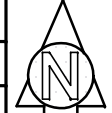
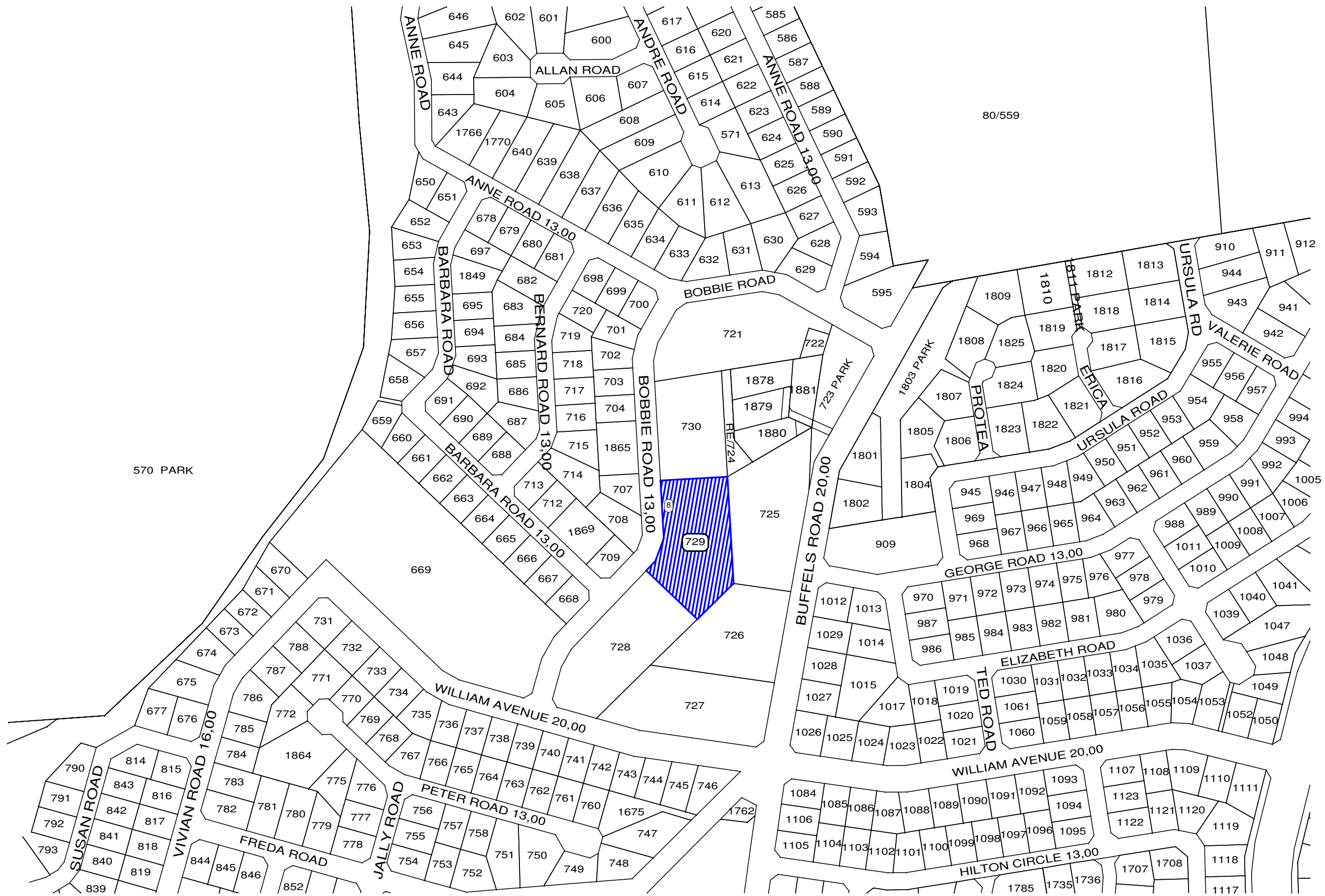


<p><b>OVERSTRAND MUNISIPALITEIT</b>  <b>ERF 729, BOBBIEWEG 8, PRINGLEBAAI: AANSOEK</b>  <b>OM OPHEFFING VAN BEPERKENDE</b>  <b>TITELAKTEVOORWAARDES EN AFWYKING: PLAN</b>  <b>ACTIVE NAMENS AC LANGFORD</b></p>	<p><b>OVERSTRAND MUNICIPALITY</b>  <b>ERF 729, 8 BOBBIE ROAD, PRINGLE BAY: APPLICATION</b>  <b>FOR REMOVAL OF RESTRICTIVE TITLE DEED</b>  <b>CONDITIONS AND DEPARTURE: PLAN ACTIVE ON</b>  <b>BEHALF OF AC LANGFORD</b></p>	<p><b>UMASIPALA WASE-OVERSTRAND</b>  <b>ISIZA ESINGU-ERF 729, 8 BOBBIE ROAD, PRINGLE</b>  <b>BAY: ISICELO SOKUSHENXISWA KWEEMEKO</b>  <b>EZIYIMIQOBO KWITAYITILE YOBUNINI</b>  <b>NOKWAHLULA: NGABAKWAPLAN ACTIVE EGAMENI</b>  <b>LIKA-AC LANGFORD</b></p>
<p>Kragtens Artikel 47 en 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning,2020 (Verordening) word hiermee kennis gegee van die onderstaande aansoek van toepassing op Erf 729, Pringlebaai (die eiendom), naamlik:</p> <p><b>Opheffing van Beperkende Titelaktevoorwaardes</b>  Aansoek ingevolge Artikel 16(2)(f) van die Verordening vir die opheffing van beperkende titelaktevoorwaardes III.D.6.(2)(a)(i) en III.D.6.(2)(a)(ii) soos vervat in Titelakte T19044/2023 van die eindom.</p> <p><b>Afwyking</b>  Aansoek ingevolge Artikel 16(2)(b) van die Verordening om af te wyk van die Overstrand Omgewingsbestuur Oorlegzone (EMOZ), asook die Ridge se Riglynontwikkelingsplan om die posisie van die voorgestelde nuwe woonhuis te akkommodeer.</p> <p>Besonderhede aangaande die voorstel lê ter insae gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning te Patersonstraat 16, Hermanus en by die Bettysbaai Biblioteek, Clarencerylaan, Bettysbaai.</p> <p>Enige kommentaar moet skriftelik wees en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) <a href="mailto:loretta@overstrand.gov.za">loretta@overstrand.gov.za</a>) voor of op <b>25 Oktober 2024</b>, met u naam, adres, kontak besonderhede, belang in die aansoek en die redes vir kommentaar. Telefoniese navrae kan gerig word aan die <b>Senior Stadsbeplanner, Me. H. van der Stoep</b> by 028-3138900. Die Munisipaliteit mag weier om kommentare te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formuleer.</p> <p><b>Dr. DGI O'Neill</b>  <b>MUNISIPALE BESTUURDER</b>  Overstrand Munisipaliteit  Posbus 20  <b>HERMANUS</b>  7200</p> <p><b>Kennisgewing nr. 150/2024</b></p>	<p>Notice is hereby given in terms of Sections 47 and 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), of the following applications applicable to Erf 729, Pringle Bay (the property), namely:</p> <p><b>Removal of Restrictive Title Deed Conditions</b>  Application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed conditions III.D.6.(2)(a)(i) and III.D.6.(2)(a)(ii) as contained in Title Deed T19044/2023 of the property.</p> <p><b>Departure</b>  Application in terms of Section 16(2)(b) of the By-Law to deviate from the Overstrand Environmental Management Overlay Zone (EMOZ), as well as the Ridge Guideline Development Plan to accommodate the position of the proposed new dwelling house.</p> <p>Full details regarding the proposals above are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town and Spatial Planning, 16 Paterson Street, Hermanus and at the Betty's Bay Library, Clarence Drive, Betty's Bay.</p> <p>Any comments must be in writing and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) <a href="mailto:loretta@overstrand.gov.za">loretta@overstrand.gov.za</a>) on or before <b>25 October 2024</b>, with your name, address, contact details, interest in the application and the reasons for comment. Telephonic inquiries can be made to the <b>Senior Town Planner, Mrs. H. van der Stoep</b> at 028-3138900. The Municipality may refuse to accept comments after the closing date. Any person who cannot read or write can visit the Town and Spatial Planning Department where they will be assisted by a municipal official in formulating their comments.</p> <p><b>Dr. DGI O'Neill</b>  <b>MUNICIPAL MANAGER</b>  Overstrand Municipality  P O Box 20  <b>HERMANUS</b>  7200</p> <p><b>Notice No. 150/2024</b></p>	<p>Kukhutshwe isaziso esimayela nemiba yeSoloty lama-47 nelama-48 loMthethwana kaMasipala wase-Overstrand Osisihlomelo soMthethwana OngeZicwangciso ZokuSetyenziswa koMhlaba kaMasipala ku2020 (Umthethwana), isicelo esi singezi zicelo zilandelayo nezisebenziseka kwiSiza esingu-Erf 729, Pringle Bay (umhlaba), obizwa:</p> <p><b>Ukushenxiswa KweeMeko Eziyimiqobo KwiiTayitile Zobunini</b>  Isicelo esingemiba yeSoloty le-16(2)(f) loMthethwana ongokushenxiswa kweemeko eziyimiqobo kwitayitile yobunini III.D.6.(2)(a)(i) no-III.D.6.(2)(a)(ii) njengoko kuqulethwe kwiTayitileyo Bunini T19044/2023 weSiza.</p> <p><b>Ukwahluka</b>  Isicelo esingemiba yeSoloty le16(2)(b) loMthethwana ukuphambuka kuLawulo LweZowuni yoQweqwe loMhlaba OsiNgqongileyo e-Overstrand (EMOZ), kwakunye neSicwangciso Sokuphuhlisa isiKhokelo soNgqameko/iRiji ukulungiselela indawo ekuza kuma kuyo indlu entsha ephakanyiswayo.</p> <p>linkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini phakathi kwentsimbi ye-08:00 neye-16:30 kwiSebe: LeziCwangciso zeDolophu neNdawo, 16 Paterson Street, Hermanus nase Betty's Bay Library, Clarence Drive, Betty's Bay.</p> <p>Naziphi na izimvo mazibhalwe phantsi zifike kwaMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) <a href="mailto:loretta@overstrand.gov.za">loretta@overstrand.gov.za</a>) ngomhla okanye ngaphambi komhla wama-<b>25 Okthobha 2024</b>, mazibe negama lakho, idilesi, iinkcukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zokuhlomla kwakho. Imibuzo ngefowuni ingtahunyelwa ku<b>Mcwangcisi Omkhulu weDolophu, Nkskz. H. van der Stoep</b> kwa-028-3138900. UMasipala angala ukwamkela izimvo ezifike emva komhla wokuvala. Nabani na ongakwazi ukufunda nokubhala angahambela kwiSebe LeziCwangciso ngeDolophu neNdawo apho baza kuncedwa ligosa likamasipala ukubhala phantsi izimvo zakhe.</p> <p><b>Dr. DGI O'Neill</b>  <b>UMPHATHI KAMASIPALA</b>  Overstrand Municipality  P O Box 20  <b>HERMANUS</b>  7200</p> <p><b>Inothi Nomb. 150/2024</b></p>



**PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED  
CONDITIONS AND DEPARTURE**

**ERF 729 PRINGLE BAY**

**OVERSTRAND MUNICIPALITY**

## **MOTIVATION REPORT**

### **1. BACKGROUND**

Plan Active Town & Regional Planners has been appointed by Mr A.C. Langford, the owner of erf 729 Pringle Bay, to apply for the removal of restrictive title deed conditions and departure of the subject property.

