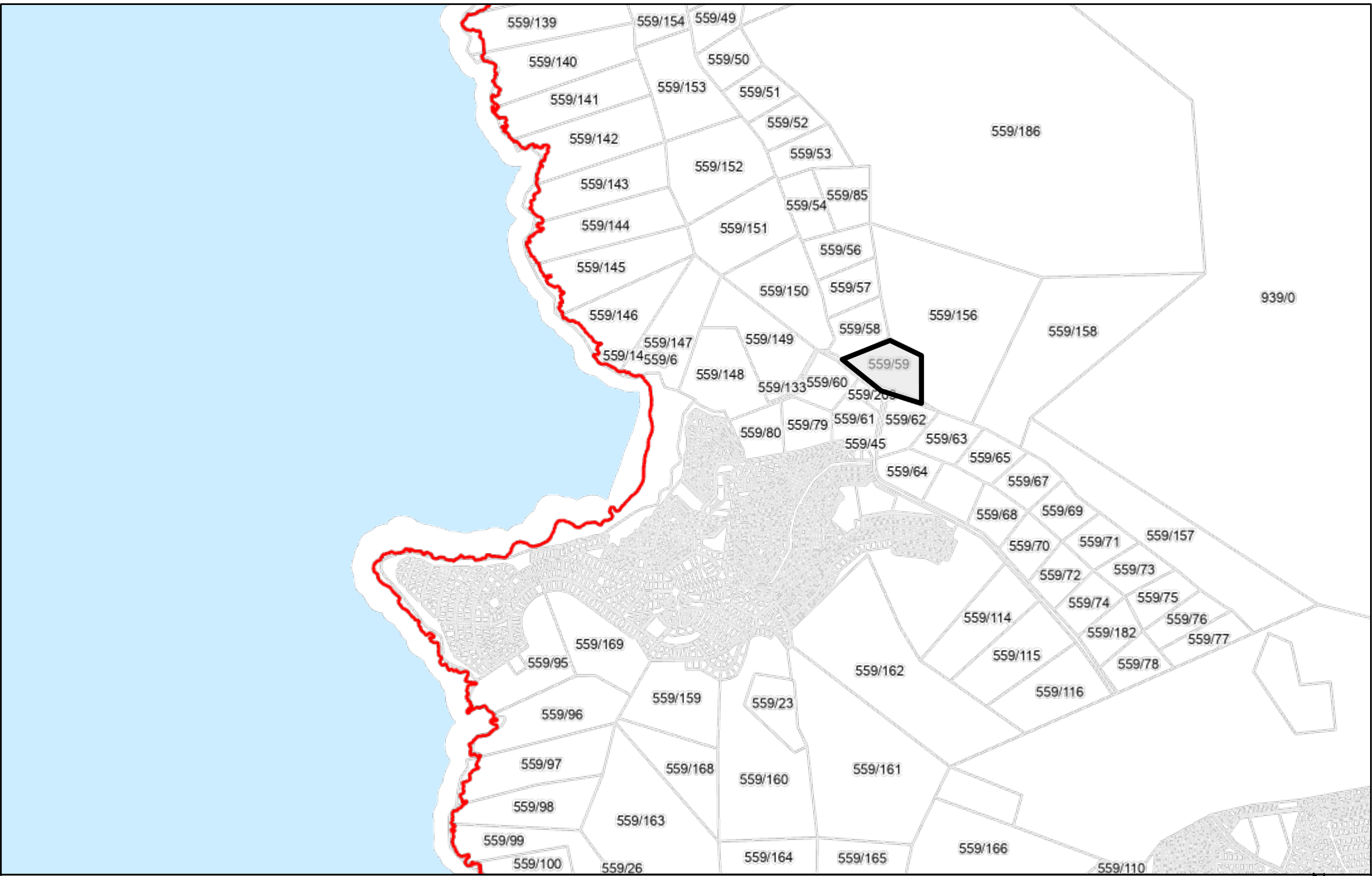


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| <p>OVERSTRAND MUNISIPALITEIT GEDEELTE 59 ('N GEDEELTE VAN GEDEELTE 45) VAN DIE PLAAS HANGKLIP NR. 559, 'N AFDELING VAN CALEDON: AANSOEK OM OPHEFFING VAN BEPERKENDE TITELAKTEVOORWAARDE, VERGUNNINGSGEBRUIKE, WYSIGING VAN VOORWAARDES TEN OPSIGTE VAN BESTAANDE GOEDKEURING EN WYSIGING VAN DIE BESTAANDE GOEDGEKEURDE TERREINONTWIKKELINGSPLAN: INTERACTIVE STADS- EN STREEKBEPLANNING NAMENS GLEN CRAIG TRAINING CENTRE PTY LTD</p> <p>Kragtens Artikel 47 en 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) word hiermee kennis gegee van die onderstaande aansoek van toepassing op Gedeelte 59 ('n Gedeelte van Gedeelte 45) van die Plaas Hangklip Nr. 559 (die eiendom), naamlik:</p> <p>Opheffing van Beperkende Titelaktevoorwaarde Aansoek ingevolge Artikel 16(2)(f) van die Verordening vir die opheffing van beperkende titelaktevoorwaarde E.(o) soos vervat in Titelakte T2048/2006 van die eiendom om die voorgestelde grondgebruik te akkommodeer.</p> <p>Vergunningsgebruik Aansoek ingevolge Artikel 16(2)(o) van die Verordening, om die volgende te akkommodeer:</p> <ul style="list-style-type: none"> • 'n Plek van onderrig om voorsiening te maak vir 'n opleiding- en opvoedkundige sentrum, • 'n Plek van vermaak om troues toe te laat, • 'n Plek van samekoms om spesiale geleenthede soos lesings, preke en troues toe te laat, • 'n Nutsdiens om 'n sonkraaganleg te akkommodeer. <p>Wysiging van voorwaardes ten opsigte van bestaande goedkeuring Aansoek ingevolge Artikel 16(2)(h) van die Verordening, om die toelaatbare vloeroppervlakte van 2400m² na 3280m² te oorskry om die voorgestelde uitbreiding van die bestaande ontwikkeling te akkommodeer.</p> <p>Wysiging van die bestaande goedgekeurde terreinontwikkelingsplan Aansoek ingevolge Artikel 16(2)(l) van die Verordening, om die voorgestelde uitbreiding van die bestaande ontwikkeling te akkommodeer.</p> <p>Besonderhede aangaande die voorstel lê ter insae gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning te Patersonstraat 16, Hermanus en by die Bettysbaai Biblioteek, Clarencerylaan, Bettysbaai.</p> <p>Enige kommentaar moet skriftelik wees en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op 8 November 2024, met u naam, adres, kontak besonderhede, belang in die aansoek en die redes vir kommentaar. Telefoniese navrae kan gerig word aan die Senior Stadsbeplanner, Me. H. van der Stoep by 028-3138900. Die Munisipaliteit mag weier om kommentare te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formuleer.</p> <p>Dr. DGI O'Neill MUNISIPALE BESTUURDER Overstrand Munisipaliteit Posbus 20 HERMANUS 7200</p> <p>Kennisgewing nr. 154/2024</p> | <p>OVERSTRAND MUNICIPALITY PORTION 59 (A PORTION OF PORTION 45) OF THE FARM HANGKLIP NO. 559, A DIVISION OF CALEDON: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITION, CONSENT USES, AMENDMENT OF CONDITIONS IN RESPECT OF EXISTING APPROVAL AND AMENDMENT OF THE EXISTING APPROVED SITE DEVELOPMENT PLAN: INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF GLEN CRAIG TRAINING CENTRE PTY LTD</p> <p>Notice is hereby given in terms of Sections 47 and 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), of the following application applicable to Portion 59 (a Portion of Portion 45) of the Farm Hangklip No. 559 (the property), namely:</p> <p>Removal of Restrictive Title Deed Condition Application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed condition E.(o) as contained in Title Deed T2048/2006 of the property to accommodate the proposed land uses.</p> <p>Consent uses Application in terms of Section 16(2)(o) of the By-Law, to accommodate the following:</p> <ul style="list-style-type: none"> • A place of instruction to allow for a training and educational centre, • A place of entertainment to allow for weddings, • A place of assembly to accommodate special events such as lectures, sermons, and weddings, and • A utility service to accommodate a solar power plant. <p>Amendment of conditions in respect of existing approval Application in terms of Section 16(2)(h) of the By-Law, to exceed the permissible floor space from 2400m² to 3280m² to accommodate the proposed expansion of the existing development.</p> <p>Amendment of the existing approved site development plan Application in terms of Section 16(2)(l) of the By-Law, to accommodate the proposed expansion of the existing development.</p> <p>Full details regarding the proposals above are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town and Spatial Planning, 16 Paterson Street, Hermanus and at the Betty's Bay Library, Clarence Drive, Betty's Bay.</p> <p>Any comments must be in writing and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before 8 November 2024, with your name, address, contact details, interest in the application and the reasons for comment. Telephonic inquiries can be made to the Senior Town Planner, Mrs. H. van der Stoep at 028-3138900. The Municipality may refuse to accept comments after the closing date. Any person who cannot read or write can visit the Town and Spatial Planning Department where they will be assisted by a municipal official in formulating their comments.</p> <p>Dr. DGI O'Neill MUNICIPAL MANAGER Overstrand Municipality P O Box 20 HERMANUS 7200</p> <p>Notice No. 154/2024</p> | <p>UMASIPALA WASE-OVERSTRAND INXENYE YESIZA 59 (ISIQEPHU SENXENYE YESIZA 45) YEFAMA IHANGKLIP ENGUNOMB. 559, ICANDELO LASECALEDON: ISICELO SOKUSUSWA KWEZITHINTELO KWIMIQATHANGO YETAYITILE, IMVUME YOKUSETYENZISWA, ULUNGISO LWEMIQATHANGO NGOKUPHATHELELE IMVUME ESELE IKHO NOLUNGISO LWESICWANGCISO ESIVUNYIWEYO ESISELE SIKHO SOPHULHISO LWESIZA: IDOLOPHU ESEBENZISANAYO NOCWANGCISO LWENGINQI EGAMENI LE-GLEN CRAIG TRAINING CENTRE PTY LTD</p> <p>Isaziso sikhutshwe ngokwemiqathango yamaCandelo 47 kunye nelama-48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 (uMthetho kaMasipala), sesicelo esilandelayo esisebenza kwiSiza 59 (isiQephu seNxenye 45) seFama iHangklip enguNomb. 559 (ipropati), ezizezi:</p> <p>Ukususwa koMqathango oneZithintelo kwiTayitile Isicelo ngokwemiqathango yeCandelo 16(2)(f) loMthetho kaMasipala sokokuba kususwe umqathango E.(o) onesithintelo njengoko uqulethwe kwiTayitile T2048/2006 yepropathi ukulungiselela ukusetyenziswa komhlaba okucetyiweyo.</p> <p>Imvume yokusetyenziswa Isicelo ngokwemiqathango yeCandelo 16(2)(o) yoMthetho kaMasipala, ukulungiselela oku kulandelayo:</p> <ul style="list-style-type: none"> • Indawo yokufundisa eza kuvumela iziko loqeqesho nemfundo, • Indawo yokuzonwabisa eza kuvumela imitshato, • Indawo yokuhlanganela yokusingatha imithetho ekhethekileyo efana nezifundo, iintshumayelo, nemitshato, kunye • Inkonzo eluncedo ukusingatha iziko lezombane. <p>Ukulungiswa kwemiqathango ngokuphathelele imvume esele ikho Isicelo ngokwemiqathango yeCandelo 16(2)(h) yoMthetho kaMasipala, ukodlula isithuba somgangatho esivumelekileyo ukususele ku-2400m² ukuya ku-3280m² ukuvumela ulwando olucetyiweyo lophuhliso olukhoyo.</p> <p>Ulungiso lwesicwangciso esivunyiweyo esisele sikho sophuhliso lwesiza Isicelo ngokwemiqathango yeCandelo 16(2)(l), ukuvumela ulwando olucetyiweyo lophuhliso olukhoyo.</p> <p>Iinkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini phakathi kwentsimbi ye-08:00 neye-16:30kwiSebe: Lezicwangciso ZeDolophu neNdawo, 16 Paterson Street, Hermanus nase Betty's Bay Library, Clarence Drive, Betty's Bay.</p> <p>Naziphi na izimvo ezibhalweyo mazifike kwaMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla wama8 uNovemba 2024, zibe negama lakho idilesi, iinkcukacha ofumaneka kuzo, umdlala wakho kwesi sicelo nezizathu zokuhlomla kwakho. Imibuzo ngefowuni ingathunyelwa kuMcwangcisi Omkhulu weDolophu, Nksz. H. van der Stoep ku-028-3138900. UMasipala angala ukwamkela izimvo ezifike emva komhla wokuvula. Nabani ongakwazi ukufunda nokubhala angahambela kwiSebe Lezicwangciso zeDolophu neNdawo apho baza kuncedwa ligosa likamasipala ukwakha uluvo nokubhala izimvo zakhe.</p> <p>Dr. DGI O'Neill UMPHATHI KAMASIPALA Overstrand Municipality P O Box 20 HERMANUS 7200</p> <p>Inthisi Nomb. 154/2024</p> |
|---|--|---|





InterActive Town & Regional Planning
PO Box 980
Hermanus
7200

Reference: Portion 59 of Farm 559, Hangklip,
Pringle Bay

Date: 26 July 2024

PORTION 59 OF FARM 559, HANGKLIP: CONSENT USES, THE REMOVAL OF A RESTRICTIVE TITLE DEED CONDITION, AMENDMENT OF A CONDITION OF APPROVAL AND AMENDMENT OF THE SITE DEVELOPMENT PLAN

Please find attached the amended motivational report for consent uses, the removal of a restrictive title deed condition, the amendment of conditions of approval and amendment of the Site Development Plan for Portion 59 of Farm 559, Hangklip, Pringle Bay in terms of the relevant legislation, as described in the accompanying documentation.

