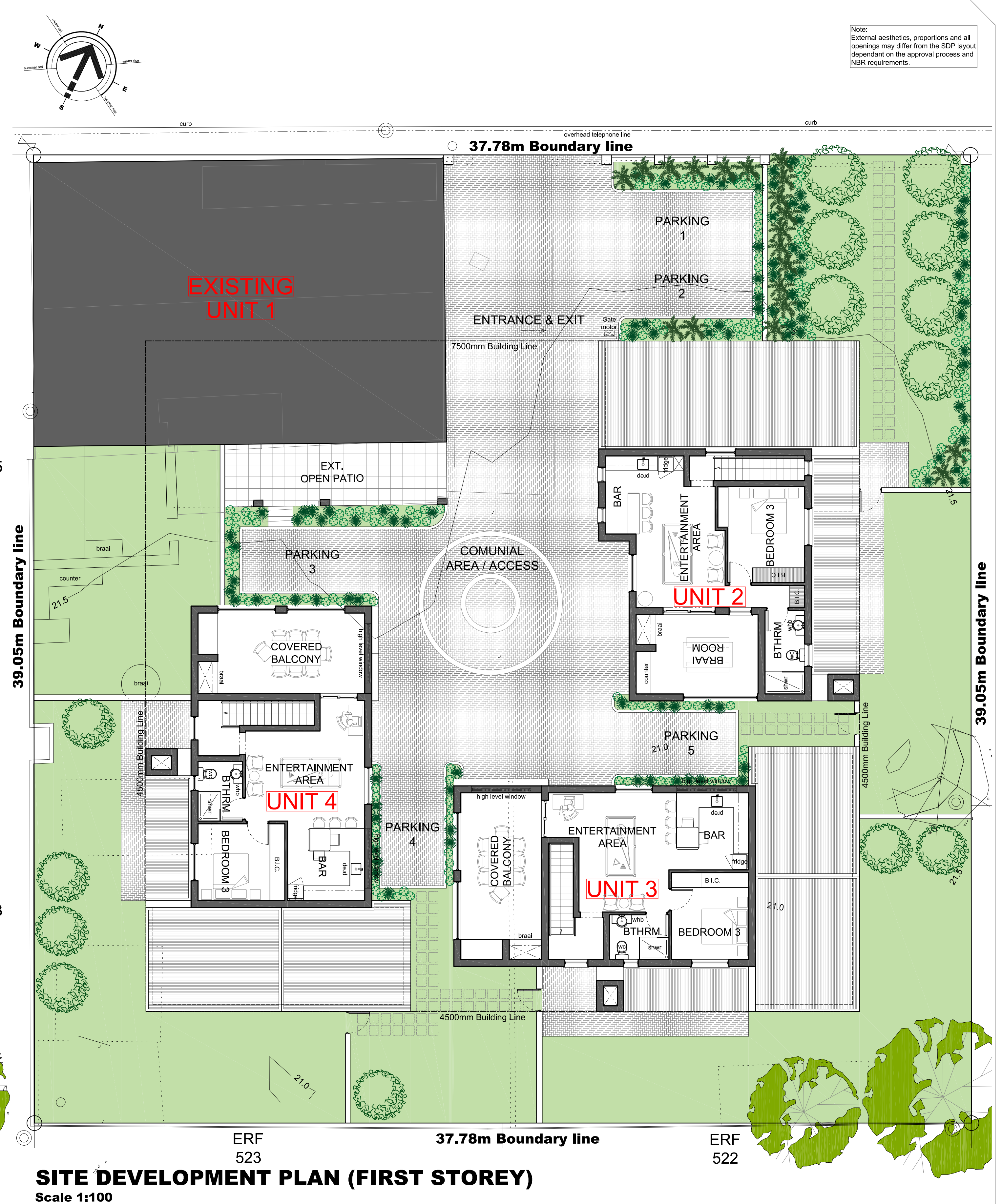
The application as motivated in this report is regarded desirable within its local context and well-integrated within the existing community and land use activities. Furthermore, the application proposal is considered to represent the optimal use of the application area to provide a satisfactory residential environment without causing any material negative impact on the surrounding environment.