The subject property is a vacant portion of land. The owner intends to construct a dwelling house with double garage on the subject property. To stay clear of the sensitive areas the dwelling will be placed on the higher section of the land on the 2m rear and 2m south-western lateral building lines. This requires the removal of the title deed's building lines as well as permission to build in the loosely defined Ridge portion. The position of the dwelling is outside of the Ridge urban conservation-worthy corridor area and wetland area identified by the Environmental Management Framework compiled for our client. The offset to construct the dwelling house with double garage on the southern section of the property is to preserve much more conservation worthy sensitive areas on the northern side of the property.

To accommodate the dwelling house with double garage at its proposed position on the subject property, an application is submitted for:

- the removal of the restrictive title deed condition pertaining to the building lines;
- the departure from the Overstrand Environmental Management Overlay Zone (EMOZ, 2020) and the Ridge Guideline Development Plan.



The proposal was discussed with the Pringle Bay Ratepayers Association and Overstrand Municipality's Environmental Management Department during a meeting held on 9 February 2023. The minutes of the meeting held on 9 February 2023 is attached.

## **2. APPLICATION DETAILS**

Application is made in terms of:

- Chapter 4, Section 16(2)(f) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020, for the **removal of restrictive title deed conditions of erf 729 Pringle Bay**;
- Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020, for the **departure** (EMOZ and Ridge Guideline Development Plan) of **erf 729 Pringle Bay**.

## **3. NEED AND DESIRABILITY**

### **3.1 PROPERTY DESCRIPTION**

Erf 729 Pringle Bay is situated at 8 Bobbie Road, Pringle Bay. Refer to the locality plan attached.

Erf 729 Pringle Bay is 5016m<sup>2</sup> in extent and is held by Title Deed No T19044/2023.

The subject property is a vacant portion of land and characterized by natural vegetation (Hangklip Sand Fynbos). The site slopes in a north and north-easterly direction (as indicated by the contours on the site development plan).

### **3.2 ZONING**

Erf 729 Pringle Bay has the following land use rights:



ERF NUMBER	ZONING
Erf 729 Pringle Bay	Residential Zone 1: Single Residential (SR1)

Surrounding properties are zoned for single residential, open space and public road purposes.

### **3.3 LAND USE**

The subject property is currently a vacant portion of land.

Land uses that surround the subject property are dwellings, vacant erven and public roads.

### **3.4 THE POTENTIAL OF THE PROPERTY**

Erf 729 Pringle Bay is currently an exceptionally large portion of land zoned Residential Zone 1: Single Residential (SR1) centred in an existing residential area. It is proposed to retain the zoning and land use of erf 729 Pringle Bay. The location of the subject property within an existing established single residential area allows the property to be developed in future for low impact land uses only.

To construct a dwelling house with outbuildings is a primary right on SR1 zoned properties and our client merely intends to exercise his primary right in terms of the zoning. The dwelling will be developed in line with the land use scheme parameters; however, the stricter title deed building lines are proposed to be removed to accommodate the proposal. The proposal is still considered a low impact development. The contours of the site have been surveyed and favours the position of the dwelling as indicated on the site development plan, to ensure that the sensitive areas on the property remain intact.

In the early 2000's an open space corridor was determined by the Nature Conservation Department of the Municipality in this specific area of Pringle Bay. The latter document

(Ridge Guideline Development Plan) is the basis on which land use applications are evaluated in the area. Due consideration must be given to the open space corridor when the development of the erven that form part of the Ridge is considered. The open space corridor ( $\pm 10\,292\text{m}^2$  in extent) represents the sensitive dune and wetland areas.

Our client bought the subject property in 2023 and was aware of the constraints and limitations. As a result, he appointed Duncan Heard Environmental Consulting to study the area and compile the Environmental Management Framework (EMF) for the proposed Ridge Precinct Conservation Area Pringle Bay. The aforementioned framework confirms that in order to facilitate the conservation of the wetlands and to improve the dune ridge corridor ecological integrity (that is partially protected by the municipal properties), it is recommended that the private landowners should exercise their right to develop a residence on their property, but that these areas of natural vegetation be retained on their properties. The EMF earmarks the northern section of erf 729 Pringle Bay to form part of the Ridge EMOZ urban conservation-worthy corridor area, due to the presence of a wetland areas on site.

Compliance with the land use scheme requirements and current spatial planning policies (discussed in this report) and the outcome of the specialist study / EMF support and confirm the potential of the subject property for the development of a dwelling house with double garage.

### **3.5 PROPOSAL**

The following are proposed:

1. The **removal of restrictive title deed conditions** of erf 729 Pringle Bay in terms of Chapter 4, Section 16(2)(f) of the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020, to remove conditions III. D. 6. (2)(a)(i) and (ii) on page 4 of title deed no. T19044/2023 to accommodate the proposed dwelling house with garage on the 2m rear and 2m south-western lateral building lines.
2. The **departure** of erf 729 Pringle Bay in terms of Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020, to:

- Deviate from the Ridge Guideline Development Plan and 5m corridor building line to allow the owner to construct the proposed dwelling within the earmarked open space / conservation portion on the subject property and 2m from the rear and south-western lateral erf boundaries.
- Deviate from the Overstrand Environmental Management Overlay Zone (EMOZ, 2020), to allow the proposed dwelling to be positioned within the demarcated Urban Conservation EMOZ (2020) and conservation-worthy area.

The potential of the subject property is discussed in detail in *Section 3.4 Potential of the property*.

The owner is seeking to make some adjustments to the existing regulations to accommodate the construction of a dwelling house on the vacant land. With the proposed removal of the title deed building lines, it is the intention to bring the house closer to the property boundary lines in order to preserve the conservation worthy sections on the property.

The construction of the dwelling will be within the "loosely defined Ridge portion", i.e. in an area that was not typically demarcated for building. It is common for property owners to seek such modifications to optimize land use and to preserve the conservation worthy sections on the property.

It is proposed to construct a multi-storey dwelling with double garage on the subject property (lower ground floor double garage and dwelling on ground and first floor level) to minimize the footprint of the building and prevent sprawl on the erf. A dwelling house is a primary right on a SR1 zoned property. All land use scheme development parameters for a dwelling house will be met. The title deed has more restrictive title deed building lines which will also be met with the proposed development, except for the rear erf boundary. It is proposed to position the dwelling on the 2m rear and 2m south-western lateral building lines.

The floor layout and sections of the dwelling are indicated on the site development plan. The area schedule is as follows:



AREAS DESCRIPTION	SQM
Ground floor	222.00
Garage	69.82
First floor	125.00
Total new area under roof	416.82
Erf:	5016.00
Coverage	8%

The total coverage of 8% meets both the title deed and land use scheme's maximum requirements.

**Firstly**, to accommodate the dwelling house with double garage in its proposed position on the subject property, an application is submitted for the removal of the restrictive title deed conditions pertaining to the building lines.

Title Deed no. T19044/2023 has restrictive title deed conditions that need to be removed to accommodate the dwelling house in the proposed position in the southern corner of the subject property. Refer to a copy of the conveyancer's certificate compiled by Mr H.L. van Zyl of Van Zyl Kruger Attorneys dated 3 April 2024 attached.

It is proposed to remove the following restrictive title deed conditions registered by the Administrator (now the Overstrand Municipality) to accommodate the proposed dwelling house with garage on erf 729 Pringle Bay:

**Title deed no. T19044/2023, pages 3-4, conditions III. D. 6. (2)(a)(i) and (ii)** that read as follow:

*III. As regards to whole property.*

*D. SUBJECT FURTHER to the conditions contained in Deed of Transfer No. T46818/1981 imposed by the Administrator when approving the establishment of Pringle Bay Township Extension No. 3 in terms of Ordinance 33 of 1934 which reads as follows:*



6. (2) *Except with the prior consent of the Administrator –*
- (a) *No building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 8 metres to the street line which forms a boundary of this erf, nor within 5 meters of any boundary common to any adjoining erf, provided that with the consent of the local authority –*
- (i) *Any outbuilding not exceeding 3 meters in height measured from the floor to the wall-plate may be erected within the above prescribed rear space and within the above prescribed lateral space for a distance of 12 meters measured from the rear boundary of the site; provided that in the case of a corner erf the distance of 12 meters shall be measured from the point furthest from the streets abutting the erf.*
- (ii) *An outbuilding in terms of sub-paragraph (i) may only be erected nearer to a lateral or rear boundary of a site than the above prescribed spaces, if no windows or doors are inserted in any wall facing such boundary.*

The reason for the removal of the conditions specified above is as follows:

- The common boundary (rear and lateral) building line condition is more restrictive (5m) than the land use restrictions prescribed in the Overstrand Municipality Land Use Scheme Regulations, 2020 (2m). It is proposed to construct the dwelling on the 2m land use scheme rear and 2m south-western lateral building lines and therefore the 5m common boundary building line condition is more restrictive for the proposed development. It is proposed to remove the building line condition that relates to all building lines and types of buildings since the Overstrand Land Use Scheme Regulations (2020) now govern land use planning in Pringle Bay and therefore the more restrictive building line conditions are considered superfluous.

Section 39(5) of the Land Use Planning Act (LUPA), 2014, stipulates that a Municipality should have regard to the following factors when considering the “removal, suspension or amendment of a restrictive condition”:

- ***The financial or other value of the rights in terms of the restrictive conditions enjoyed by a person or entity, irrespective of whether these rights are personal or vest in the person as the owner of a dominant tenement***

The removal of the restrictive conditions intends to increase the use rights of the property to permit the proposed dwelling house and double garage as described above. The value of the rights is vested in the owners of Pringle Bay Township Extension No. 3 where erf 729 Pringle Bay is located.

Property owners not seeking that the title deed building line restrictions should be in line with the zoning scheme regulations' restrictions will favour the restrictive title deed conditions since the conditions impede the development of a residential property in line with the zoning scheme. The proposed new dwelling house with double garage will meet the 2m and 4m Municipal land use scheme building lines requirement.

The proposed development (and its title deed encroachment) is not an unusually large-scale form of development that encroaches the rear and lateral title deed building lines. No Municipal land use scheme building lines will be encroached.

- ***The personal benefits which accrue to the holder of rights in terms of the restrictive conditions***

The conditions were imposed by the Administrator for the benefit of a specific extension of Pringle Bay. The only personal benefit to each holder is that the property is more restricted in terms of developing a new dwelling house on the subject property. The Administrator is now the Overstrand Municipality, who governs land use applications in line with the existing Land Use Scheme Regulations and relevant spatial planning policies. To keep the title deed building line conditions will neither have any personal benefit to the Administrator / Overstrand Municipality nor the properties in whose favour the conditions were registered. As previously explained the encroachment is on the rear and south-western common erf boundaries only, with no direct neighbour's views or privacy being threatened.