In support of the application please find the following attached:

- Motivational Report

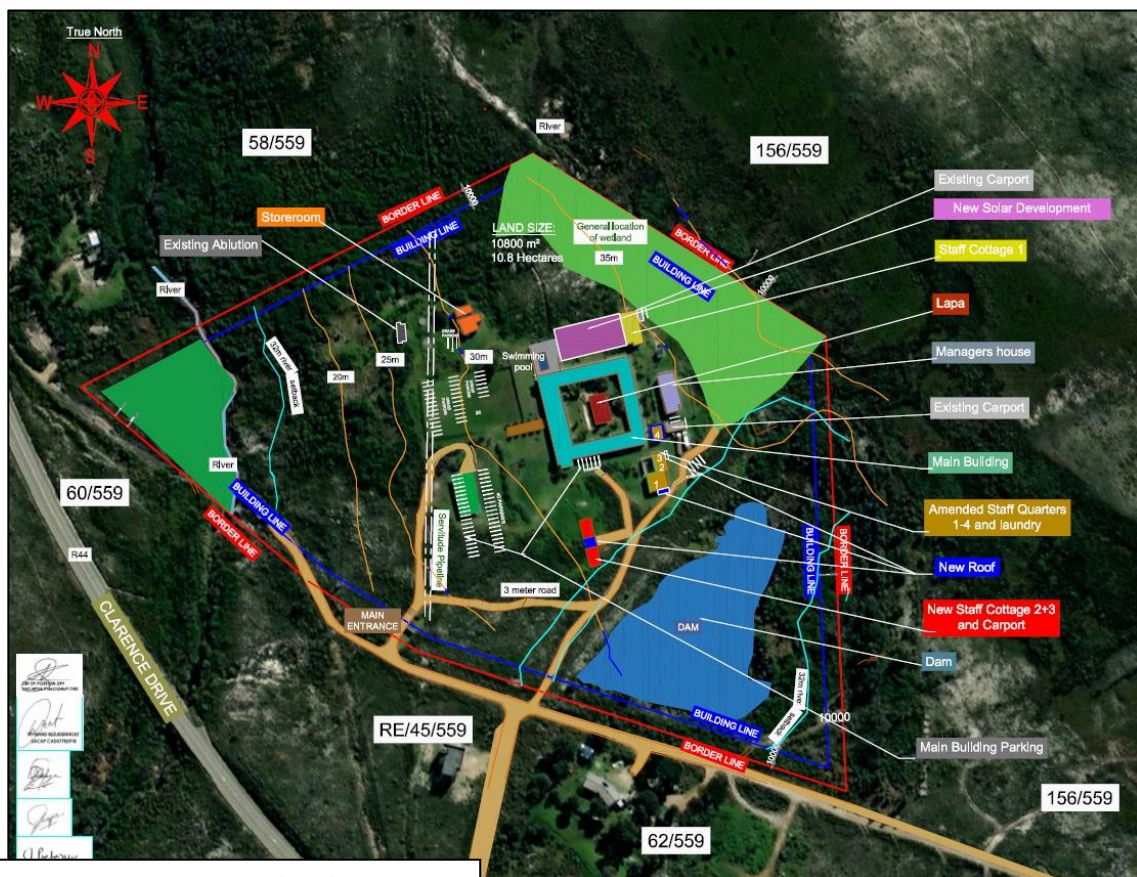
Kind Regards

Andre Wiehahn Pr Pln A/927/1996
B Art et Sc (Town and Regional Planning)



PORTION 59 OF FARM 559 HANGKLIP

Application for consent uses, the removal of a restrictive title deed condition, amendment of a condition of approval and the amendment of the Site Development Plan



Andre Wiehahn Pr Pln A/927/1996
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July 2024

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1. Introduction

a. Brief
Refer to **Annexure B** for the Power of Attorney.

Interactive Town and Regional Planning was appointed by the owner of the property Glen Craig Training Centre Pty Ltd to prepare and submit a Consent Use application for a Place of Instruction, a Place of Assembly, Place of Entertainment, Utility Services as well as the removal of a restrictive title deed condition, the amendment of the Conditions of Approval and the amendment of the Site Development Plan of Portion 59 of Farm 559, Hangklip in terms of the relevant legislation.

b. Development Objective, Background & Application Proposal

The **development objective** is to use the application area as an international missionary educational and training centre. The institution involved is the Foundation for Cross-Cultural Education (FCE).

FCE (Register in South Africa as an NGO) is an international mission organization that operate from South Africa into Namibia, Zambia, Malawi, Zimbabwe, Europe and the East.

They are a non-profit organization and all funds received are used to maintain and support the ministry and the premises where they operate from. The facility is to provide a service for the wider church community internationally.

The property is planned to be used for courses, seminars, retreats for churches, groups and functions and with exceptions for weddings.

The following plans show the proposed Site Development Plan of the mission, educational and training centre on Portion 59 of Farm 559 Hangklip.

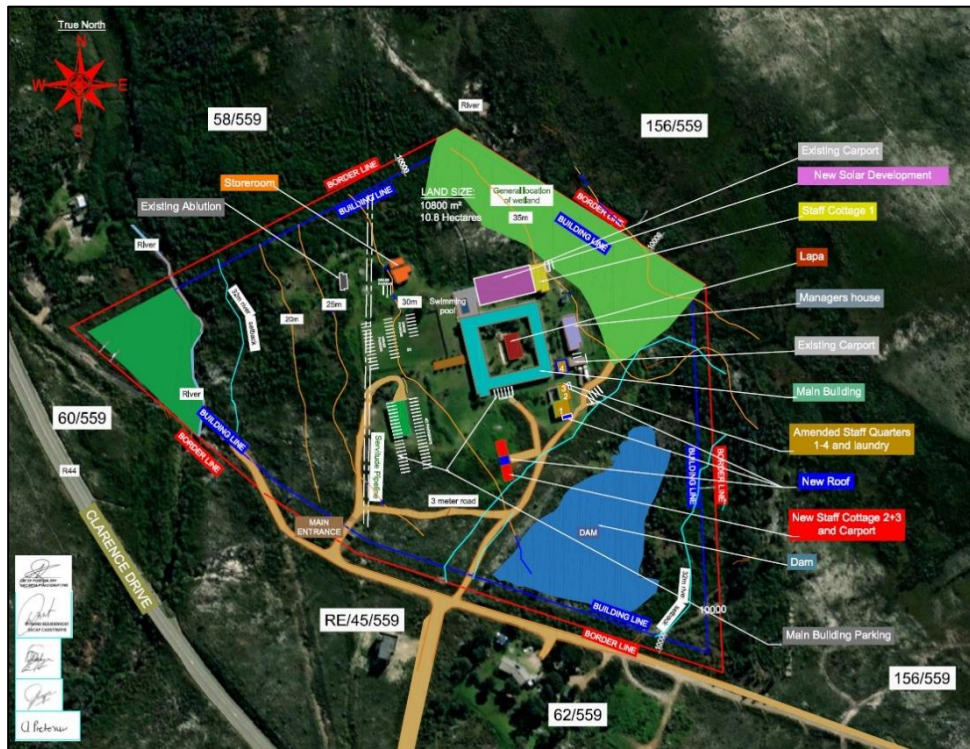


Figure 1: Site Development Plan

The application proposal also includes the addition of two staff cottages and a solar panel plant.

Subsequently, the **application proposal** is for:

- Consent use for a Place of Instruction
- Consent use for a Place of Assembly
- Place of Entertainment
- Consent use for a Utility Service
- Amendment of a condition of approval from a maximum permissible floor space of 2400m² to 3280m².
- Amendment of the Site Development Plan
- The removal of a restrictive title deed condition.

c. The Premises

The application area of 10.6 ha is situated approximately 400m northeast of Pringle Bay village and is zoned Rural Zone 2: Conservation Usage with a consent use for Tourist Accommodation and Tourist Facilities. The application area includes a former hotel and conference building with ancillary recreational and other facilities; which are no longer operational and of which the site development plan was approved in 2012, as illustrated in the layout and Photographs below.

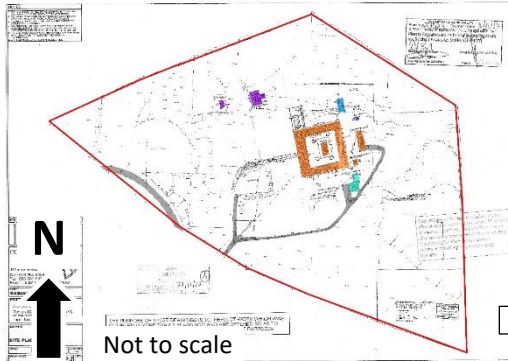


Figure 2: Approved Site Development Plan



Figure 3: Existing lay-out of buildings to be used and converted for the development proposal



Figure 4: Photographs of the application area (Main Hotel Building, Thatched Lapa & Landscaped Entrance Way)

2. The Application

| | | | |
|---|---|---|---|
| a. Analysis: Title Deed | <p>The application area title deed, T2048/2006, contains a restrictive title deed condition which is proposed to be removed and reads as follows:</p> <p><i>“E. SUBJECT AND/OR ENTITLED to the benefit of the following special conditions contained in the aforesaid Deed of Transfer T.18344/1959 and imposed by Hangklip Beach Estates Limited for the benefit of itself and its successors in Title as the Owner of the remaining extent of the said portion 45 of the Farm Hangklip measuring as such remainder 250,8309 hectares, and held under Certificate of Registered Title T.5789/1957:</i></p> <p><i>(o) The said land may be used for the purposes of agriculture and the breeding and keeping of domestic animals, poultry and/or bees provided that no goats or pigs may be kept, and/or for the purpose of carrying on the business or businesses of a boarding house, garage, filling station, restaurant, recreational club and/or general dealer or any of them.”</i></p> | | |
| b. Analysis: Development Criteria: | <p>The development parameters for Portion 59 of Farm 559 Hangklip, Pringle Bay as per the Overstrand Municipality Land-Use Scheme Regulations, 2020 are summarised as follows:</p> | | |
| Parameters | Existing Zoning: | Proposed | Comments |
| Zoning | Rural Zone 2: Conservation Usage | Rural Zone 2: Conservation Usage | Consistent |
| Primary Use | Conservation use, dwelling house, guest rooms, home occupation | Conservation use, dwelling house, guest rooms, home occupation | Consistent |
| Consent Uses | Agriculture, aquaculture, day care centre, harvesting of natural resources, intensive animal farming, intensive horticulture, <u>place of assembly, place of entertainment, place of instruction</u> , plant nursery, recreational facilities, rooftop base station, second dwelling unit, tourist accommodation, tourist facilities, transmission tower, <u>utility services</u> . | <u>Place of assembly, place of entertainment (for weddings only), place of instruction & utility services to accommodate a solar plant</u> (Tourist accommodation, tourist facilities, including lecture rooms already approved) | Application includes a consent use |
| Floor space | 800m ² (2400m ² approved) | 3280m ² | Application includes the amendment of a condition of approval |
| Coverage | N/A | 2.5% | Consistent |
| Height | 8m | 1 storey / 6m | Consistent |
| Building lines | Street | 10m | Consistent |
| | Common | 10m | Consistent |
| Roads & Parking | Place of assembly / conference centre: 1 bay per 4 seats Place of instruction: 0.5 bays per student plus 1 bay per classroom or office Residential building: 2 bays per establishment per one bay per guest room Dwelling houses / dwelling units: 2 bays per dwelling | 51 bays are required (up to additional 25 bays will be required for events which will occur approximately two or three times a year) 62 Dedicated parking bays are proposed & 30 Overflow parking bays are proposed on the activity field | Consistent |