It is therefore recommended that the application be approved in terms of the Overstrand Municipality's amended By-Laws on Municipal Land Use Planning, 2020.

Your sincerely

Kyle Wentzel

Wentzel Architecture



Note:
External aesthetics, proportions and all
openings may differ from the SDP layout
dependent on the approval process and
NBR requirements.

ERF LEGEND	
ERF NUMBER	ERF 10578
ERF SIZE	1474.9m²
ERF ZONING	General Residential 1
USAGE TYPE	Sectional Title
LOCAL AUTHORITY	Overstrand Municipality
AREA	Hermanus
MAIN ACCESS STREET	Flower Street
PROVINCE	Western Cape
KNOWN SERVITUDES	N/A

SITE PARAMETERS (BASICS)	
STREET BUILDING LINE	7.5m Building line setback
COMMON BOULDER LINES	4.5m Building line setback
HEIGHT RESTRICTION	7metres High
MAX. COVERAGE ALLOWED	45%
PARKING REQUIREMENTS	
Parking Required per Unit	2 Parking Bays per 2 Bedroom or more Units (8 total)
Opening Parking Bays Provided	5 Bays
Garage Parking Provided	3 Single Garages
Total Parking Provided	8 Parking Bays

BUILDING AREA	
Existing Ground storey house Area	189.81m²
Existing First storey house Area	65.05m²
Unit 1 - Ground Storey Area	144.56m²
Unit 1 - First Storey Area	76.79m²
Unit 2 - Ground Storey Area	146.43m²
Unit 2 - First Storey Area	86.0m²
Unit 3 - Ground Storey Area	146.43m²
Unit 3 - First Storey Area	86.0m²
Total Proposed Ground Storey Area	627.23m²
Total Proposed First Storey Area	313.84m²

GENERAL AREA	
ERF Area	1474.9m²
Units per Hectare (35units / Ha)	4.22
Coverage	42.53%
Floor Factor	0.64
Note: Unit footprints and total areas are subject to change depending on the final unit layouts.	

KEY SCHEDULE	
A	Typical units
B	Asphalt (Roads & Sidewalks)
C	Internal access, Driveways & Parking bays
D	Grass/ landscaping
E	trees as indicated on legend

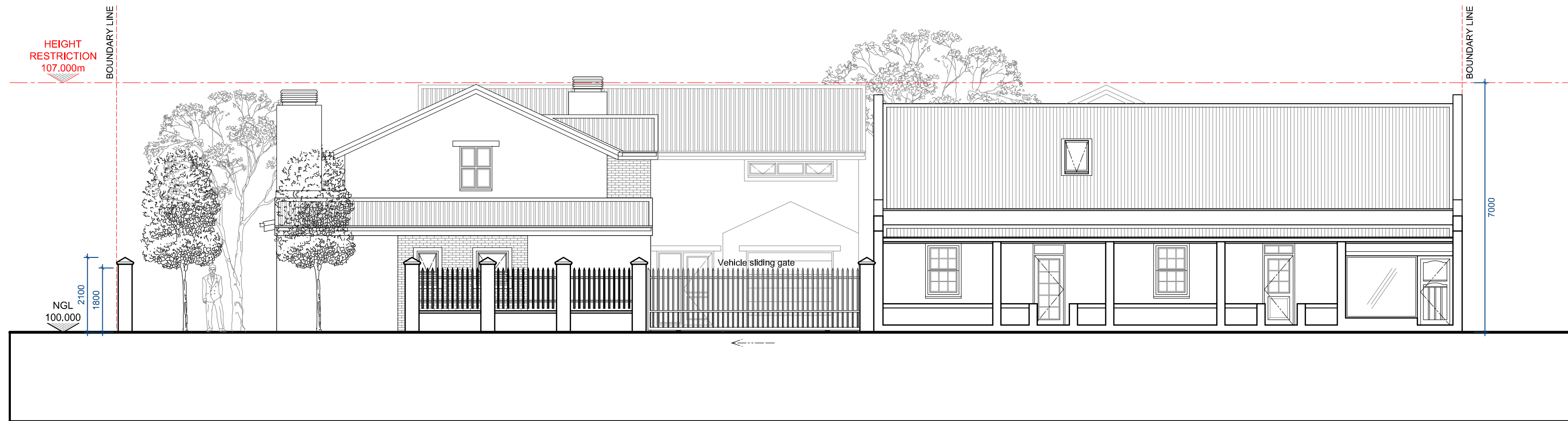
LANDSCAPING	
NOTE: PROPOSED LANDSCAPING INDICATED ON THE PLAN IS MERELY AN PROPOSAL AND FINAL LANDSCAPING LAYOUT AND IMPLEMENTATION TO BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT OR A COMPETENT PERSON AS APPOINTED BY THE CLIENT.	