- ***The personal benefits which will accrue to the person seeking the removal of the restrictive conditions, if they are removed***

The removal of the restrictive title deed conditions will bring about personal benefits to the current landowner since it will allow him to construct a new dwelling house with double garage (primary right) on a specific section of the property. The 8m and 5m street and common boundary building lines as stipulated in the title deed makes the developable area of the property smaller, while the conservation areas identified further minimizes the developable area of the subject property. With this application proposal the 5m common

boundary title deed building line prohibits the development of structures in a preferred area on the subject property in terms of developable land and conserving the wetlands on the property.

The existing property owner will be able to enjoy the personal benefits of the new structure at his preferred position on the site. To remove the title deed restrictions will allow the property owner to develop the subject property in line with the proposed site development plan to:

- (a) Conserve the wetland area on the subject property;
- (b) Optimize views from the property.

- ***The social benefit of the restrictive conditions remaining in place in its existing form***

The social benefit if the title deed conditions were to remain unchanged and enforced will be minimal. If the conditions remain unchanged, the owner must adhere to the title deed's stricter building lines, and he will not be able to develop the dwelling house at the preferred position on the site to optimize views from the property and to conserve the wetland on the site. The impact on the neighbouring properties with regards to privacy, views, noise, etc. will be marginally lower since the title deed's building lines are more restrictive than the land use scheme regulations' building lines.

To keep the title deed building lines will have no benefit to neither the property owner nor the adjacent properties since the position of the structure still adheres to the land use scheme's building lines. In addition, no structures have been developed in close proximity to the proposed dwelling's position on erf 729 Pringle Bay and the slope of the subject property and surrounding properties (i.e. the Ridge) similarly favours the development at this position without having a detrimental impact on the adjacent properties.

- ***The social benefit of the removal or amendment of the restrictive conditions***

The removal of the restrictive title deed conditions will allow the scheme regulations' building lines to set the rules for future development on the subject property. The social benefit will therefore only be to the property owner of erf 729 Pringle Bay since it will allow

him to develop the dwelling house with double garage in line with the land use scheme regulations' building lines only (with specific reference to develop on the 2m rear and 2m south-western lateral building lines).

- ***Whether the removal, suspension or amendment of the restrictive conditions will completely remove all rights enjoyed by the beneficiary or only some of those rights***

The removal of the restrictive conditions will not remove all rights enjoyed by the beneficiaries, but only some rights and will instead expand the value of these rights to accommodate the new structures. The latter is more desirable given the zoning and identified conservation areas of the subject property without having a detrimental impact on the rights of anyone else or the character of the area. All other title deed conditions not mentioned in this report will be retained.

There is a bond registered against erf 729 Pringle Bay. The bondholder's consent dated 25 March 2024 is attached.

From the above as well as the motivation in Sections 3.4 and 3.5 of this report it is evident that the removal of the restrictive title deed conditions can be favourably considered.

**Secondly**, and application for a departure of erf 729 Pringle Bay is submitted to:

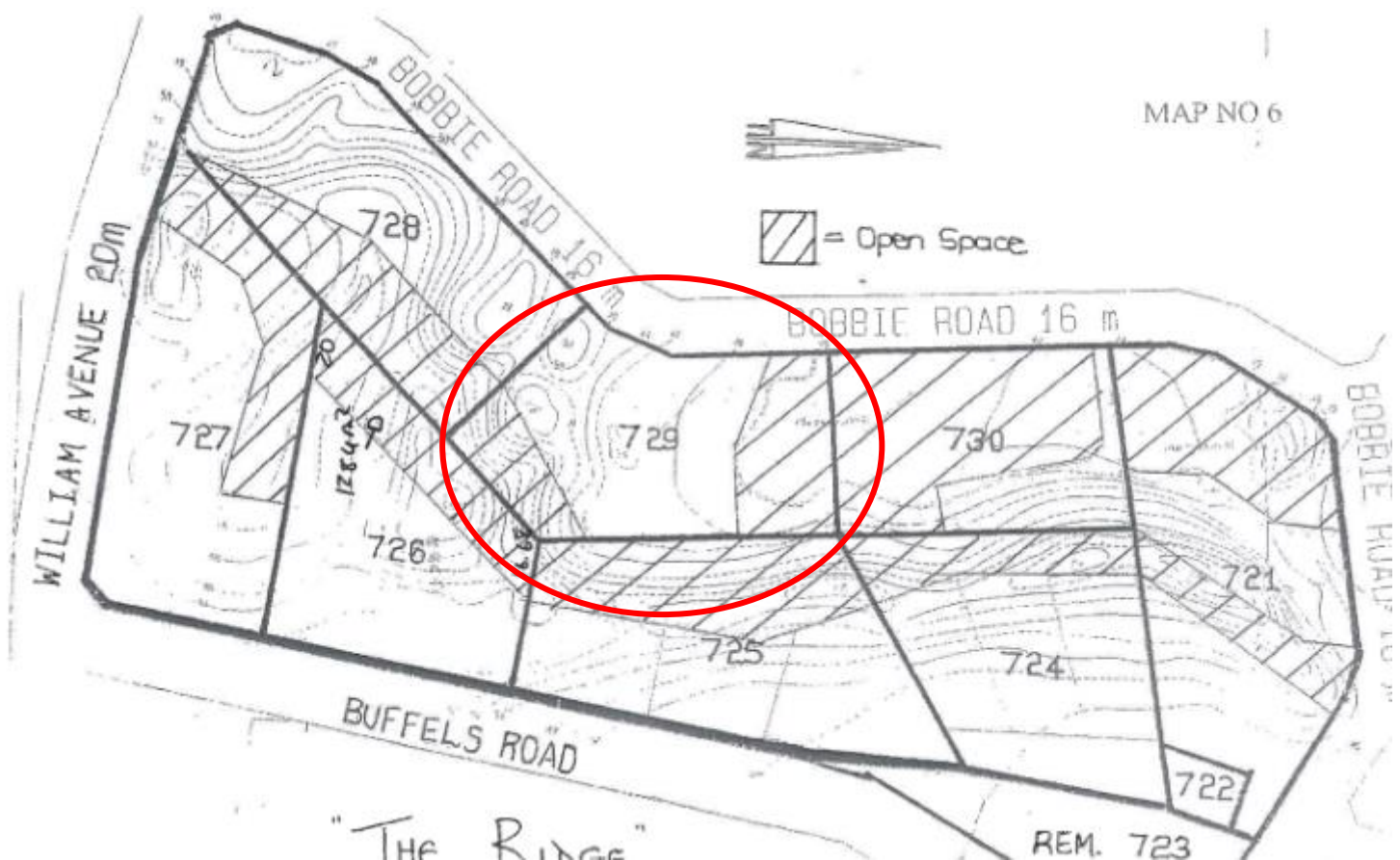
- Deviate from the Ridge Guideline Development Plan to allow the owner to construct the proposed dwelling within the earmarked open space portion of the subject property and to deviate from the required 5m building line from the conservation corridor.
- Deviate from the Overstrand Environmental Management Overlay Zone (EMOZ, 2020), to allow the proposed dwelling to be positioned within the demarcated Urban Conservation EMOZ (2020) and conservation-worthy area.

In the early 2000's an open space corridor was determined by the Nature Conservation Department of the Municipality in this specific area of Pringle Bay. The latter document is the basis on which land use applications are evaluated in the area. The building line abutting a Ridge conservation area must be a minimum of 5m. The Ridge Guideline

Development Plan remains relevant to land use applications in this area and is not overridden by the Environmental Management Overlay Zone (EMOZ).

Pringle Bay Extension 3 was established in the 1970's and the subject erf was allocated a residential zoning. It was never an Open Space, ecological corridor or any other use earmarked, than residential. The proposed development is subject to more stringent measures due to the sensitive nature of the erf. However, a compromise in this case is necessary due to existing rights applicable and the sensitive nature of the erf.

The development parameters of the Ridge were established in the 2000's between the original owner, the Municipality and the Pringle Bay Ratepayers, which is captured in the title deeds and a development plan. The corridor represents the sensitive dune and wetland areas (and not the whole property). The municipality still regards the corridor guide plan as relevant for the consideration of land use applications in this area. The subject property falls within the demarcated conservation area of the Ridgle Guideline Development Plan as depicted on the map below:



Map 1: Ridgle Guideline Development Plan

The subject property is demarcated as Urban Conservation Area in terms of the Environmental Management Overlay Zone (EMOZ, 2020). In addition, a conservation area corridor runs over a portion of the subject property. Refer to the extract from the EMOZ for Pringle Bay below:



Map 2: Environmental Management Overlay Zone (EMOZ, 2020): Pringle Bay

The subject property falls under Category D for the Urban Conservation Area demarcated for this area and then quote the Category D information. Section 8.5.1.1.4. of Category D stipulates that the discretion lies with the municipality's officials to determine whether additional studies must be submitted even in cases where no NEMA listed activities are triggered:

*"In the face of development pressure, the Municipality may, if it deems it necessary, on receipt of a development proposal or application, that does not involve any activities identified under the NEMA listing Notices, require that specialist biodiversity and / or other relevant studies, be undertaken by the developer / owner in order to inform development planning and retain priority ecological corridors and habits."*

Prior to proceeding with this land use application, our client appointed Mr Duncan Heard from Duncan Heard Environmental Consulting to undertake a conservation area study for The Ridge area. He compiled an Environmental Management Framework (EMF) for the "Ridge" precinct in the town of Pringle Bay. The EMF is a tool that strives to promote the effective environmental management of the identified potential areas of this precinct as a conservation area. It encourages the formation of a 'conservancy' entity consisting of the

precinct landowners who through their joint, coordinated, prioritised, and focused efforts could effectively protect and conserve the identified conservation area of this precinct.

This precinct in Pringle Bay was identified several years ago as a potential conservation-worthy ecological corridor (greenbelt) within the urban residential area that could contribute towards the conservation of the natural environment of the local area. For the above reason, it was included in the Environmental Management Overlay Zone (EMOZ): Conservation-worthy Urban Area for Pringle Bay.

The map below indicates the approximate positions of the wetland areas (blue) on the western side of the Ridge precinct. The EMF stipulates that it is important that these areas receive conservation status going forward, to ensure that they do not become negatively impacted and degraded.



Map 3: Wetland areas depicted with blue polygons

To facilitate the conservation of the wetlands and to improve the dune ridge corridor ecological integrity (that is partially protected by the municipal properties), it is

recommended that the private landowners should exercise their right to develop a residence on their property, but that these areas of natural vegetation be retained on their property.



*Map 4: Illustration of recommended Municipal erven (solid shading) and portions of Private erven (translucent shading) for the Ridge EMOZ urban conservation-worthy corridor area.*

The owner intends to construct a dwelling house with double garage in the southern corner of the subject property. Although the southern corner of the subject property falls within the demarcated conservation area of the Ridge Plan and EMOZ, it is proposed that the municipality considers the outcome of the EMF and allow the development of the southern section of the property as an off-set for maintaining the wetland area identified on the northern section of the subject property (as depicted in map 3). The study / EMF clearly indicates the areas worthy of conserving, and this does not include the southern section of the subject property identified for the proposed development of the dwelling house. It is therefore proposed to deviate from the EMOZ (2020) and Ridge Plan and the required 5m building line required for all buildings that abuts the conservation corridor to accommodate the proposed dwelling house at the proposed position on the site. We therefore request that the municipality considers the EMF (2023 – 2028) compiled for the proposed Ridge Precinct Conservation Area Pringle Bay and allow the landowner of erf 729 Pringle Bay to construct



the dwelling house on the 2m rear and 2m south-western lateral building lines on the southern section of the subject property.