| | |
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| <p>c. Definitions:</p> | <p>“place of assembly” means a public hall, a hall for social functions, a music hall, an exhibition hall, a club house, a town hall or a civic centre which is not directly related to a commercial undertaking and excludes a place of entertainment;</p> <p>“place of entertainment” means a place used for commercial entertainment which may attract large numbers of people, operates outside normal business hours or generates noise from music or revelry on a regular basis and includes a cinema, a theatre, an amusement park, a dance hall or a night club and gambling and live music;</p> <p>“place of instruction” means a place for education at pre-school, school or post-school levels (including a day care centre, a crèche, a farm school, a nursery school, a primary school, a secondary school, a college, a lecture hall, a university, a research institute, an environmental research or other educational centre) and associated uses such as boarding hostels or a civic facility for the promotion of knowledge to the community such as a convent, a monastery, a public library, a public art gallery or museum or a place of instruction in sport or other physical discipline where the main objective is instruction (as opposed to participation by the public sector as competitors or spectators) but excludes a reformatory, industrial school, commercial conference facility, institution, health centre or in-house business training centre;</p> <p>“tourist accommodation” means the letting of rooms or individual unit(s) (including a dwelling house/unit) on a temporary basis to transient guests where a daily or weekly tariff is applicable and includes a guest house, backpackers establishment, camp sites, and associated amenities, provided that the use complies with the requirements of any other relevant legislation;</p> <p>“tourist facilities” means amenities for tourists or visitors such as lecture rooms, restaurants, picnic areas, gift shops, cafés, restrooms, recreational facilities, animal parks (domestic or otherwise) but does not include a hotel or overnight facilities;</p> <p>“utility service” means a use or infrastructure that is required to provide engineering and associated services for the proper functioning of urban development and includes a water reservoir and purification works, electricity substations and transmission lines, waste water pump stations and treatment works, <u>energy renewable infrastructure such as wind turbines and solar panels</u>, whether above or below ground or water, and may include such sustainable service delivery technology as the Municipality may approve but does not include road or transport use;</p> |
| <p>d. Application:</p> <p>The application form is attached as Annexure A.</p> | <p>Application is subsequently made in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020, for:</p> <ul style="list-style-type: none"> • Consent use for a Place of Instruction in terms of Chapter IV, Section 16(2)(o). • Consent use for a Place of Entertainment (for weddings only) in terms of Chapter IV, Section 16(2)(o). • Consent use for a Place of Assembly in terms of Chapter IV, Section 16(2)(o). • Consent use for a Utility Service in terms of Chapter IV, Section 16(2)(o). • Removal of restrictive title deed condition E.(o) from title deed T2048/2006 in terms of Chapter IV, Section 16(2)(f). • Amendment in respect of an existing approval from a maximum permissible floor space of 2400m² to 3280m² in terms of Chapter IV, Section 16(2)(h). • Amendment of the Site Development Plan in terms of Chapter IV, Section 16(2)(l). |

3. Contextual Site Information

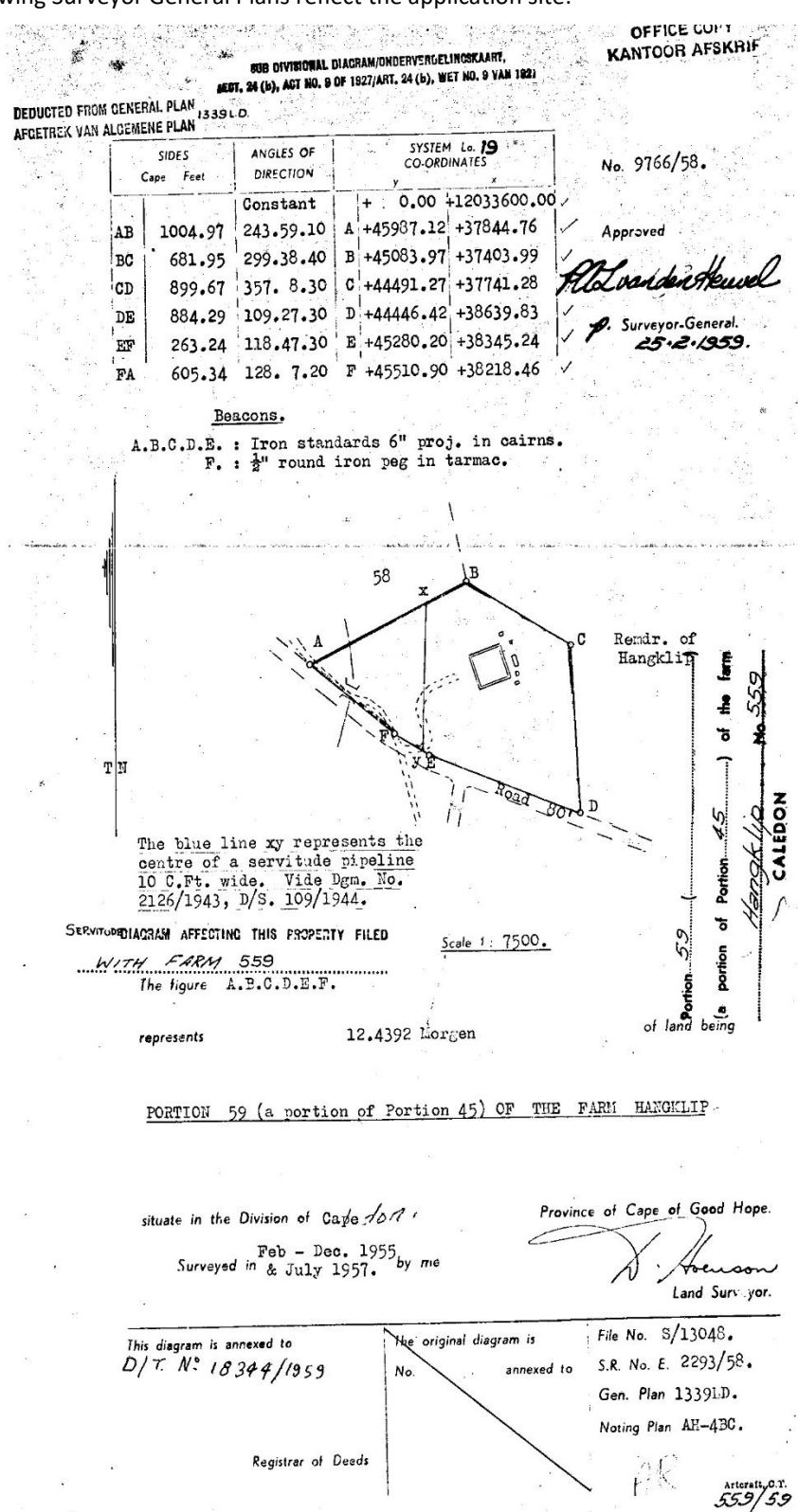
| a. Property Description | Property | Extent | Title Deed | Registered Owner | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---------------------------------|-----------|---------------------|------------------------------------|----------------------------|-----|------|---------------------|----------|----------------------------|----|--|---------|-----------|--|---------------------|----|--|--------|-----------|--|-----------------------|----|--|--------|-----------|--|-----------------------|----|--|--------|-----------|--|-----------------------|----|--|--------|-----------|--|-----------------------|----|--|--------|-----------|--|-----------------------|--|--|--|--|--|-----------------------|
| Refer to Annexure D for the SG Diagrams, Annexure B for the Title Deed of Portion 59 of Farm 559 Hangklip. | Portion 59 of Farm 559 Hangklip | 10.6546ha | T2048/2006 | Glen Craig Training Centre Pty Ltd | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| The following Surveyor General Plans reflect the application site: <div style="text-align: center;">  <p>808 DIVISIONAL DIAGRAM/ONDERVANGELINGSKAART, ART. 24 (b), ACT NO. 9 OF 1927/ART. 24 (b), WET NO. 9 VAN 1927</p> <p>DEDUCTED FROM GENERAL PLAN 1339LD. AFGETREK VAN ALGEMENE PLAN 1339LD.</p> <table border="1"> <thead> <tr> <th>SIDES</th> <th>Cap</th> <th>Feet</th> <th>ANGLES OF DIRECTION</th> <th>Constant</th> <th>SYSTEM No. 19 CO-ORDINATES</th> </tr> </thead> <tbody> <tr> <td>AB</td> <td></td> <td>1004.97</td> <td>243.59.10</td> <td></td> <td>+ 0.00 +12033600.00</td> </tr> <tr> <td>BC</td> <td></td> <td>681.95</td> <td>299.38.40</td> <td></td> <td>A +45987.12 +37844.76</td> </tr> <tr> <td>CD</td> <td></td> <td>899.67</td> <td>357. 8.30</td> <td></td> <td>B +45083.97 +37403.99</td> </tr> <tr> <td>DE</td> <td></td> <td>884.29</td> <td>109.27.30</td> <td></td> <td>C +44491.27 +37741.28</td> </tr> <tr> <td>EF</td> <td></td> <td>263.24</td> <td>118.47.30</td> <td></td> <td>D +44446.42 +38639.83</td> </tr> <tr> <td>FA</td> <td></td> <td>605.34</td> <td>128. 7.20</td> <td></td> <td>E +45280.20 +38345.24</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td>F +45510.90 +38218.46</td> </tr> </tbody> </table> <p>OFFICE COPY KANTOOR AFSKRIF No. 9766/58. Approved <i>P. J. van der Hevel</i> P. Surveyor-General. 25.2.1959.</p> <p>Beacons. A.B.C.D.E. : Iron standards 6" proj. in cairns. F. : 1/2" round iron peg in tarmac.</p> <p>The blue line xy represents the centre of a servitude pipeline 10 C.Ft. wide. Vide Dgm. No. 2126/1943, D/S. 109/1944.</p> <p>SERVITUDE DIAGRAM AFFECTING THIS PROPERTY FILED WITH FARM 559 The figure A.B.C.D.E.F. represents 12.4392 Morgen</p> <p>Scale 1 : 7500.</p> <p>PORTION 59 (a portion of Portion 45) OF THE FARM HANGKLIP</p> <p>situate in the Division of Cape of Good Hope. Feb - Dec. 1955 Surveyed in & July 1957. by me <i>J. J. van der Hevel</i> Land Surveyor.</p> <p>This diagram is annexed to D/T. N^o 18344/1959 The original diagram is No. _____ annexed to _____ File No. S/13048. S.R. No. E. 2293/58. Gen. Plan 1339LD. Noting Plan AH-4BC. Registrar of Deeds AR Arterath, G.T. 559/59</p> </div> | | | | | SIDES | Cap | Feet | ANGLES OF DIRECTION | Constant | SYSTEM No. 19 CO-ORDINATES | AB | | 1004.97 | 243.59.10 | | + 0.00 +12033600.00 | BC | | 681.95 | 299.38.40 | | A +45987.12 +37844.76 | CD | | 899.67 | 357. 8.30 | | B +45083.97 +37403.99 | DE | | 884.29 | 109.27.30 | | C +44491.27 +37741.28 | EF | | 263.24 | 118.47.30 | | D +44446.42 +38639.83 | FA | | 605.34 | 128. 7.20 | | E +45280.20 +38345.24 | | | | | | F +45510.90 +38218.46 |
| SIDES | Cap | Feet | ANGLES OF DIRECTION | Constant | SYSTEM No. 19 CO-ORDINATES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AB | | 1004.97 | 243.59.10 | | + 0.00 +12033600.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BC | | 681.95 | 299.38.40 | | A +45987.12 +37844.76 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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Figure 5: Extracts of the Surveyor General Plans of the application site

b. Location:

For the Locality Plans refer to Annexure E

Regional Context:

Within the regional context, the application area is a farm on the north eastern side of Pringle Bay, 5km from Rooi Els and 3km from Betty's Bay.