All requirements of municipal and other authorities concerned must be adhered to. Contractors and sub-contractors are to check all dimensions and levels on the site before commencing work. Plans are to be read in conjunction with any accompanying documentation and implemented accordingly. Figured dimensions have preference over scaled measurements and large scale details supersede small scale drawings. This design and drawing is copyright, being the property of WENTZEL ARCHITECTURE, and must not be reproduced in part or in whole without prior written consent.

PROJECT DESCRIPTION:	SECTIONAL TITLE UNITS
DRAWING TYPE:	Site Development Plan
DRAWN BY:	Kyle Wentzel
PAGE CONTENT:	Site Development Plan: Ground storey plan First storey plan Area calculations

Client:	Huw Jones
Cadastral:	ERF 10578
Address:	7 Flower Street, Hermanus, 7200
Drawing Number:	10578_sdp_04.6
Project Number:	134
Date:	11 May 2026
Scale:	1:100
Page size:	A1
Revision:	c
Page No.	1

Wentzel Architecture	
Address: 12 Kingsway Crescent, Onrus, Hermanus Contact: 078 164 7106 E-mail: kyle@wentzelarch.co.za	
KYLE WENTZEL Professional Senior Architectural Technologist SACAP Reg no. PSAT51673494	



FLOWER STREET ELEVATION
Scale 1:100

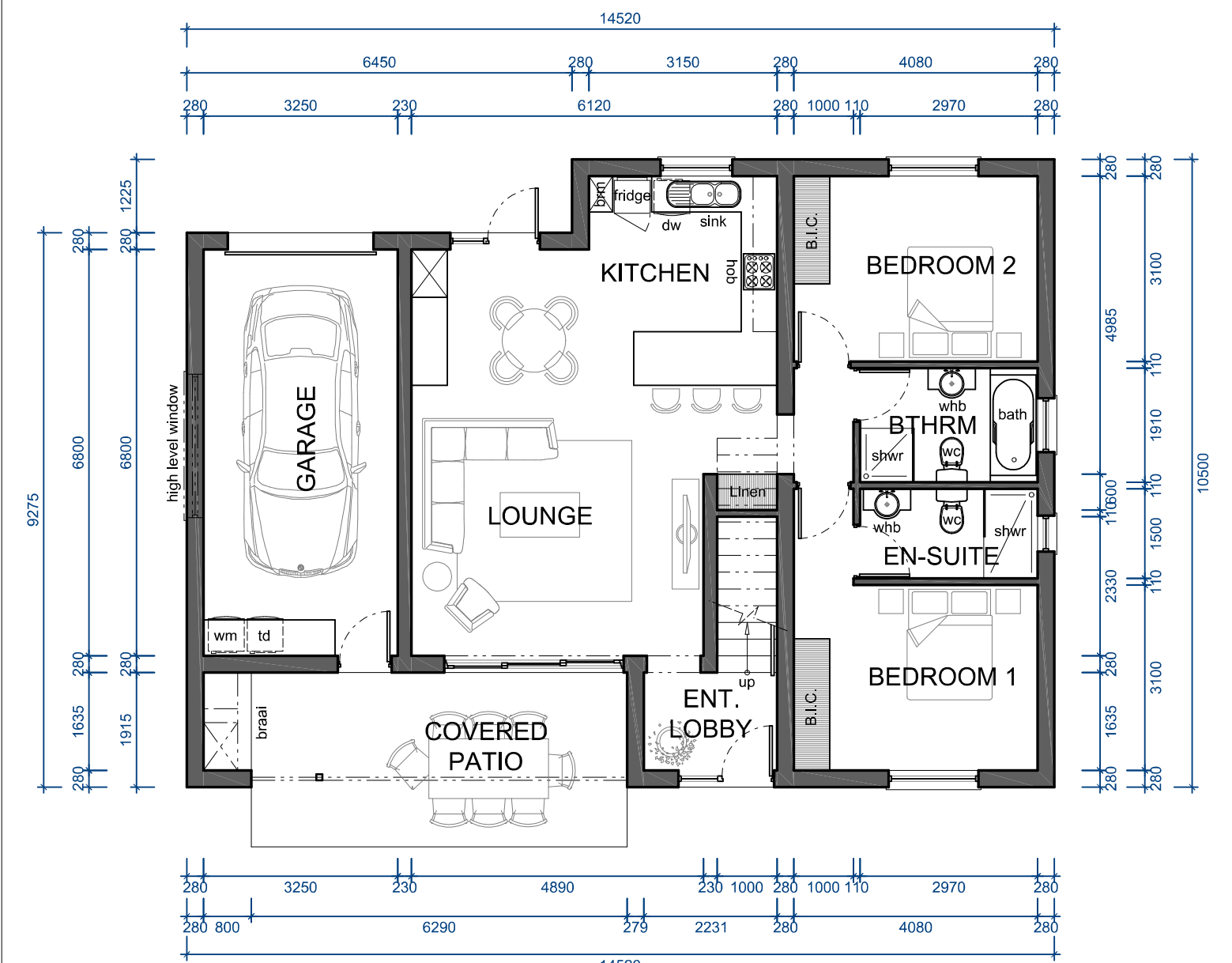
UNIT 2



TYPICAL FRONT ELEVATION (UNIT 2)
Scale 1:100



TYPICAL SIDE ELEVATION (UNIT 2)
Scale 1:100



GROUND STOREY PLAN
Scale 1:100

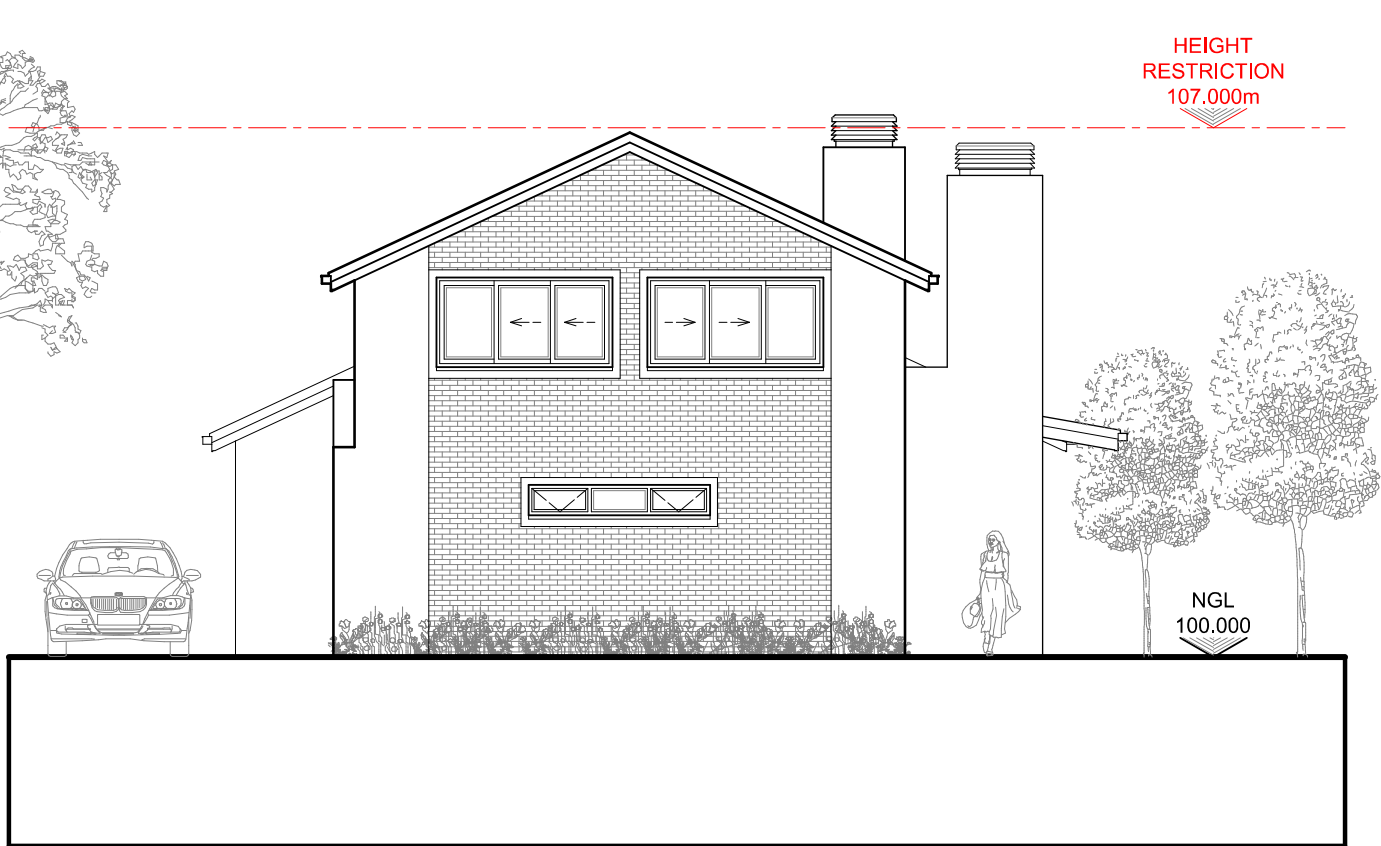


FIRST STOREY PLAN
Scale 1:100

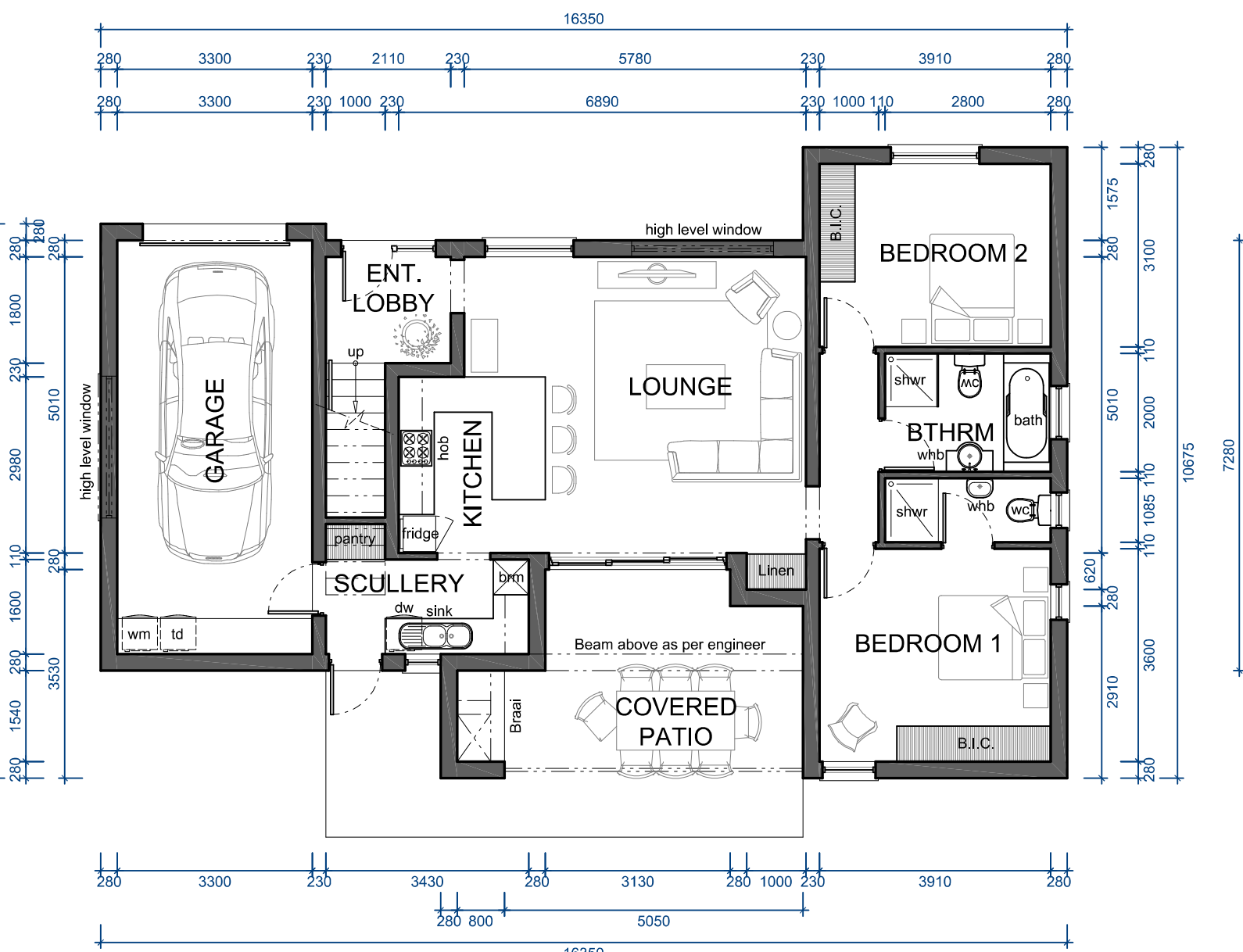
UNIT 3 & 4



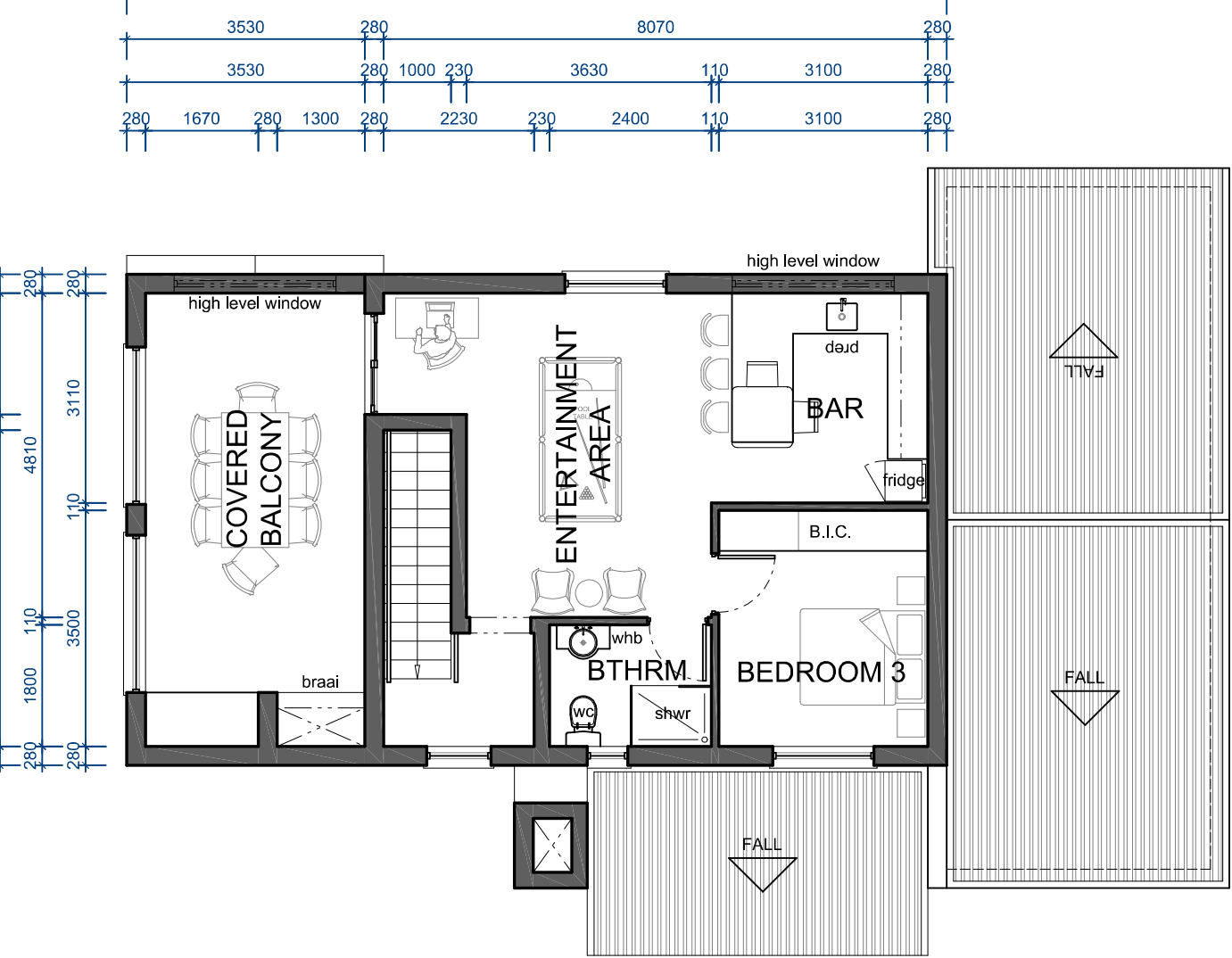
TYPICAL FRONT ELEVATION (UNIT 3 & 4)
Scale 1:100



TYPICAL SIDE ELEVATION (UNIT 3 & 4)
Scale 1:100



GROUND STOREY PLAN
Scale 1:100



FIRST STOREY PLAN
Scale 1:100

Note:
External aesthetics, proportions and all openings may differ from the SDP layout dependant on the approval process and NBR requirements.

All requirements of municipal and other authorities concerned must be adhered to. Contractors and sub-contractors are to check all dimensions and levels on the site before commencing work. Plans are to be read in conjunction with any accompanying documentation and implemented accordingly. Figured dimensions have preference over scaled measurements and large scale details supersede small scale drawings. This design and drawing is copyright, being the property of WENTZEL ARCHITECTURE, and must not be reproduced in part or in whole without prior written consent.

PROJECT DESCRIPTION:	SECTIONAL TITLE UNITS
DRAWING TYPE:	Site Development Plan
DRAWN BY:	Kyle Wentzel
PAGE CONTENT:	
Site Development Plan:	
Unit plans	
Unit typical elevations	
Flower Street Elevation	

Client:	Huw Jones
Cadastral:	ERF 10578
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