The Ridge Plan stipulates (municipal requirement) that the building line abutting the Nature Conservation Area be a minimum of 5m. Minimum common boundary building lines of 2m (from the proposed subdivision lines / new erf boundaries) and street building lines of 4m will apply to the subject property if the removal of the restrictive title deed conditions is successful. A minimum common boundary building line of 5m will therefore no longer apply to the erf where the erf shares a common boundary with the conservation area corridor as described and applied for with this application. It is therefore proposed to deviate from this development parameter applicable to the Ridge properties.

The proposed removal of restrictive title deed conditions and departure of erf 729 Pringle Bay will not adversely affect neighbouring properties. The proposal aligns with the current land use patterns in the area and doesn't violate any zoning regulations.

The changes are in harmony with the existing environment and will not disrupt the surrounding properties or deviate from established zoning guidelines. We are confident that the proposal will be smoothly integrated without causing any issues.

### **3.6 ECONOMIC IMPACT**

The proposed development of a dwelling house with a double garage will be beneficial to the local economy. By removing restrictive title deed conditions and allowing the development to proceed, it will enable the property owner to utilize and develop on a section of the property not designated for conservation purposes according to the Environmental Management Framework (EMF) report by Duncan Heard Environmental Consulting.

Additionally, the construction of the dwelling with garage is expected to generate temporary employment opportunities. Once completed, the property will be occupied by a new family who will contribute to the local economy by investing and spending in nearby businesses.

Overall, the proposal is framed as a means to provide residential accommodation in a strategically located area, which is deemed beneficial for both the local economy and community.

### **3.7 SOCIAL IMPACT**

The arrival of a new family to the area will have a positive impact, with no anticipated negative effects. Only one dwelling will be developed on the subject property, with no plans for subdivision or additional dwellings. Furthermore, since the zoning and land use of the property align with those of the surrounding area, it's believed that the social wellbeing and cohesion of the adjacent community will be minimally affected.

The addition of a single dwelling, in compliance with existing zoning regulations, will not disrupt the social fabric of the neighbourhood. The proposed development will seamlessly integrate into the existing community without causing any significant social upheaval.

### **3.8 COMPATIBILITY WITH SURROUNDING LAND USES**

The subject property is located within a pre-existing low-density residential zone. The proposed application seeks to adjust the restrictive title deed building lines and deviate from the spatial and land use planning guidelines to accommodate the construction of a dwelling house with a double garage. This adjustment would allow for single residential use (dwelling with outbuildings), while preserving areas identified as conservation-worthy according to the latest conservation area study.

Crucially, despite these adjustments, the size and zoning of the erf will remain unchanged, ensuring compatibility with surrounding zonings, erf sizes, and land uses within the area. This suggests a careful balance between development and preservation, aiming to integrate the proposed construction into the existing residential landscape without significantly altering its character or density.

The report highlights that the property owner intends to exercise his primary land use rights without seeking additional or consent uses. This approach ensures compatibility with the existing residential area and demonstrates compliance with nature conservation obligations for the region.

Moreover, the proposed position for the main dwelling on the subject property is supported by evidence showing its compatibility with the existing context and character of the area. By adhering to these principles, the proposal maintains and promotes the low-density

residential nature of the surroundings, further emphasizing its harmony with the existing environment.

According to the development rules of the Overstrand Land Use Scheme (2020), the removal of restrictive title deed conditions and departure of erf 729 Pringle Bay will allow the development rules for erven larger than 400m<sup>2</sup> to apply. This means that the proposed main dwelling with a double garage will adhere to the existing development parameters specified in the land use scheme for residential erven in the immediate vicinity.

Furthermore, the proposal won't establish a precedent because the owners of the Ridge area already have primary rights that can be exercised. Additionally, it should be noted that the Ridge was never designated for Public Open Space purposes since the inception of Pringle Bay Extension 3. This suggests that the proposed development aligns with the existing framework and does not introduce any new precedents or diverge from established land use designations.

### **3.9 IMPACT ON EXTERNAL ENGINEERING SERVICES**

Erf 729 Pringle Bay is not serviced, but one service connection is available to the subject property. Services for the development of the main dwelling with double garage will be provided in line with the Overstrand Municipality's regulations for installing services infrastructure. A bulk services contribution levy does not apply to the proposed development since no new subdivided portions are proposed with this application.

The latest Overstrand Municipal SDF (2020) confirms that Pringle Bay is currently adequately supplied with bulk water in terms of source and network provision, however continuous replacement of old water network pipelines is needed to reduce the high-water losses.

The subject property has existing rights. This entails that the property as it currently stands can be developed up to a maximum of 25% coverage (i.e. ±1254m<sup>2</sup>) – no land use approvals required (but subject to other statutory requirements where applicable). This implies that 25% of the existing vegetation on the subject property can potentially be removed for development within the existing SR1 rights.

The proposed coverage of 8% will have a minimal impact on the stormwater management and the latter will be done in line with the municipality's requirements.

Overstrand Municipality's Engineering Services Department confirmed that the municipality's capacity in terms of sewerage tankers were expanded for the area. The municipality will therefore be able to service the sewerage tank of the proposed dwelling. Currently there is no monotorium placed on development due to insufficient infrastructure in this area of Pringle Bay.

The area has experienced services problems in the past - especially storm water management issues. The latter is considered an operational function and must be dealt with accordingly. The proposed development of one dwelling house with double garage cannot be held accountable for infrastructure e.g., accommodating storm water in the area. The erf is extensive and storm water can be accommodated on the subject property, without detriment to the surrounding denser and smaller erven.

### **3.10 IMPACT ON SAFETY, HEALTH AND WELLBEING OF SURROUNDING COMMUNITY**

The proposed removal of restrictive title deed conditions and departure will not adversely affect the safety and wellbeing of the surrounding community. With the expectation that only one family will occupy the residential erf upon completion of the dwelling house development, the impact on the general safety and welfare is deemed negligible.

Moreover, it's emphasized that the construction of the new dwelling will adhere to relevant land use and construction guidelines set by the municipality. This adherence ensures that the construction process will be conducted safely and in accordance with regulations, minimizing noise pollution and any potential safety hazards to the immediate community.

Additionally, since the proposed changes do not involve activities associated with noxious trades or polluting air emissions, the impact on the health of the community is expected to be minimal. This suggests a comprehensive consideration of factors related to safety, wellbeing, and environmental impact in the proposed development.



### 3.11 **IMPACT ON HERITAGE**

Although the subject property is larger than 5000m<sup>2</sup> (5016m<sup>2</sup>), the subject property is zoned for SR1 purposes and the property will be developed accordingly (one dwelling house with double garage in line with the primary right of the subject property). Consequently, the proposed application for the removal of the restrictive title deed conditions and departure does not trigger Section 38 of the National Heritage Resources Act, 1999 (Act No. 25 of 1999).

Erf 729 Pringle Bay is not earmarked for heritage conservation purposes in the Overstrand Heritage Report (2009). The subject property is not situated within the Heritage Protection Overlay Zone (HPOZ, 2020) as determined by the Overstrand Municipality's Zoning Scheme (2020). The subject property is also not earmarked for heritage conservation purposes with reference to the Overstrand Municipal Growth Management Strategy (2010).

The subject property is a vacant portion of land. The impact on the visual landscape of the area will be kept to a minimum since the proposed main dwelling with double garage on erf 729 Pringle Bay, will be developed in line with the zoning parameters for Residential Zone I: Single Residential erven as stipulated in the Overstrand Municipal Land Use Scheme Regulations (2020). However, the stricter title deed common boundary building line will be removed to accommodate the proposal. The proposal is still considered a low impact development. The contours of the site have been surveyed and favours the position of the dwelling as indicated on the site development plan. The impact on the views of adjacent properties will be minimal since no structures have been developed in close proximity to the proposed dwelling's position on erf 729 Pringle Bay and since the slopes of the subject property and surrounding properties (i.e. the Ridge) favours the development at this position without having a detrimental impact on the adjacent properties.

The subject property is not associated with any important persons or groups or important events and activities. The subject property has no association with the history of slavery and is not used for living heritage.

From the above it is evident that the proposed application does not encompass any heritage significance and therefore the impact on the heritage value of the area will be kept to a minimum.

### 3.12 IMPACT ON THE BIOPHYSICAL ENVIRONMENT

The subject property is demarcated as Urban Conservation Area in terms of the Environmental Management Overlay Zone (EMOZ, 2020). In addition, a conservation area corridor runs over the eastern and south-eastern portion of the subject property. Refer to the extract from the EMOZ for Pringle Bay below:



Map 5: Environmental Management Overlay Zone (EMOZ, 2020): Pringle Bay

The subject property falls under Category D for the Urban Conservation Area demarcated for this area and then quote the Category D information. Prior to proceeding with this land use application, our client appointed Mr Duncan Heard from Duncan Heard Environmental Consulting to undertake a study for The Ridge area. He compiled an Environmental Management Framework (EMF) for the “Ridge” precinct in the town of Pringle Bay. The EMF is a tool that strives to promote the effective environmental management of the identified potential areas of this precinct as a conservation area. It encourages the formation of a ‘conservancy’ entity consisting of the precinct landowners who through their joint, coordinated, prioritised, and focused efforts could effectively protect and conserve the identified conservation area of this precinct.

This precinct in Pringle Bay was identified several years ago as a potential conservation-worthy ecological corridor (greenbelt) within the urban residential area that could contribute towards the conservation of the natural environment of the local area. For the above

reason, it was included in the Environmental Management Overlay Zone (EMOZ): Conservation-worthy Urban Area for Pringle Bay.

The map below indicates the approximate positions of the wetland areas (blue) on the western side of the Ridge precinct. The EMF stipulates that it is important that these areas receive conservation status going forward, to ensure that they do not become negatively impacted and degraded.



*Map 6: Wetland areas depicted with blue polygons*

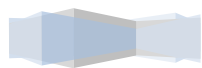
To facilitate the conservation of the wetlands and to improve the dune ridge corridor ecological integrity (that is partially protected by the municipal properties), it is recommended that the private landowners should exercise their right to develop a residence on their property, but that these areas of natural vegetation be retained on their property.