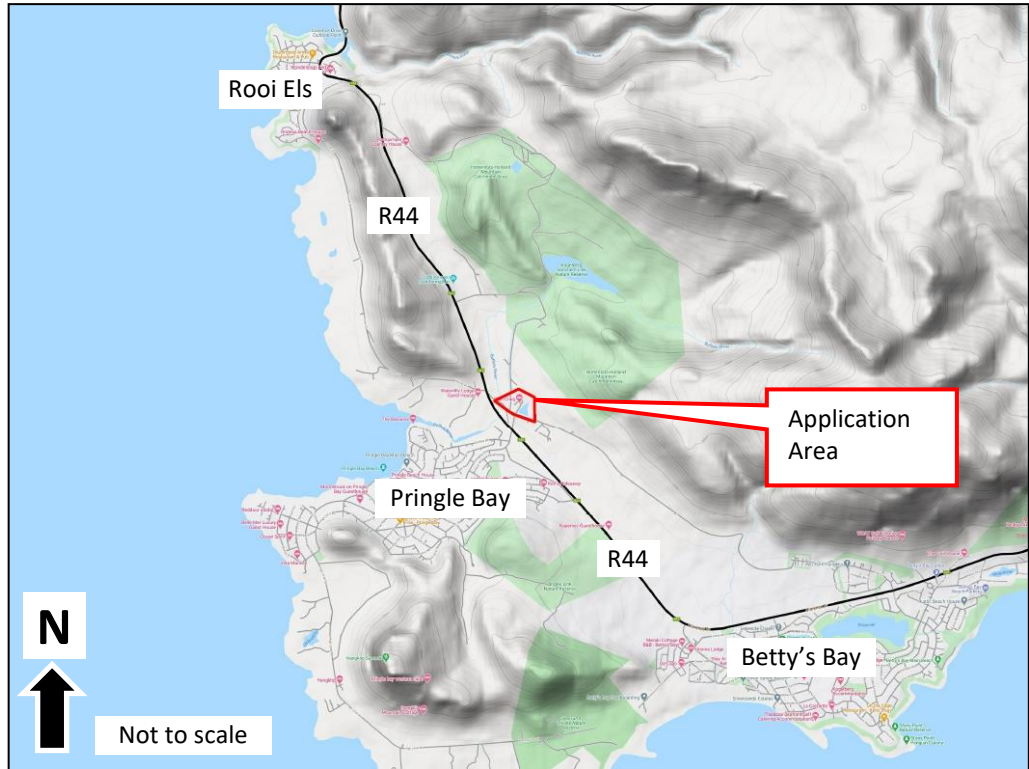


Figure 6: Locality Plan – Regional Context

Local Context:

Within the local context the application area is approximately 400m northeast of Pringle Bay residential suburb and 200m from the R44 / Hangklip Road intersection, surrounded by rural landscape.

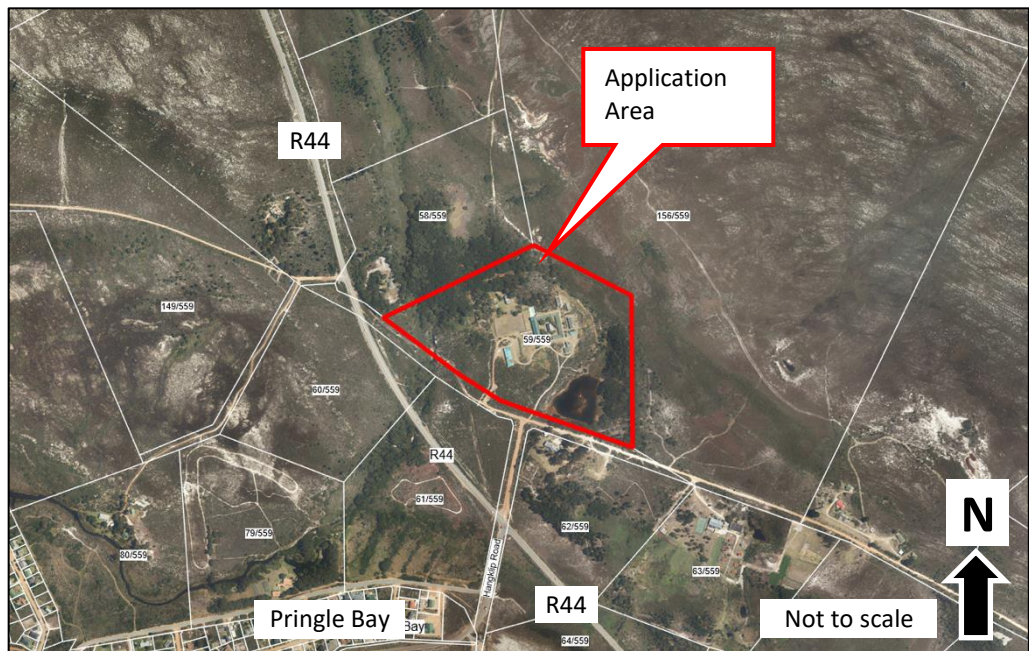




Figure 7: Locality Plan – Local Context

c. Land Use:

Refer to the Land Use plan attached as **Annexure E**.

The application area was previously used for tourist accommodation and tourist facilities (the former Glen Craig Hotel). The surrounding properties are used for open space / rural purposes and community facilities which is used as a school. The proposal is to use the application area for a missionary educational and training centre and subsequently the application inter alia includes a consent use for a place of instruction, a place of assembly and for utility services. The proposal is considered compatible with the surrounding land-use and area.

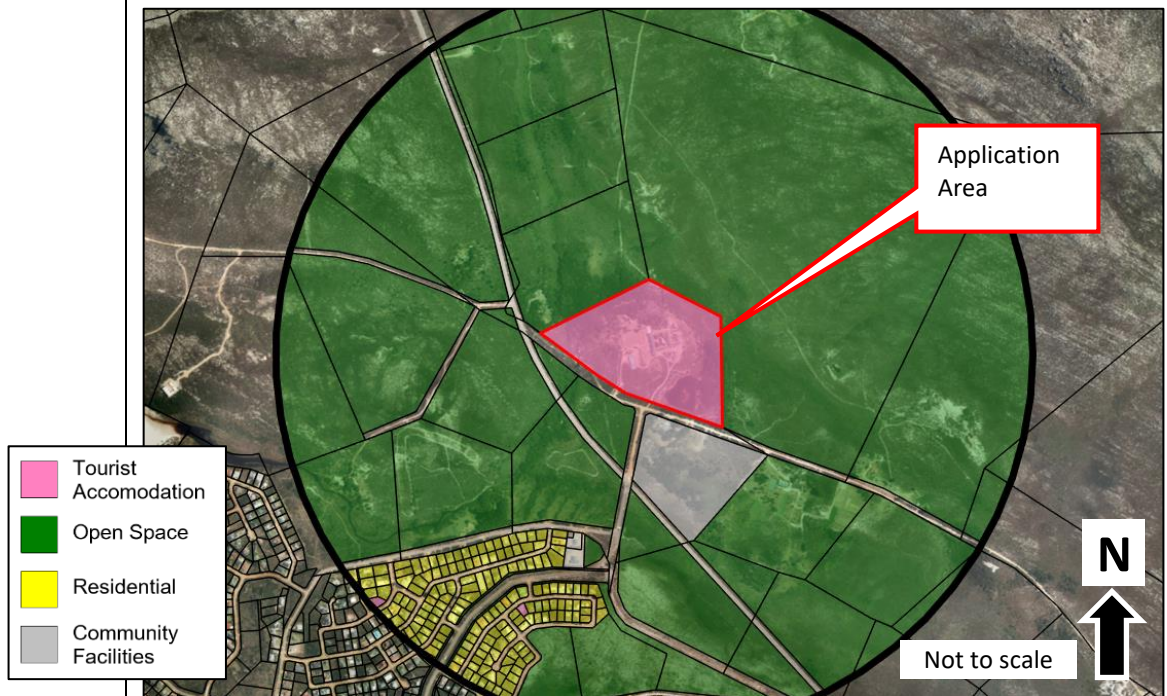


Figure 8: Google Image overlay illustrating the residential land-use activities of the application area and surrounding properties

d. Zoning:
Refer to the Extract of Pringle Bay Zoning plan attached as Annexure G.

The application area, Portion 59 of Farm 559, Hangklip is zoned Rural Zone 2: Conservation Usage. The surrounding erven are zoned Agriculture Zone 1: Agriculture and Undetermined Zone as reflected in Figure 9 here-below. No change in zoning is proposed. The zoning is compatible with the surrounding area.

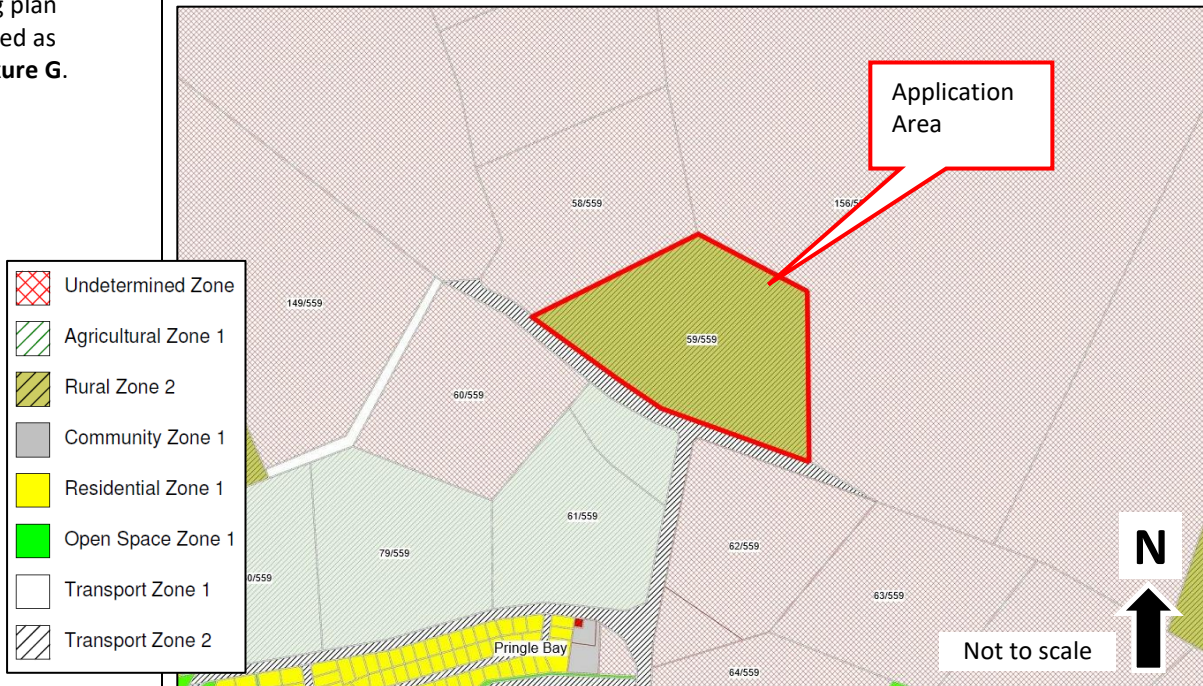


Figure 9: Extract from the Overstrand Municipality: Online zoning viewer

e. Laws and policies relevant to the consideration of the application and forward planning and land use documents

The following policy is applicable to the application area.

i. Overstrand Municipal Spatial Development Framework, 2020



New Urban Development

No new urban development is proposed for Pringle Bay.”

According to the SDF, 2020, the application area is partially a business zone, falls within a Heritage: HPOZ Local Zone and Protected Area Buffer EMOZ. The application area is outside the Urban Edge.

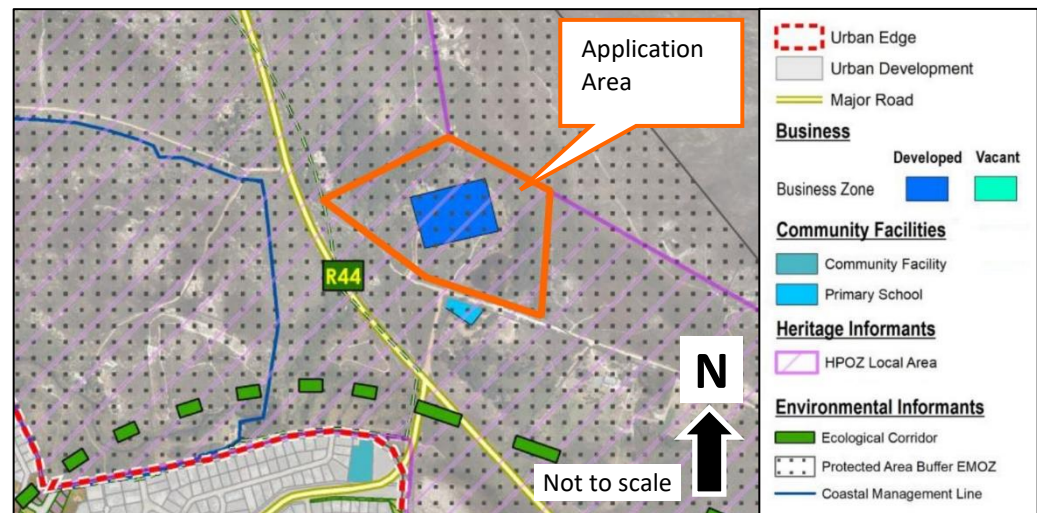


Figure 10: Overstrand Municipal Spatial Development Framework 2020, Plan 24: Pringle Bay: Status Quo extract

The application is consistent with the Overstrand Municipal Spatial Development Framework, 2020, as the proposed uses will be accommodated within the existing footprint and floor area on the application area including the proposed new staff cottages and solar panels. Therefore, no significant additional impact on natural vegetation, ecosystems or heritage worthy buildings is foreseen. The proposed use as a training centre is compatible with the

ii. Overstrand Municipality Growth Management Strategy, 2010

Furthermore, the application area is located outside the urban edge.

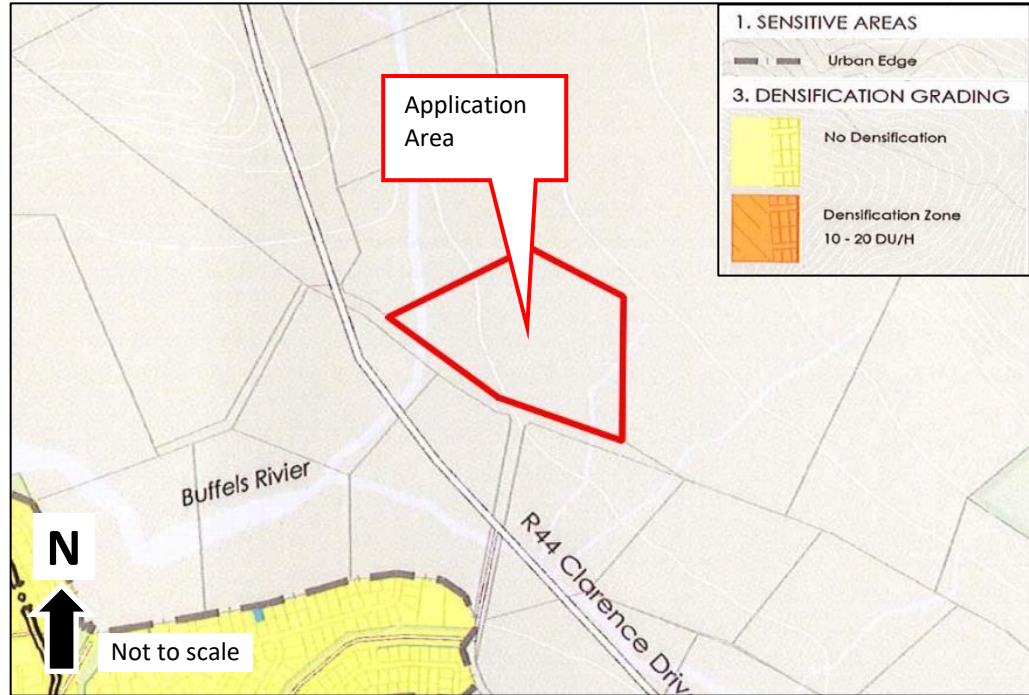


Figure 11: Extract from the Overstrand Municipality Growth Management Strategy, 2010 reflecting the envisaged land-uses for the area.

f. Services

Electricity:

The application area is proposed to be fully reliant on solar power and therefore the installation of solar pannels are proposed.

Sewer:

In 2007 Dr. Kevin Winter from Environmental and Geographical Science from the University of Cape Town has provided a letter of inspection of the existing septic tank and stated the the conditions are generally ideal for the efficient operation of a septic tank, subject to maintenance.

Water:

The application area has an existing water supply.

4. Motivation

Motivation for the application:

Refer to **Annexure H** for the Site Development Plan

a. Introduction and Background

The application area, 10.6 ha in extent, and situated approximately 400m northeast of Pringle Bay village, is currently zoned for Rural Zone 2: Conservation Usage with a consent use for a Tourist Accommodation and Tourist Facilities.

The application area consisted of a hotel and conference facility with ancillary recreational and other buildings which are no longer operational and of which the site development plan was approved in 2012 to accommodate these existing buildings and previous uses.

The application area was originally purchased in 2003 by the previous owner as a site vastly overgrown and accommodated dilapidated and run-down buildings. A number of squatters lived on the application site which was required to be removed by the South-African Police Force at that time. Refer to Figure 12 for a photograph of the site prior to the renovations.

The previous owners operated the application area as a hotel. The hotel was however not consistently financially viable and therefore ceased operations resulting in the application area being vacant for some time.



Figure 12: Photographs of the original site showing alien overgrowth and garbage

The property was sold to the Foundation for Cross-cultural Education in 2022. The Foundation for Cross-cultural Education has 8 training centres within several African countries.

In figure 13 and 14, an areal photograph shows the buildings on the application site as well as the originally approved Site Development Plan.

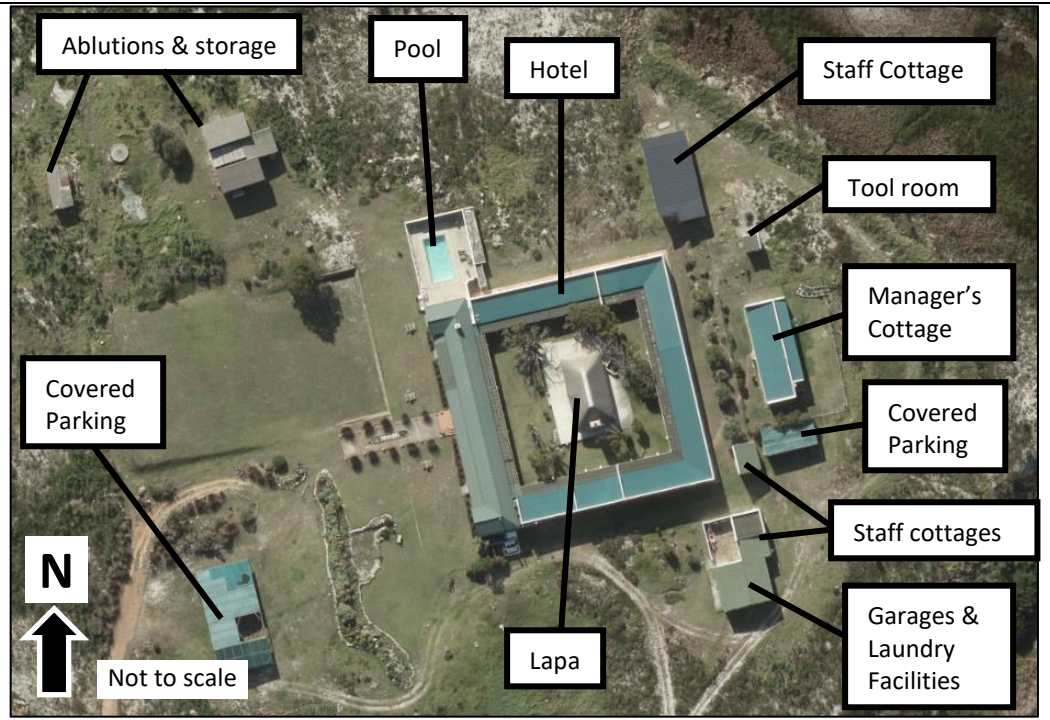


Figure 13: Layout of existing buildings to be used for development proposal

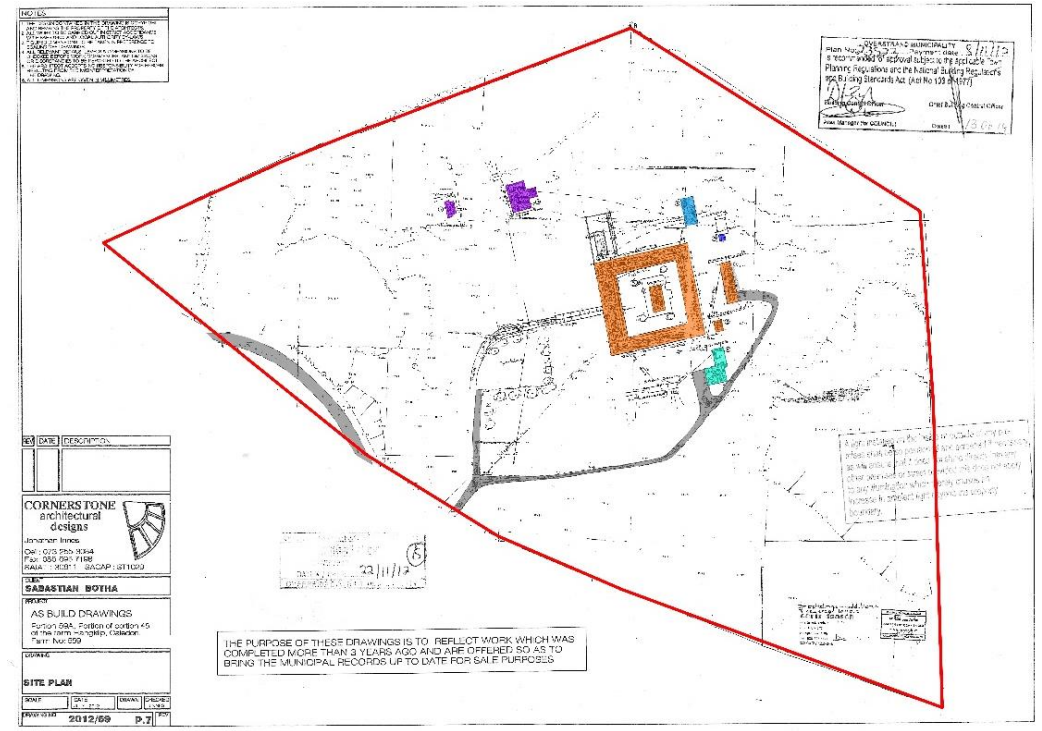


Figure 14: Original approved Site Development Plan

The following photographs show the existing buildings individually on the application area:

Proposed Main Land Use Buildings



Lapa



Garages and laundry



Staff cottage



Manager's cottage



Staff cottage



Staff cottage



Tool shed



Ablutions & storage



Figure 15: Photographs of the existing buildings



Figure 16: Dam area and Pool on the application area

b. Proposal

The proposal is to use the application area as a place of instruction and assembly as part of an international mission, educational and training centre and also a place of entertainment to accommodate weddings limited to 3 times per year. The proposal also includes approval for two new staff cottages with a carport and solar panels.

The mission & training centre will have approximately 20 students at a time as well as training centre staff. The existing hall can accommodate up to approximately 50 seats. Events with up to 100 people are proposed approximately two or three times a year for periods between one to four days.

The proposed premises is anticipated to accommodate the following structures:

- Existing main building (1485m²)
 - 19 single bedrooms
 - 5 offices
 - Reception

- Dining room
- Kitchen
- Bar
- 2 Lounges
- Dining room
- Board room
- Lecture room
- Bathrooms
- Storage
- Existing lapa / multifunction hall & braai area (136m²)
- 6 Existing and 2 new staff & management cottages (592m²)
- Existing storeroom (168m²)
- Amended parking
 - 2 Carports
 - 4 bay carport
 - 2 bay carport
 - 40 bays in main parking lot
 - 16 additional parking bays
 - 30 bays overflow parking on the activity field
- New solar panels (792m²)

Tool shed and ablutions building

The additional structure footprints/ floor space total 1071m² and consists of the following:

- Staff cottages: 117m² x 2 = 234m²
- 2 bay carport: 55m²
- Solar panels: 792m²

The existing main parking carports are proposed to be removed.

The total floor space of all structures amounts to 3280m². 2400m² floor space was previously approved and as a result this application includes an amendment of the existing condition of approval.

Since the application is for a training and educational centre, application is made for a consent use for place of instruction and a place of entertainment for weddings only.

In addition to the above, occasionally and during special events, the multifunction hall is proposed to be used for lectures, sermons and events such as weddings to larger groups, and therefore the application includes a consent use for a place of assembly.