*Map 7: Illustration of recommended Municipal erven (solid shading) and portions of Private erven (translucent shading) for the Ridge EMOZ urban conservation-worthy corridor area.*

The owner intends to construct a dwelling house with double garage in the southern corner of the subject property. Although the southern corner of the subject property falls within the demarcated conservation area of the Ridge Plan and EMOZ, it is proposed that the municipality considers the outcome of the EMF and allow the development of the southern section of the property as an off-set for maintaining the wetland area identified on the northern section of the subject property (as depicted in maps 6 and 7). The study / EMF clearly indicated the areas worthy of conserving and this does not include the proposed development area for the dwelling house. It is therefore proposed to deviate from the EMOZ (2020) and Ridge Plan (and 5m conservation corridor building line) to accommodate the proposed dwelling house at the proposed position on the site. We therefore request that the municipality considers the EMF (2023 – 2028) compiled for the proposed Ridge Precinct Conservation Area Pringle Bay and allow the landowner of erf 729 Pringle Bay to construct the dwelling house on the 2m rear and 2m south-western lateral building lines on the southern section of the subject property.





If certain listed activities in terms of NEMA might become applicable, when facilities and infrastructure are constructed in future, it will be dealt with as separate environmental application when the need arises at the time. Should the future development of the property trigger a NEMA application (removal of vegetation; wetland; etc.), due process must be followed prior to the commencement of the construction on site. Due to the site's ecosystem threat status, the subsequent development on the erf may constitute listed activities as defined in terms of the NEMA Regulations. In this case, any clearance of vegetation over 300m<sup>2</sup> will trigger LN 3, activity 12 of NEMA and require environmental authorisation from the competent authority before such activities may commence.

The presence of the Floodplain Wetland on the Ridge properties applies to most of the adjacent and surrounding properties; however, none of the adjacent properties were denied the right to develop at least one dwelling with ancillary outbuildings on the subject properties. The Floodplain Wetland does not restrict the development of the property – hence the deviation to allow the property owner to construct the dwelling outside of the demarcated wetland area on the site. Although the guidelines for The Ridge earmark the southern portion as conservation worthy; the recent study / EMF confirms that the southern section is more suited for development since the northern section is considered conservation worthy for the wetland present on this section of the property. Refer to the photograph taken from the EMF below:



*Photograph 1: Photo taken from the south end of erf 729 Pringle Bay, looking northwards. The low-lying wetland that traverses the property can be seen by the brown reed growth (predominantly Bulrush – *Typha capensis*) in the foreground. On the right is the vegetated dune ridge that is mostly owned by the Overstrand Municipality and is zoned Open Space 2: Public Open Space.*

The EMF describes the sensitivity of the site and its environs and map these resources. The EMF identified areas unsuitable for development or related activities. It is therefore submitted that the proposed departure to allow construction on the southern section of the property will meet the requirements of the EMF while still respecting the biodiversity value and ecological function of the site and Ridge area. The proposal will meet biodiversity targets and continue to support the function of conservation areas.

As per the above and also the attached specialist report it is evident that development of the subject property is possible; however the necessary mitigation measures should be followed to ensure that the development takes the existing vegetation, wetland, ridgeline and slopes into consideration to ensure a low impact single residential development.

### **3.13 TRAFFIC IMPACT, PARKING AND ACCESS**

The subject property abuts Bobbie Road (existing gravel road) on its western erf boundary. The property will continue to take access from Bobbie Road. The exact position of the access points / gates will only be determined once building plans are available and submitted in future.

The impact on the traffic of Pringle Bay and the immediate area will be kept to a minimum since the proposal is in line with the status quo for the area. The development of the subject property will comply with the relevant scheme regulations' parking requirements – i.e. at least two parking bays / garages must be provided for on site. The property will be developed with a double garage and will therefore meet the parking requirements for SR1 zoned properties.

### **3.14 TITLE DEED**

Title Deed No. T19044/2023 has restrictions that need to be removed to accommodate the proposed dwelling house with double garage on erf 729 Pringle Bay. A conveyancer's certificate that was compiled by Mr H.L. van Zyl at Van Zyl Kruger Attorneys dated 3 April

2024 is attached. The removal of the restrictive title deed conditions application is described in detail in Section 3.5 of the report.

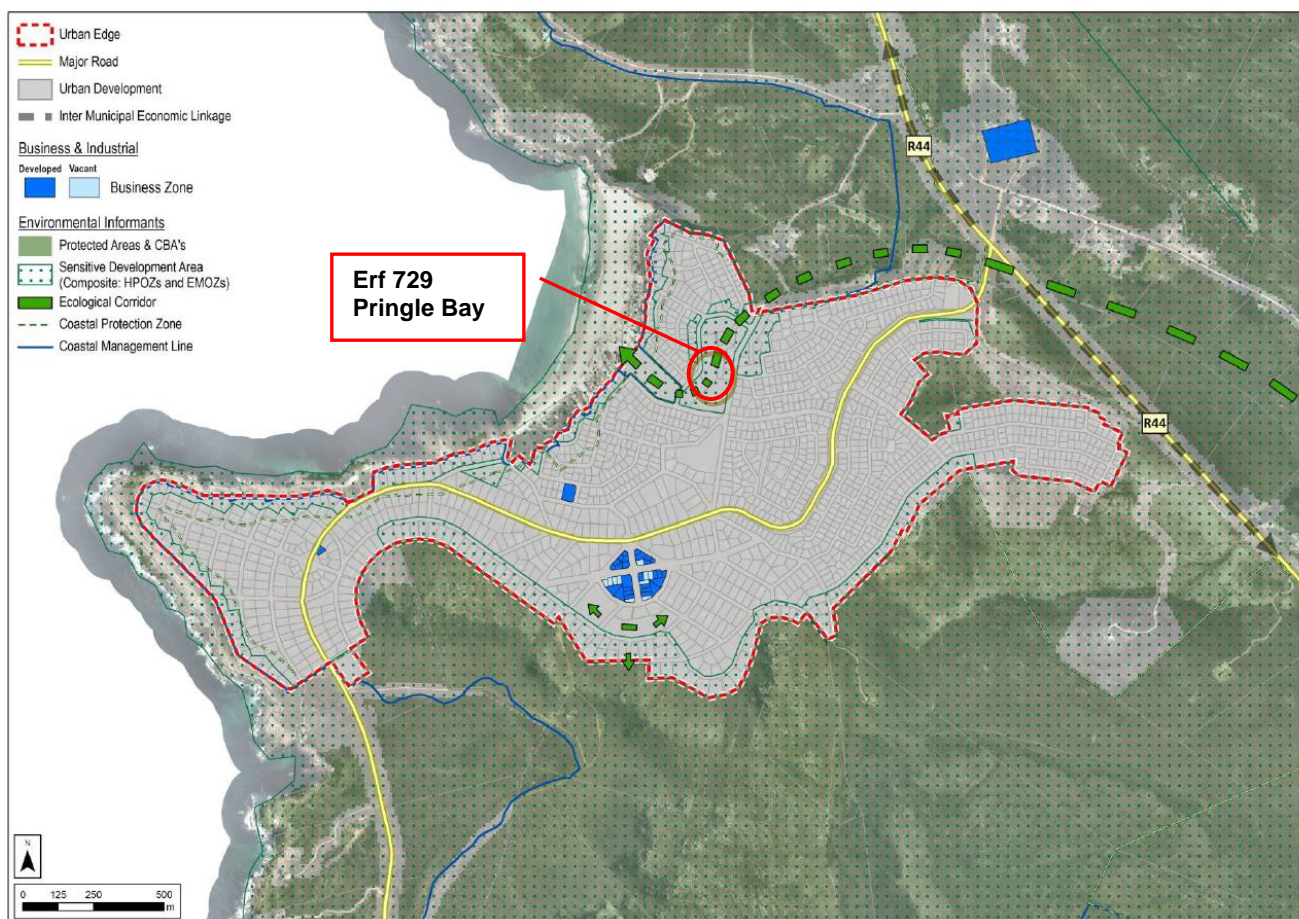
There is a bond registered against the subject property. The bondholder's consent dated 25 March 2024 is attached.

### **3.15 FORWARD PLANNING AND LAND USE DOCUMENTS**

#### **3.15.1 OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK (2020)**

The *Overstrand Spatial Development Framework (2020)* earmarks the area where erf 729 Pringle Bay is situated, for urban development purposes. An ecological corridor runs over the eastern and southern section of the subject property as indicated on the Pringle Bay Spatial Proposal Plan (2020) - see below. The zoning and use of the subject property for the single residential erven will remain unchanged (Residential Zone 1: Single Residential). It is proposed to retain the conservation worthy areas as indicated by the EMF to meet the conservation area requirement for this area as promoted by the Overstrand SDF (2020). The proposed dwelling house with double garage at the proposed position on the site will have a low impact on the spatial integrity of the area and is therefore consistent with the Overstrand SDF (2020).





Map 8: Pringle Bay Spatial Proposals Plan (2020)

The property is located in the EMOZ (2020) and subject to the Guideline Development Plan, known as The Ridge. The Guideline Plan was incorporated in the EMOZ, since it was adopted by Council in 2007, with the subdivision of erf 725. To clarify, the EMOZ is a second layer of protection, but cannot take existing rights away. The area demarcated for conservation purposes is almost half of the subject property (northern section) and coincide with the EMF proposals.

### **3.15.2 OVERSTRAND MUNICIPAL GROWTH MANAGEMENT STRATEGY** **(2010)**

The Overstrand Municipal Growth Management Strategy (OMGMS, 2010) specifies that erf 26 729 Pringle Bay forms part of Planning Unit no. 2. This planning unit stipulates that the status quo of the area (i.e. single residential) must be maintained.

With this application incremental development is proposed. The erf size will be retained and no densification in the form of a second dwelling unit or subdivision is proposed. Erf 729 Pringle Bay is considered an exceptionally large property situated in the middle of Pringle Bay and this must be taken into consideration when considering the merit of the application. The proposal will therefore have no impact on the density of the area while still retaining the status quo.

The proposal will promote land development in a location that is sustainable. The proposed development is to an improved erf within an established residential area and therefore will not impact on urban sprawl or upon a sensitive environment.

From the above it is evident that the proposed development **adheres and complies** with the relevant municipal spatial planning policies.

### **3.16 PLANNING PRINCIPLES**

The planning principle of spatial resilience does not apply to this application.

Spatial justice: The proposed land use application ties in with the existing character of the area and will not have a negative impact on the surrounding properties.

This principle addresses the need to address the past imbalances with regard to opportunity. This application is applicable to an erf as per the establishment of the Pringle Bay Township and is this principle not applicable.

Spatial sustainability: The proposed development of a dwelling house with double garage on the southern section of the subject property is in line with the spatial planning policies for the area as motivated in this application.



The development of the dwelling house with double garage will be practical with respect to access, developable areas, connecting to bulk services and the installation of services. The visual impact will be kept to a minimum since the property will be developed in line with the relevant land use scheme regulations. Since the status quo of the area will be maintained, it is submitted that the proposed dwelling on erf 729 Pringle Bay will be compatible with the character of the area and will not impact negatively on the existing rights of anyone else.

Areas earmarked for conservation remain protected with this application proposal while affording our client the opportunity to exercise his primary right in terms of the SR1 zoning. As a result, the proposal will have no adverse impact on the spatial sustainability of the area.

Efficiency: The subject property is easily accessible and conveniently located close to major routes. The removal of restrictive title deed conditions and departure will have a low impact on the character and ambiance of the existing residential area as motivated in this report. It proves to be efficient to allow the dwelling house with double garage at the proposed position on the site since this proposes to be the best position in terms of conservation worthy areas on the site and maximizing views from the site. As motivated in the above sections of the report the proposal is compatible with surrounding properties in the immediate area.