Subsequently, the application proposal is for:

- Consent use for a Place of Instruction
- Consent use for a Place of Entertainment (for weddings only)
- Consent use for a Place of Assembly
- Consent use for a Utility Service
- The removal of a restrictive title deed condition
- Amendment of a condition of approval from a maximum permissible floor space of 2400m² to 3280m².
- Amendment of the Site Development Plan

The proposed Site Development Plan is shown in Figure 17 below:

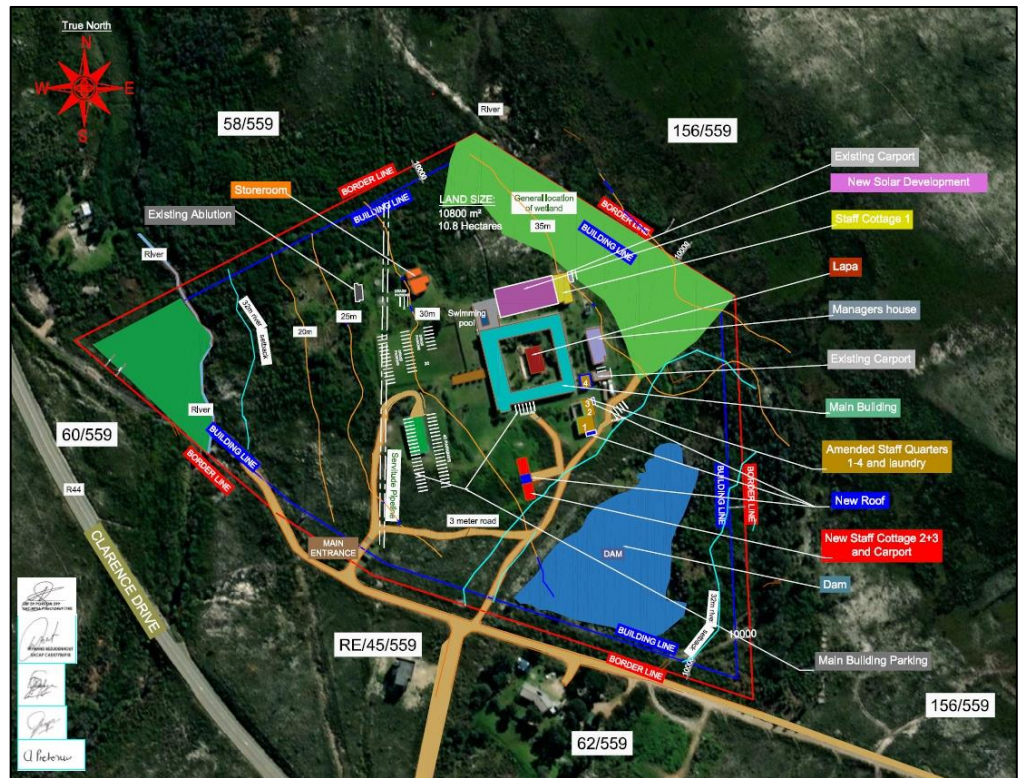


Figure 17: Proposed site development plan

The main building plan and elevations are shown in Figures 18 and 19 below:

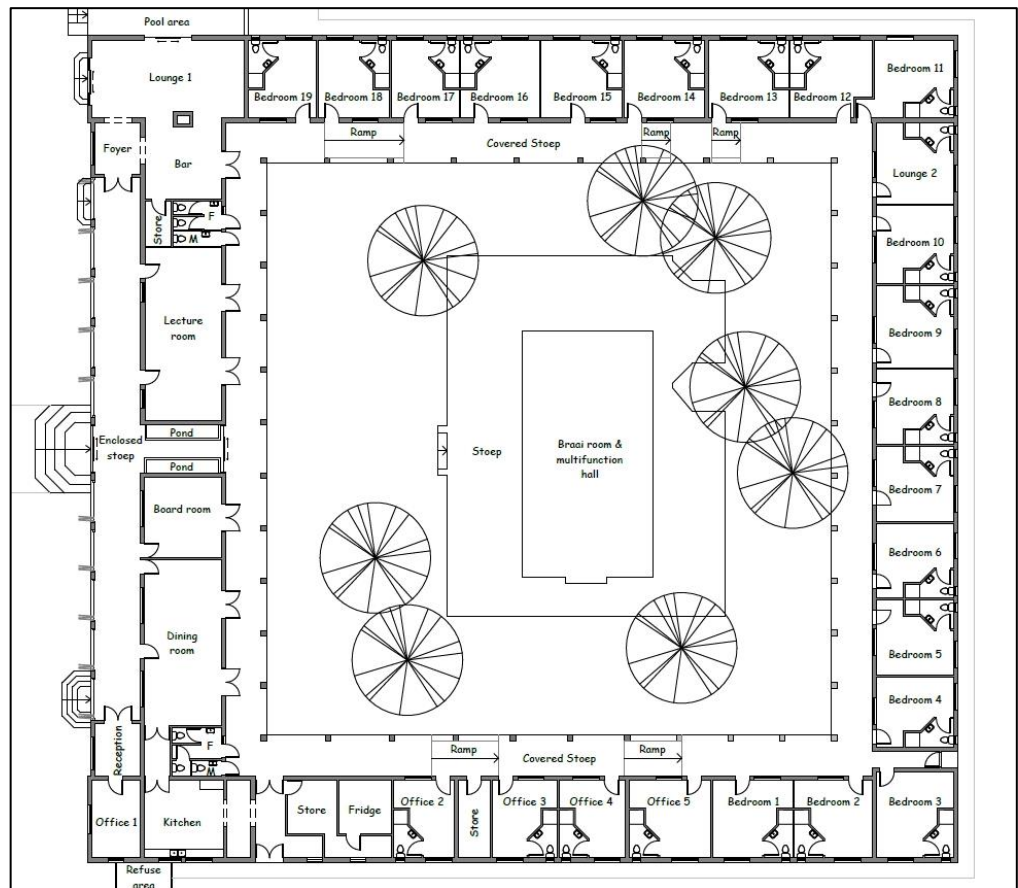


Figure 18: Proposed Uses in the Main Building potentially subject to some internal changes

Main Building Southern Elevation



Main Building Western Elevation



Main Building Northern Elevation



Main Building Eastern Elevation



Figure 19: Main Land Use Building elevations

Consent use for a place of instruction

The primary land use proposed for the application area is for an international mission, educational, weddings on exceptional occasions (limited to 3 times per year) and training centre. Approximately 20 students will attend the training centre at a time. The students and staff will reside on the application area with the students in the main building and the staff in the cottages.

The calm environment surrounded by nature is an ideal location for a training centre, since it facilitates contemplation and reflection.

The scale of the proposed place of instruction is significantly smaller than that of an average school, only having approximately 20 students at a time.

Consent use of a place of entertainment

Occasional weddings are proposed on the application area up to 5 times per year. The existing hall can accommodate approximately 50 seats.

Sound will be limited to comply with the Western Cape Noise Control Regulations.

30 bays overflow parking bays on lawn in addition to the 62 permanent bays are proposed to be used during larger events as needed.

The consent use for place of entertainment only for weddings will not result in other uses as per the zoning scheme definition of place of entertainment. (i.e. not for a cinema, a theatre, an amusement park, a dance hall or a night club and gambling etc.)

Consent use for place of assembly

Occasional larger events such as church camps amongst others are foreseen in future. These events include one day and on rare occasion four day events. The number of people attending these events will vary but can potentially be up to 100 people. It is not foreseen that such events will exceed two or three times per year.

The existing hall can accommodate approximately 50 seats, and the lecture room approximately 20. For bigger functions provision will be made accordingly.

Sound will be limited to comply with the Western Cape Noise Control Regulations.

Sufficient parking and overflow parking is available to be provided.

Consent use for utility service

A 792m² solar power plant is proposed within the application area in order to provide electricity to all buildings on the application area. The solar power plant is proposed on ground level and will be screened by structures from the west, south and east.

As a result of the solar panels, the application area will no longer be reliant on the national electrical grid and will therefore reduce pressure on the overburdened electrical grid.

A stable power supply will improve productivity on the application area and will make the use of the facility more desirable, especially for international students and guests, which will also improve the viability of the missionary educational and training centre.

Solar is a renewable energy source, being environmentally friendly and contributing to national carbon reduction goals as well.

Removal of a restrictive title deed condition

The application area title deed, T2048/2006, contains a restrictive title deed condition which is proposed to be removed and reads as follows:

“E. SUBJECT AND/OR ENTITLED to the benefit of the following special conditions contained in the aforesaid Deed of Transfer T.18344/1959 and imposed by Hangklip Beach Estates Limited for the benefit of itself and its successors in Title as the Owner of the remaining extent of the said portion 45 of the Farm Hangklip measuring as such remainder 250,8309 hectares, and held under Certificate of Registered Title T.5789/1957:

(o) The said land may be used for the purposes of agriculture and the breeding and keeping of domestic animals, poultry and/or bees provided that no goats or pigs may be kept, and/or for the purpose of carrying on the business or businesses of a boarding house, garage, filling station, restaurant, recreational club and/or general dealer or any of them.”

The above title deed restriction does not clearly restrict the application proposal as it is written in such a way that it can be interpreted as to give rights and that the rights are not exclusive rights. The clause reads “the said land may be used for” and does not include words such as “exclusively” or “only”. It is interpreted by the local authority that the proposed activities are restricted by this specific clause.

In order to have certainty that the proposed land uses are permissible, restrictive title deed condition E.(o) is proposed to be removed from title deed, T2048/2006.

Land-use is prescribed and managed by the Overstrand Municipality Land-Use Scheme Regulations, 2020. The Overstrand Municipality Land-Use Scheme Regulations, 2020 has evolved over time, in contrast to the title deed restrictions which have remained static. The application is also considered desirable, allowing for an appropriate use of the application area. The application therefore includes the removal of title deed condition E.(o) from title deed T2048/2006.

| | |
|--|--|
| | <p><u>Amendment of a condition of approval from a maximum permissible floor space of 2400m² to 3280m²</u></p> <p>The carports over the main parking are proposed to be removed and two new staff cottages with a carport for two vehicles and solar panels are proposed.</p> <p>The solar panels are proposed in close proximity of the main building to reduce potential impact on the natural environment and for practical installation purposes.</p> <p>To operate the proposed missionary educational and training centre, 13 bedrooms in addition to the manager’s cottage are required for proposed staff. The existing cottages only accommodates 7 bedrooms in addition to the manager’s cottage and the main building is proposed to be reserved for students and temporary guests. The main building is not suitable for staff due to the lack of private living areas. As a result two additional staff cottages with 3 bedrooms each are proposed. These cottages will have three bedrooms each with a private open-plan kitchen, dining area and living room. The following staff composition relating to the cottages is envisaged:</p> <ul style="list-style-type: none"> • FCE director (Staff Cottage 3)(New) • Administration and correspondent (Managers House) • Administration (Staff Quater 3) • Finances (Staff Cottage 1) • Kitchen & finances support (Staff Quarter 2) • Kitchen (Staff Quater 4) • Maintenance and IT (Staff Cottage 1) • Media and building projects (Staff Quarter 1) • Hospitality and general facility management. (Staff Cottage 2)(New) • 2x Training & course facilitators (Main Building) <p><u>Access & Parking</u></p> <p>For normal operations, 51 bays are required and up to additional 25 bays will be required for events which will occur two or three times a year.</p> <p>Sixty two dedicated parking bays are proposed and thirty overflow parking bays are proposed on the activity field respectively. More than sufficient parking will therefore be provided.</p> |
| | <p>c. Desirability</p> <p>The development proposal, as explained above, is considered <u>desirable</u> for the following reasons:</p> <ul style="list-style-type: none"> • The proposal represents the optimizing of the application area for uses being in higher demand, is permanent and stable and is more economically feasible than the previous uses. • The application area being outside of the urban edge and distant from the main Pringle Bay residential area, the impact on the area and residential area will be small if any apart from contributing to the economy of the village. • Sufficient parking is proposed. • The application proposal is to run the entire property from solar power, reducing load on the electrical grid while being environmentally friendly. |

d. Planning Principles

In terms of Chapter VI of the Spatial Planning and Land Use Management Act, 2013 the following Planning Principles have been applied to the application site:

- 1) **Spatial Justice** which refers to the need for redressing the past apartheid spatial development imbalances and aims for equity in the provision of access opportunities, facilities, services and land.

Possible results of the development

The proposal for a training centre in mostly existing buildings will not impact on spatial justice.

The application proposal is **consistent** with **spatial justice**.

- 2) **Spatial Sustainability** which refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

Possible results of the development

Although the application area is situated outside the urban edge, the farm is not currently used for agricultural purposes but was previously used for tourist accommodation and a tourist facility with existing buildings and facilities which are to be used for the proposal. Therefore, the proposal will not impact on any existing agricultural or environmentally sensitive land and would in fact represent a lower intensity use of the land.

The application proposal can thus be deemed to be **spatially sustainable**.

- 3) **Efficiency** which refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

Possible results of the development

The proposal is for the optimal use of existing buildings, which is a suitable and efficient proposal for the application area.

The application proposal is **consistent** with the **efficiency principle**.

- 4) **Spatial Resilience** which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

Possible results of the development

The existing property is currently not optimally used and also not economically viable. The proposed training centre is a more optimal land use, therefore improving spatial resilience.

The application proposal is **consistent** with the principle of **spatial resilience**.

- 5) **Good Administration** which, in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

Possible results of the development

Consultative practices are being followed in this application as it is done in consultation with the Planning Department of the Municipality who will also advertise the application in such a manner as to enable the relevant government tiers and the general public to participate in the eventual decision-making process.

The application proposal is **consistent** with the principle of **good administration**.

5. Conclusion

The application as motivated in this report is regarded **desirable** within its local context and well-integrated within the existing community land-use activities.

It is therefore recommended that the application **be approved** in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020, as follows:

- **Consent use** for a Place of Instruction in terms of Chapter IV, Section 16(2)(o).
- **Consent use** for a Place of Entertainment (for weddings only) in terms of Chapter IV, Section 16(2)(o).
- **Consent use** for a Place of Assembly in terms of Chapter IV, Section 16(2)(o).
- **Consent use** for a Utility Service in terms of Chapter IV, Section 16(2)(o).
- **Removal of restrictive title deed condition** E.(o) from title deed T2048/2006 in terms of Chapter IV, Section 16(2)(f).
- **Amendment in respect of an existing approval** from a maximum permissible floor space of 2400m² to 3280m² in terms of Chapter IV, Section 16(2)(h).
- **Amendment of the Site Development Plan** in terms of Chapter IV, Section 16(2)(l).

SIGNATURES

Architect: Anton Smit
SACAPSA P/ARCH/2669745

draughtsman: *Wendie Bezuidenhout*
BECAT/2669745

ROOF FINISHING
 1. FLOOR FINISH TO SPECIFICATION ON TANK
 2. ROOF FINISH TO BE COMPLETED ON WELL CONSOLIDATED
 3. TOP OF CONCRETE FOUNDATIONS TO BE
 4. MINIMUM DEPTH BELOW NATURAL GROUND
 5. LEVEL

ROOF COVERING
 1. ALL TOP OF CONCRETE FLOORS TO BE 150mm
 2. IN NATURAL WATER COURSES AT SUFICIENT LEVEL
 3. BUILDING WITH NO DOWNWATER IN INER
 4. SUE OF THESE COVERING MEMBRABLE CELLS FOUND ON
 5. DESIGN BY A COMPETENT AUTHORITY TO PREVENT
 6. COLLEGE OCCURRING AS A RESULT OF SUCH
 7. E.G. CONCRETE LAY AT ALL CHANGES TO THE
 8. E.G. WHERE NO GUTTERS ARE FITTED PROVIDE A
 9. COVERING AROUND THE BUILDING, SUPPORTED
 10. AWAY FROM THE BUILDING AND TO THE
 11. FOUNDATIONS

ROOF STRUCTURE
 1. ALL WALLS AND ROOF ALSO UNDER LEAFER WALL &
 2. BE 200 x 400mm FOR 200 WALLS AND 200mm x 300mm
 3. FOR 300mm WALLS AND 300mm x 400mm FOR 300mm
 4. WALLS. PROVIDE 275mm x 38mm RIFTERS
 5. LEVELS TO VERTICAL PLATE CONCRETE FLOOR
 6. FLOORS, INTERNAL WALLS AND WINDOW WALLS
 7. WITH BRIDGE FOR IN EVERY COURSE FROM THE TOP
 8. UP TO THE ROOF. PROVIDE 275mm x 38mm RIFTERS
 9. UNDER GUTTER WINDOW WALLS. ALL
 10. LEVELS COURSES OF BRIDGES UP TO SURFACE
 11. PROVIDED TO ALL INTERNAL WALLS FROM WINDOW
 12. OR JOORHEAD HEIGHT UP TO WALL PLATE LEVEL

ROOF FINISHING
 1. ALL ROOF TO BE PERFORMED IN ACCORDANCE
 2. WITH LOCAL BY LAWS AND REGULATIONS
 3. TECHNICAL DRAWING AND INTERFERENCE
 4. E.G. DRAWINGS TO PRESENTENCE
 5. INSPECTION & PROPER EXAMINATION ON SITE
 6. BY THE DIMENSIONS HEIGHTS OF PLATE, GUTTER
 7. COMMUNICATIONS AND BRIDGES OF SEPS ON THE ROOF
 8. E.G. WINDOW AREA MINIMUM 150mm x 150mm, 500
 9. SERVANTS ROOMS, GLASS AREA 125mm x 125mm
 10. BLOCKS AS A 1.0m TO BE A MINIMUM SAFETY
 11. INDICATORS. ALL BRIDGES TO BE
 12. INSTALLED TO MINIMUM REQUIREMENTS

ROOF COVERING
 1. ALL ROOF COVERING TO BE INSTALLED TO
 2. MINIMUM REQUIREMENTS
 3. BANK ROOMS, KITCHEN, LAUNDRY, JANTRY, SCULLERY,
 4. ROOMS, PORCHES AND VERANDAS FOUR AS TO
 5. CHANGE AT LOW LEVEL
 6. USED OVER ALL OPENINGS AND BACK WORK ABOVE
 7. E.G. PRECAST TO BEAL UP TO INCREASE OF
 8. ROOF COVERING
 9. USED OVER ALL OPENINGS AND BACK WORK ABOVE
 10. E.G. PRECAST TO BEAL UP TO INCREASE OF
 11. ROOF COVERING
 12. USED OVER ALL OPENINGS AND BACK WORK ABOVE

PROPERTY ADDRESS
 EFF 59 PORTION 559
 Clarence Dr,
 Glen Craig
 Pinnacle Bay
 Western Cape

Jobl Plot Size
 10,30 Hectares
 108002m²

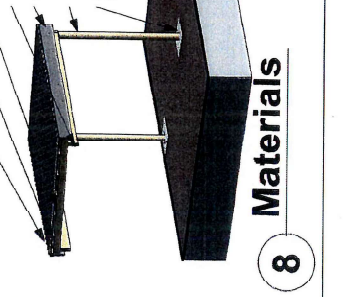
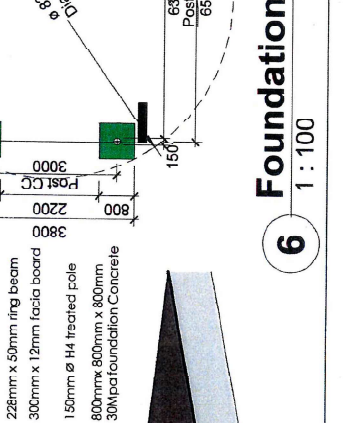
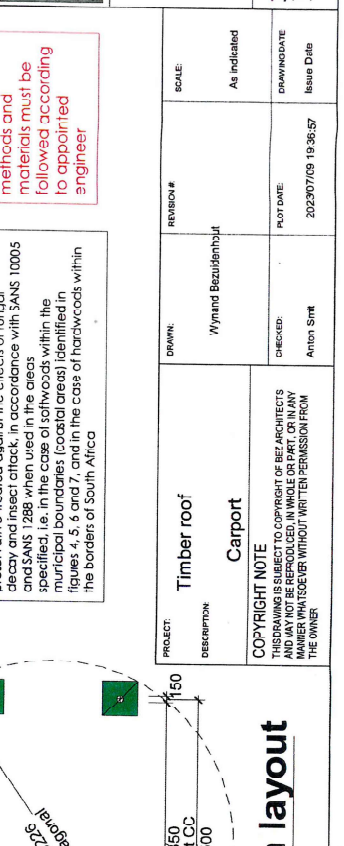
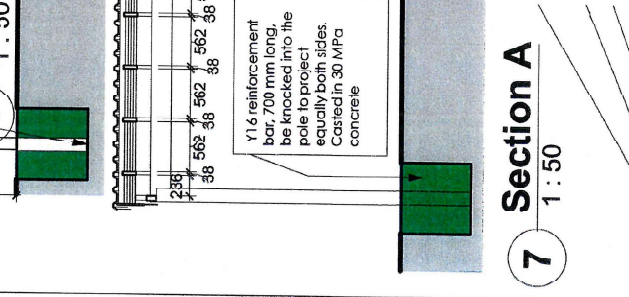
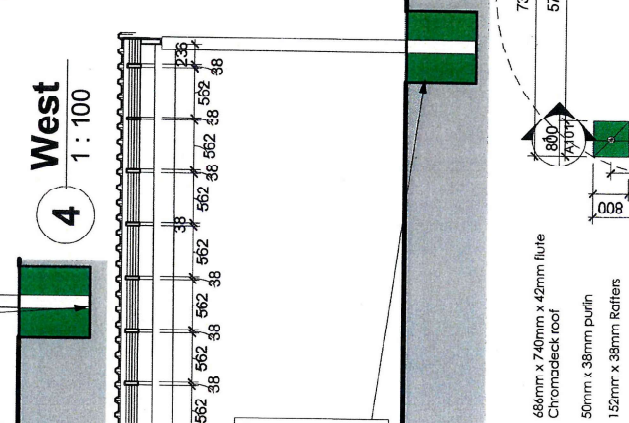
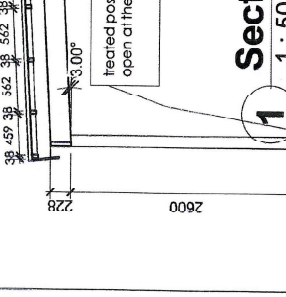
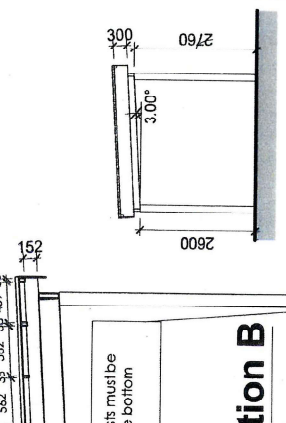
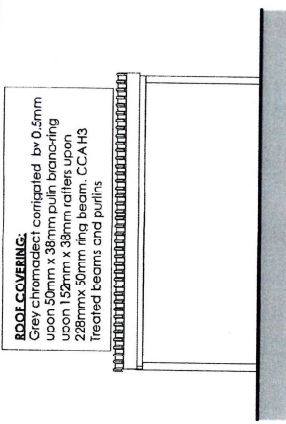
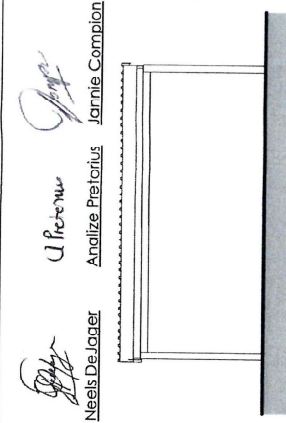
BEZ Architects
 Wynand Bezuidenhout
 107 2618 105
 Wynand Bezuidenhout
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 Wynand Bezuidenhout
 Wynand Bezuidenhout

SCALE: As indicated

REVISION # W/ynand Bezuidenhout

PROJECT DESCRIPTION: Timber roof Carport

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Materials

- Y16 reinforcement bar, 700mm long, to be knocked into the pole to project equally both sides. Casted in 30 MPa concrete
- 68mm x 740mm x 42mm I-tube Chromadeck roof
- 50mm x 38mm purlin
- 15mm x 38mm Rafter
- 225mm x 50mm ring beam
- 300mm x 12mm fascia board
- 150mm x H4 treated pole
- 800mm x 800mm x 800mm 30MPa foundation Concrete

South
3 1 : 100

North
2 1 : 100

West
4 1 : 100

East
5 1 : 100

Foundation layout
6 1 : 100

Materials
8

Section A
7 1 : 50

Section B
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Section C
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PROJECT