The proposed removal of restrictive title deed conditions and departure proof to be efficient since it discourages the phenomenon of urban sprawl, which relates to more responsible resource and infrastructure use and sustainable development. Moreover, the proposal is efficient in that it optimizes existing resources and infrastructure and continues the existing suburban development typology.

Good administration: Our firm is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The land use application will follow due process as stipulated in the relevant municipality's bylaw and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020.



#### **4. RECOMMENDATION**

It is recommended that the application be considered favourably for the following reasons:

- The proposed land use application does not trigger any listed activities in terms of NEMA (Act 107 of 1998);
- The EMOZ and Ridge EMF does not prohibit the construction of a main dwelling with outbuildings on the site;
- The development of the site will be subject to mitigating measures / objectives of the EMF and legislation applicable to The Ridge;
- The proposed application will not have a negative impact on the existing land use rights of the subject property or those of surrounding properties;
- The proposal is compatible with the existing character and erf sizes of the immediate area;
- The zoning of Residential Zone I: Single Residential and land use (single residential) are compatible with the surrounding zonings of the area;
- The proposal complies with the spatial planning policies for the area;
- Impact on the traffic and services will be kept to a minimum;
- The application is fully compliant with the applicable planning principles described in the LUPA (2014) and SPLUMA (2013).

With regards to the above mentioned it would be appreciated if the application for the removal of the restrictive title deed conditions and departure of erf 729 Pringle Bay be approved.



All dimensions to be confirmed on site  
any discrepancies to be discussed with  
architect prior to proceeding

Energy Efficiency in Buildings			
<b>Project Reference:</b>			
Project Name: Innes Design House			
Client Name: Andrew Langford			
Architect: Innes Design			
Drafter: Innes Design			
Title of drawing: Site Plan			
Compliance code: Prescriptive code of Regulation 2.3.5.1			
Occupancy	Dwelling houses	104	
Occupancy hours/day	Dwelling houses	24	
Number of floors in the building	Dwelling houses	2	
Number of units in the building	Dwelling houses	2	
Number of occupied private residential units per 100 sqm of gross floor area	residential	Dwelling houses	2.50
Minimum compliance level	Energy efficiency		2
The minimum compliance level	Energy efficiency		2
Minimum compliance level	Energy efficiency		4
Regulatory Reference: Building Regulations Part L			
City	City		
Local Government	Local Government		
Latitude	18.000000		
Longitude	175.000000		
Energy Zone	Zone 1		

Building Envelope Specifications - Walls			
Energy Zone for permit	Standard construction	Other Standard Construction or Category 1 (in this location) of the National Building Regulations are permitted	Category
4	High mass construction	A walling category is chosen from the following categories available	Complies
Minimum Test R value required for this category of wall in the Energy Zone is	0.6	The minimum Test R value required for this category of wall in the Energy Zone is	0.6
A common high mass wall type of a flat high mass - None selected	2 x 100mm solid or concrete blockwork with 10mm cavity	A wall type is selected from the list of wall types in either one of the two boxes. Alternatively the best option reflects a measure wall	Complies
A common low mass wall type of a flat low mass - None selected	None selected		Not applicable
Build up your own wall in the next section below - in compliance with the 1995 or 1997 NBR code of practice for the wall type chosen	None	Set out the description of the wall and the R value to be achieved	Not applicable

Roof Assembly Compliance with Requirements of SANS 10400-XA Part 4 Above Tests Comply			
Primary Roof Construction Description	Open metal roof @ low pitch with plasterboard ceiling & insulation	U-value	R-value
Climate Zone target R-value	2.70	2.70	0.00
Roof Assembly Component	Thickness (mm)	U-value	R-value
Outer surface resistance		0.05	0.00
Outer leaf	Profiled metal	0.5	0.00
Cavity	Between Cladding	12.0	2.00
airspace	Horizontal @ 45° sealed at eaves - reflection 0.05 - heat flow down only	0.00	0.00
Insulation External polystyrene		0.0	0.00
Insulation External polystyrene		0.0	0.00
Structural layer Profiled metal		0.0	0.00
Inner covering Broken hardboard		9.0	0.00
Roof air film	Roof air film	0.00	0.00
Total U-value		0.77	1.30

Roof Assembly Compliance with Requirements of SANS 10400-XA Part 4 Above Tests Comply					
Climate Zone	Roofing for each climate zone selected	Heat loss on the roof (HTR)	Penetration (per floor (HTR))	% Penetration	Required maximum U-value for roof floor (HTR)
9	Upper ground	100	40	24.5	4.0
9	Flat roof below ground	100	40	24.5	4.0
9	Roof floor above ground	0	13	0.00	7.50
9	Roof floor below ground	0	13	0.00	7.50
9	Roof floor above ground	0	13	0.00	7.50
9	Roof floor below ground	0	13	0.00	7.50
<b>Roof of translucent vertical glazing specification to check if the original U-value &amp; SHGC meets above Table 4 requirements</b>					
Area weighted glazing coefficient	U-value	SHGC	SHGC	SHGC	SHGC
4.48	2.30	4.48	4.48	4.48	4.48
The input U-value for the glazing must be less than or equal to the required U-value for the glazing as shown in the table above. A possible compliance message will be displayed if the requirements are not met.					
4.48	0.29	0.40	0.40	0.40	0.40
The input SHGC for the glazing must be less than or equal to the required SHGC for the glazing as shown in the table above. A possible compliance message will be displayed if the requirements are not met.					

Mechanical Ventilation and Cooling Compliance with SANS 10400-XA Part 4 Above Tests Comply					
Mechanical Ventilation - MERVAC requirements					
Category	Requirement	Value	Compliance	Notes	Comments
Household	Mechanically ventilated	10	Complies	100% MERVAC	
Commercial	Openable windows greater than 7% of Gross floor area	70	Complies		
Commercial	Required ventilation rate in Litres per second (LPS)	7.5	Complies		
Commercial	Natural ventilation in L/s/m²	0	Complies		



**Hot water supply**  
Instant gas hot water geyser to be installed to each bathroom. Bottles to be stored in lockable metal cage in accordance with SANS 10087

OFFICIAL STAMPS

Official stamp area containing fields for professional registration numbers and dates.

NOTES

- 1. THESE DOCUMENTS ARE THE PROPERTY OF INNES DESIGN ARCHITECTURE AND SHOULD BE RETURNED TO THE ARCHITECT IMMEDIATELY UPON COMPLETION OF THE PROJECT.
- 2. ALL DIMENSIONS TO BE CONFIRMED ON SITE.
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**CLIENT**  
**HOUSE**  
LANGFORD

**PROJECT**  
New Dwelling  
cat.14  
MUNICIPALITY DRAWINGS  
8 Bobby Road  
Pinnacle Bay  
Erf:729

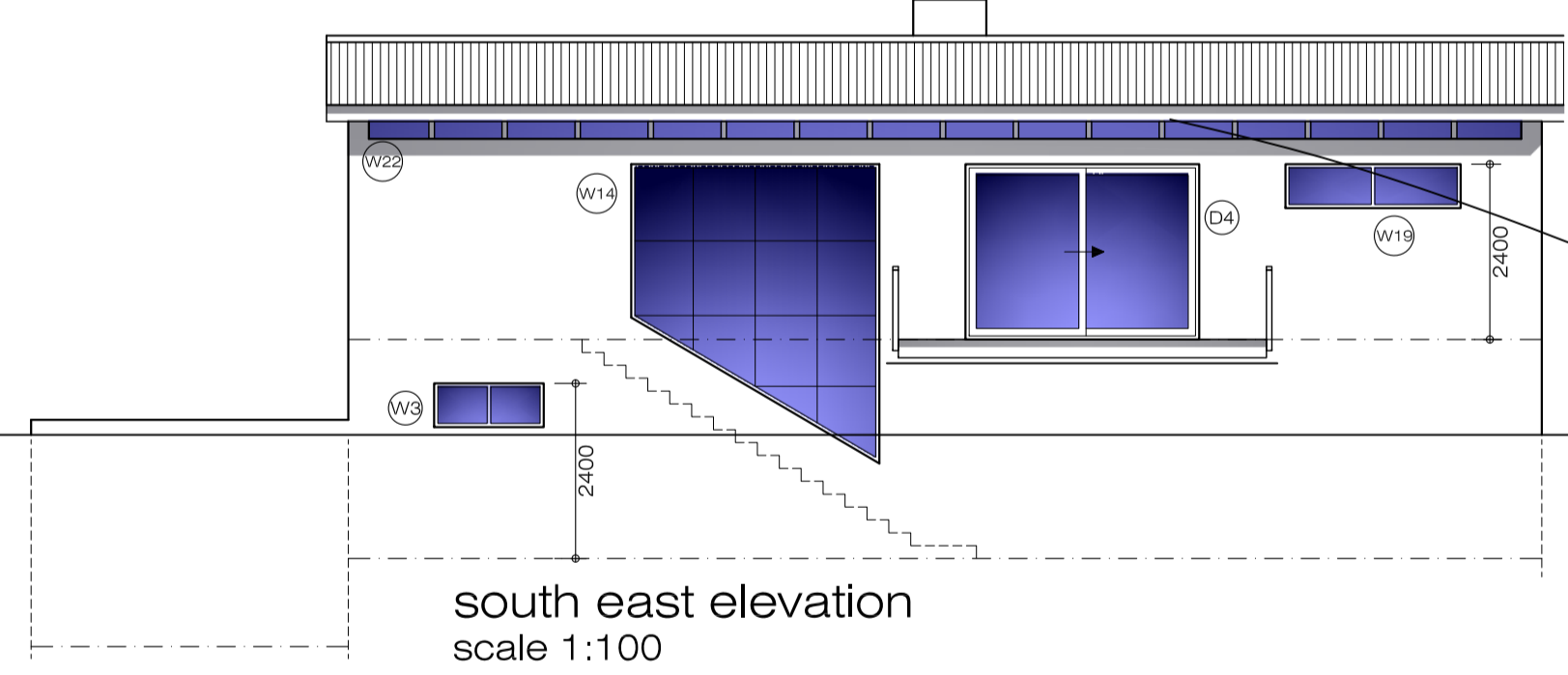
**DRAWING**  
SITE PLAN, XA CALCULATIONS

SCALE	DATE	DRAWN	CHECKED
1:200	2023/25	JD	JL
DRAWING NO.	2023/25	P.4	PREP

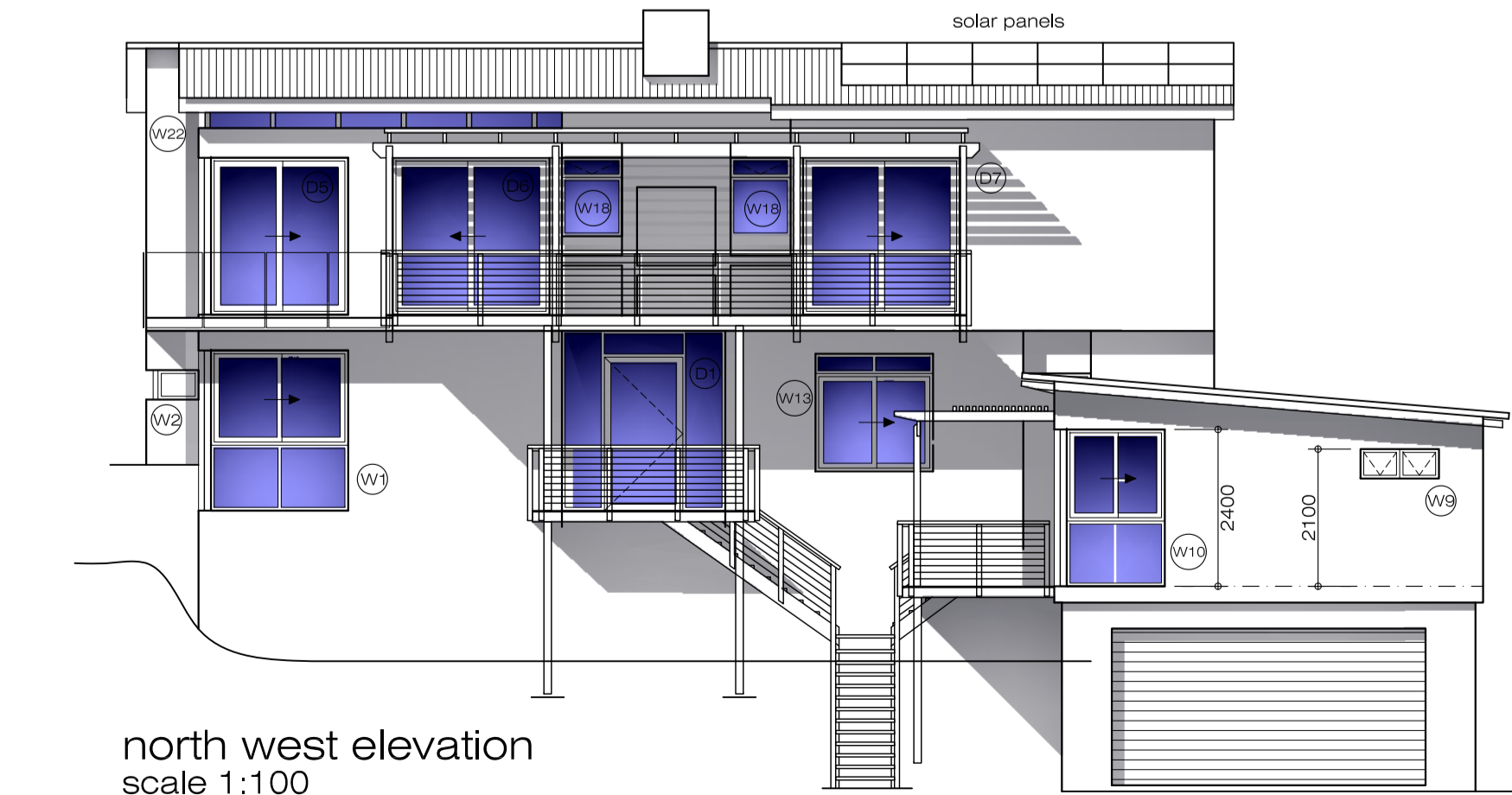




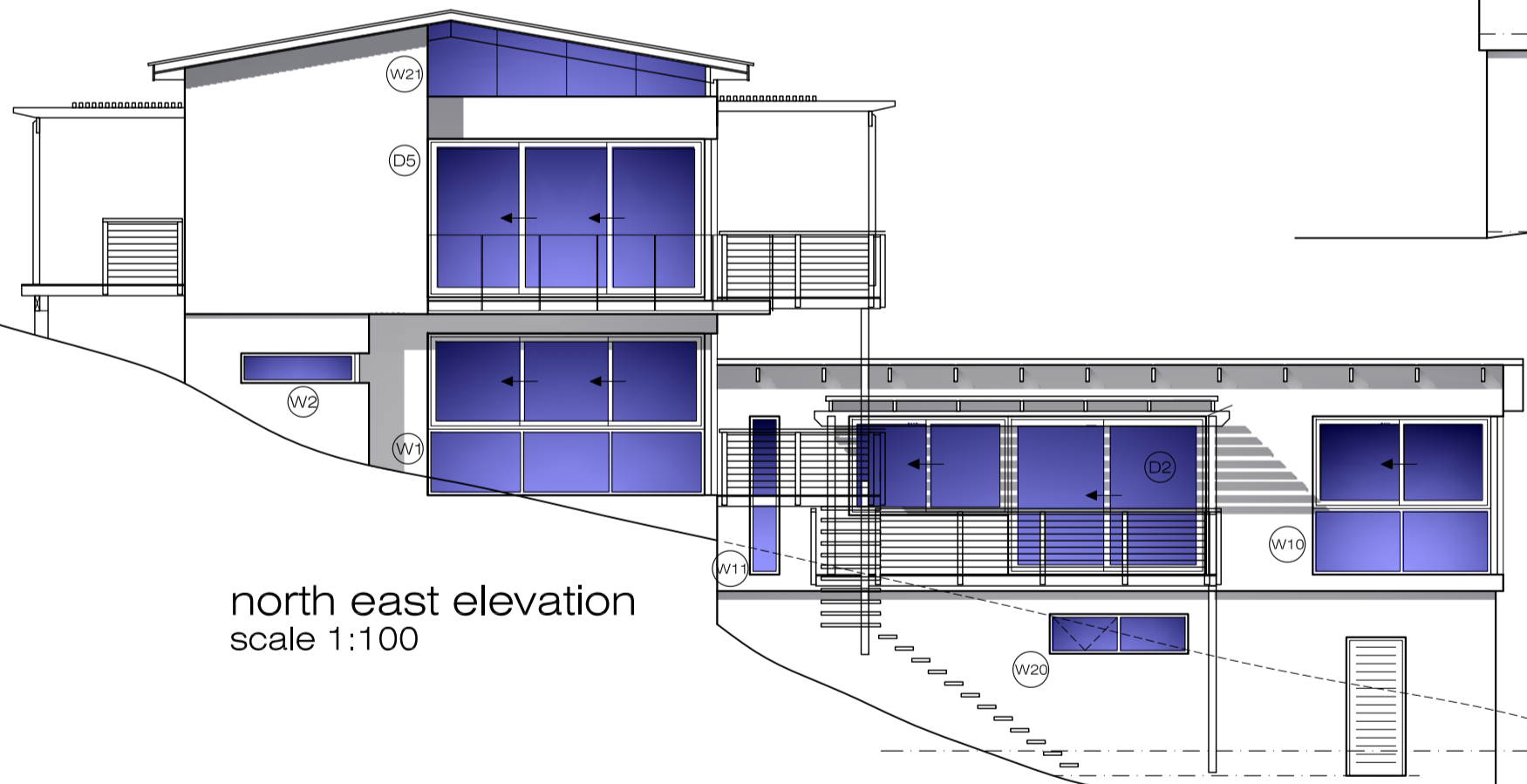
ground floor  
main house - 116m<sup>2</sup>  
guest unit - 106m<sup>2</sup>