Portion 59 of Farm
559 Hangklip

TITLE

Main Building
Floor Plan

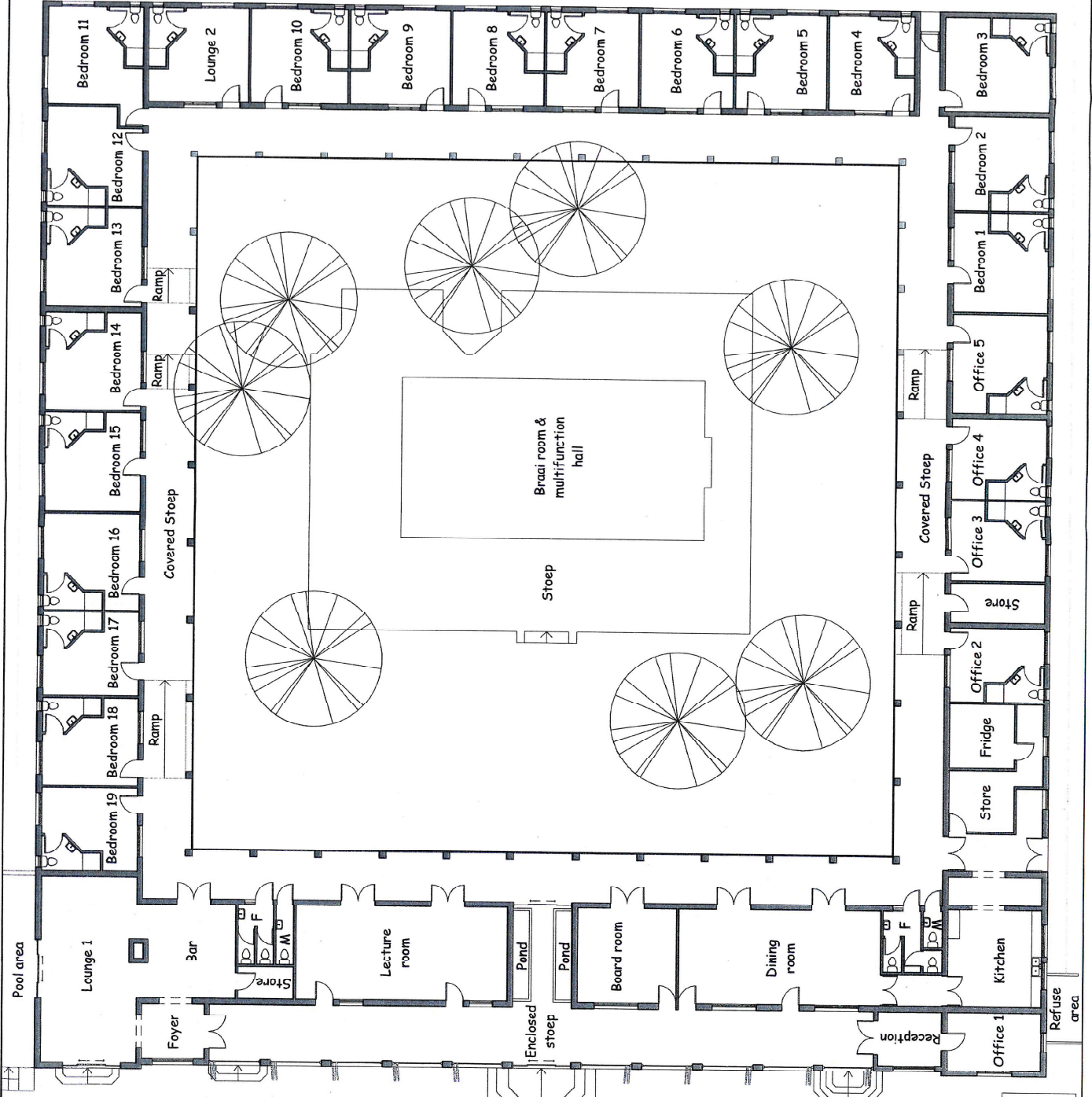


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CLIENT

| | |
|----------------|----------------|
| DRAWN BY | DATE |
| 02/06/23 | |
| SCALE (B/A) | PROJECT NUMBER |
| 1 : 200 | 0001 |
| DRAWING NUMBER | |
| A101 | |

Interactive Town & Regional Planning
 111 Main Street, Cape Town
 Telephone 021 212 1888
 Email: website@iptp.co.za



Ground Floor
 A3 Scale 1 : 200

PROJECT

Portion 59 of Farm
559 Hangklip

TITLE

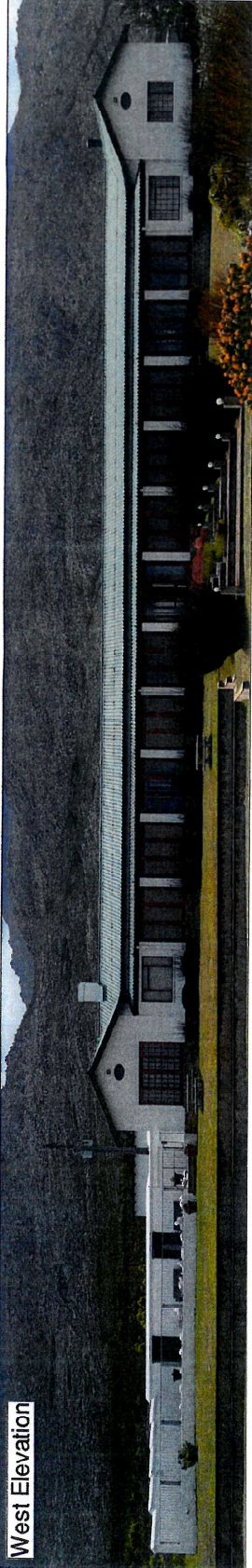
Main Retirement
Building Elevations

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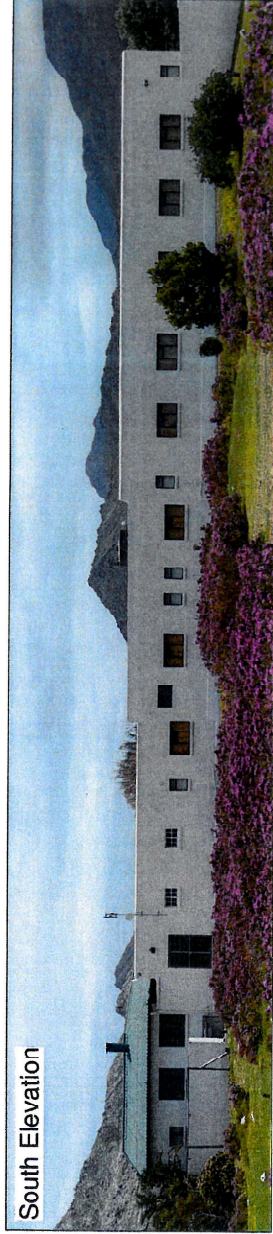
CLIENT

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| Author | Chris | 11/25/20 |
| SCALE (B-1) | PROJECT NUMBER | |
| | 0001 | |
| DRAWING NUMBER | | |
| A102 | | |

InterActive Town & Regional Planning
Aria Pritchard P.Eng. RA227789
B.Eng. in Civil Engineering (University of Cape Town)
Telephone 021 512 1654
Fax 021 512 1655
E-Mail: info@iatrp.com



West Elevation



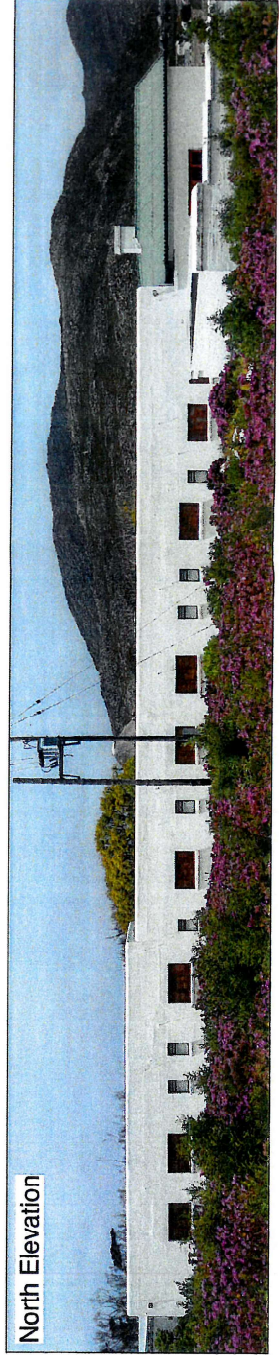
South Elevation



East Elevation



East Elevation



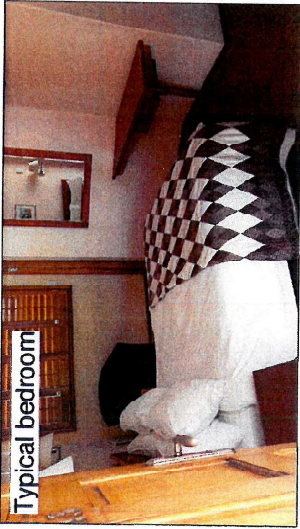
North Elevation

PROJECT

Portion 59 of Farm
559 Hangklip

TITLE

Photos



Typical bedroom



Typical bedroom



Typical bathroom



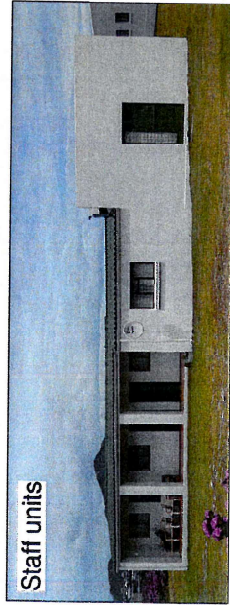
Braai room & multipurpose hall



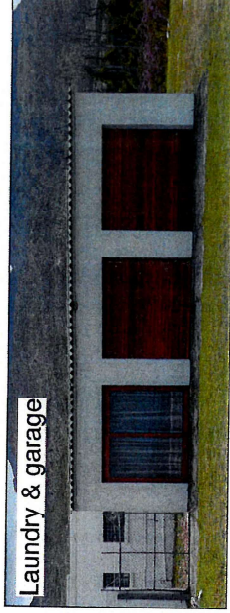
Manager's cottage front



Manager's cottage rear



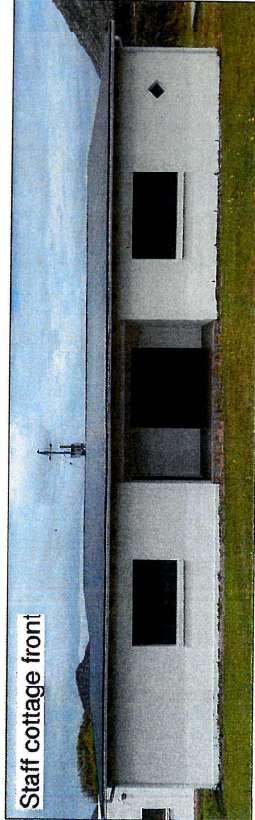
Staff units



Laundry & garage



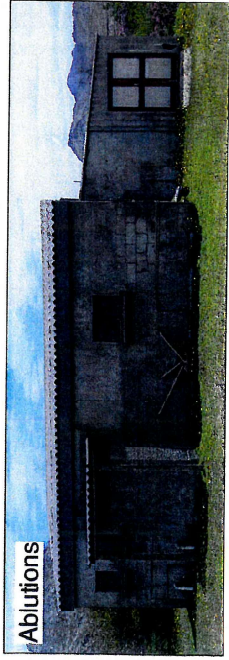
Staff cottage



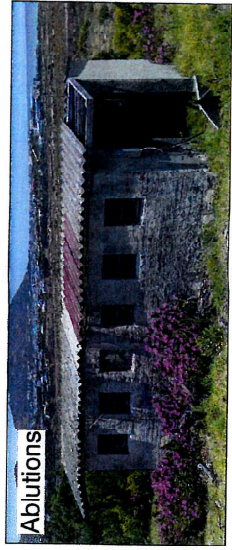
Staff cottage front



Staff cottage rear



Ablutions



Ablutions



Shed

INDENTIFY

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CLIENT

| | | |
|-------------------------|------------------------|------------------|
| DRAWN BY AFC/CS | CHECKED BY CR/DR | DATE 11/22/20 |
| SCALE @ A/1 | PROJECT NUMBER 0001 | |
| PLANNING NUMBER A103 | | |

Interactive Town & Regional Planning
 Anri's Michien P/Prs ANZ/1998
 9 Anri de G. (Grens and Regional Planning)
 Cell phone 332 488 8889
 E-Mail: anri@anriplanning.com