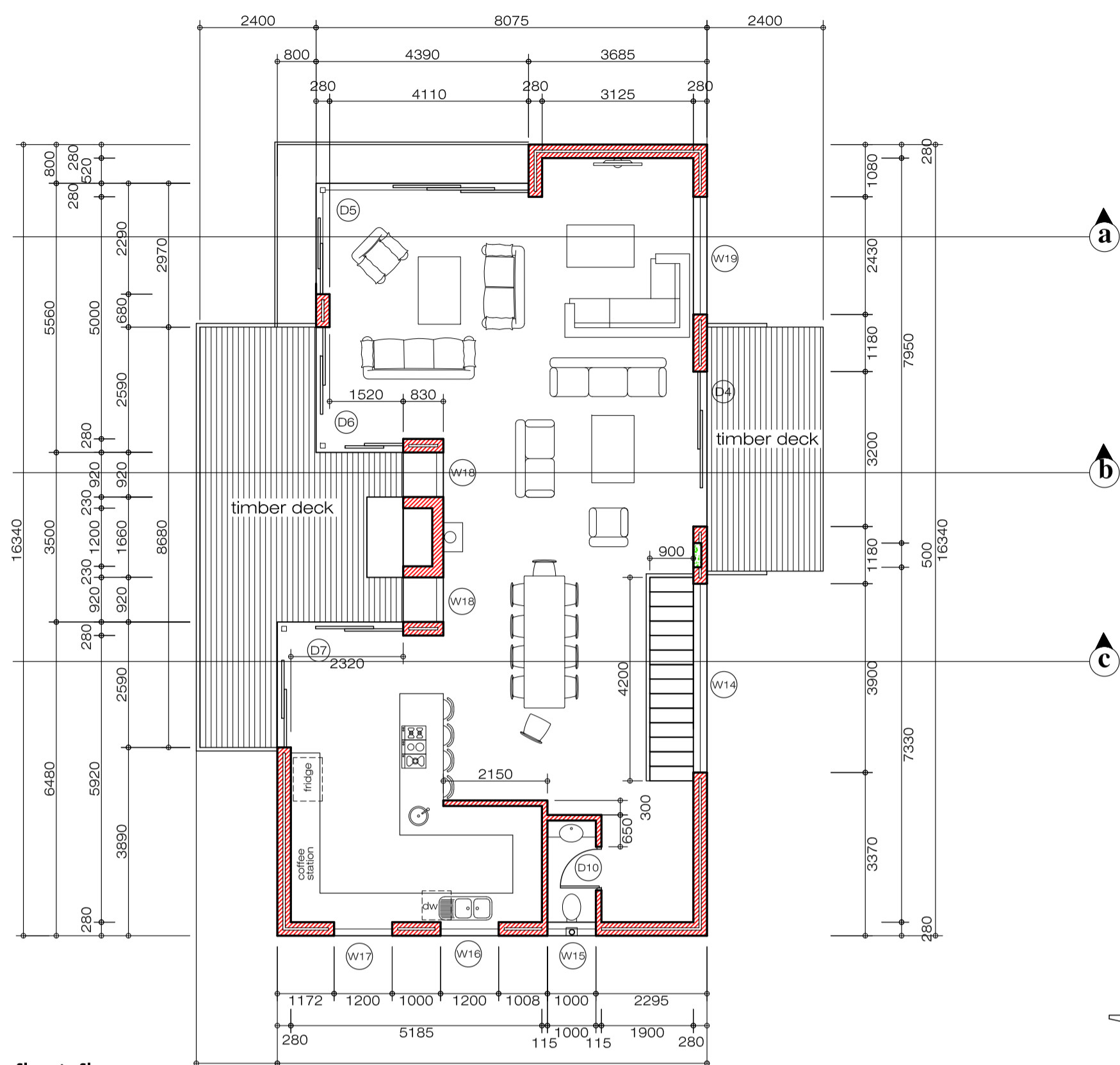
south east elevation  
scale 1:100



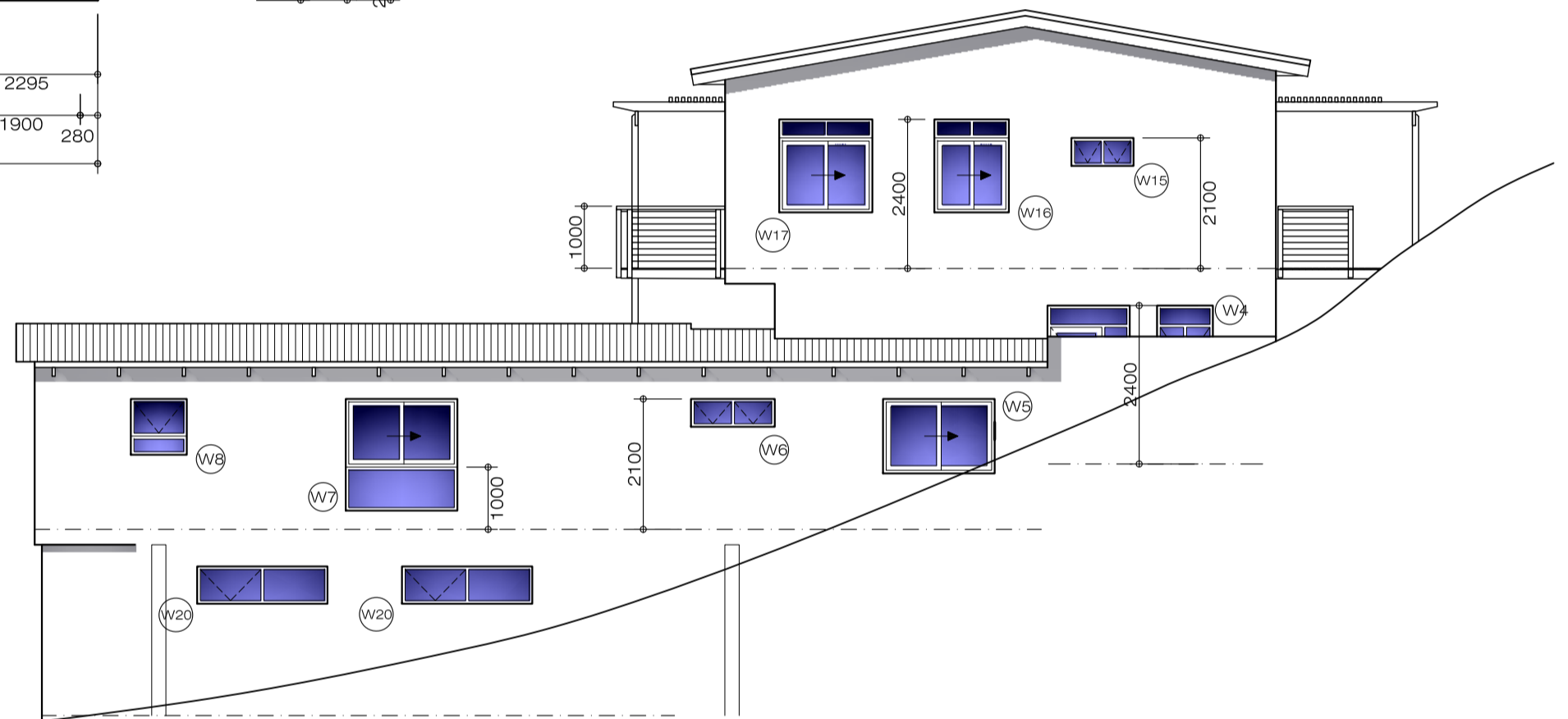
north west elevation  
scale 1:100



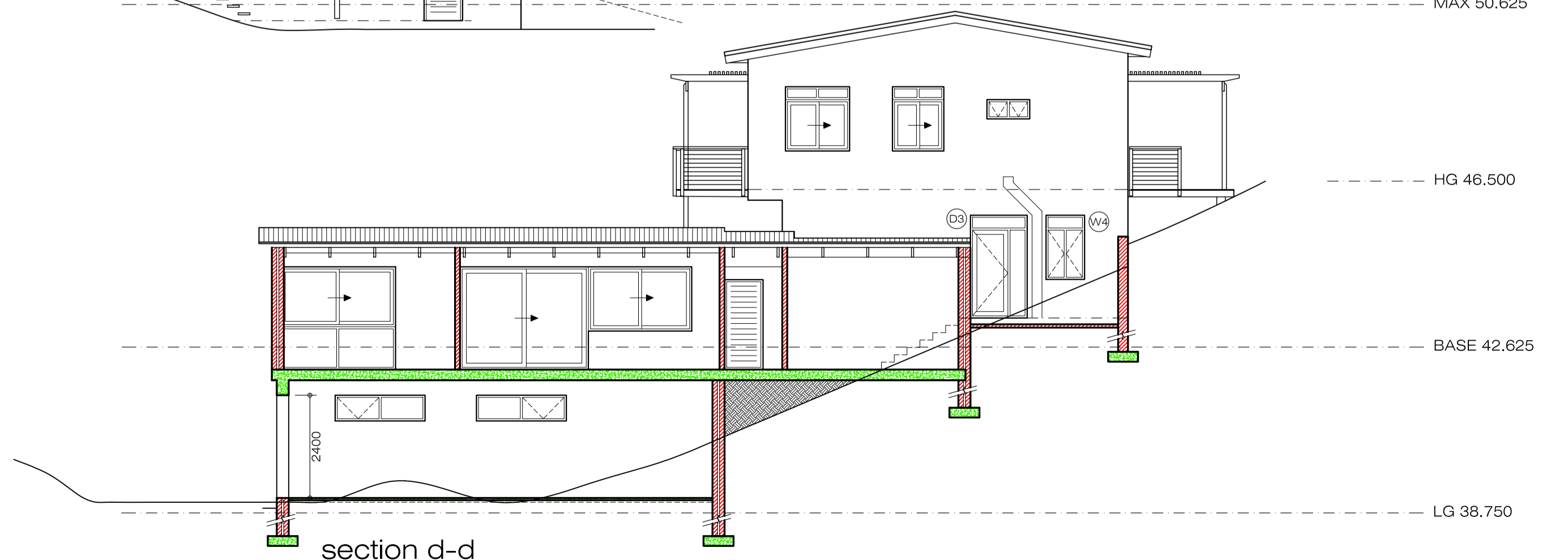
north east elevation  
scale 1:100



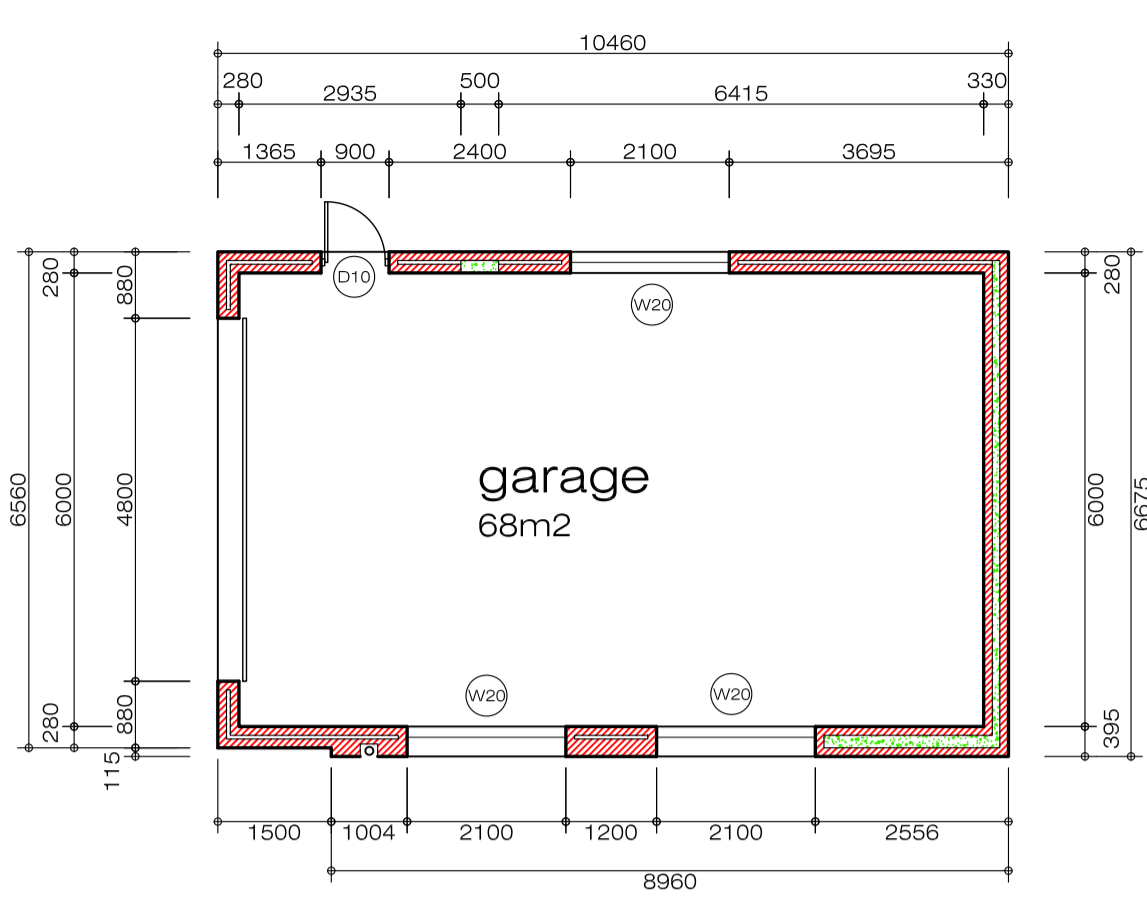
first floor  
main house - 125m<sup>2</sup>



south west elevation  
scale 1:100



section d-d  
scale 1:100



garage  
68m<sup>2</sup>

Note:  
Any flue or chimney is to comply with  
Sans10400-V - Space heating

stairs cast wide enough  
to carry single skin of  
brickwork

OFFICIAL STAMPS

NOTES

1. THE DESIGN CONTAINED IN THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

2. ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH SALES AND LOCAL AUTHORITY REGULATIONS FOR WORKS EXEMPT FROM THE NEED FOR PERMITS.

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4. SCALING OFF DRAWINGS TO OTHER SIZES IS PROHIBITED. ALL DIMENSIONS TO BE CHECKED BEFORE WORK COMMENCES. ANY CHANGES OR DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM THE MISINTERPRETATION OF THIS DRAWING.

5. ALL DIMENSIONS ARE QUANTIFIED IN METRES.

AREA'S DESCRIPTION	SQM
Ground floor	232.00
Garage	68.82
First floor	125.00
Total new area under roof	416.82
Site	5016.00
Coverage	8%

REV	DATE	DESCRIPTION

INNES DESIGN architecture  
Jonathan Innes  
Cell: 073 255-3084  
SAIAT : 32172 SACAP : ST1029

JONATHAN PETER INNES

HOUSE  
LANGFORD

PROJECT  
New Dwelling  
cat.H4  
MUNICIPALITY DRAWINGS  
8 Bobby Road  
Pringle Bay  
Erf:729

DRAWING  
PLAN, ELEVATIONS

SCALE	DATE	DRAWN	CHECKED
1:100	NOVEMBER 2023		

DRAWING NO: 2023/25 P.1 REV