



OVERSTRAND MUNICIPALITY	OVERSTRAND MUNISIPALITEIT	UMASIPALA WASE-OVERSTRAND
ERF 1013, 79 MAIN ROAD AND ERF 1014, 81 MAIN ROAD, SANDBAAI: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, CONSOLIDATION AND REZONING: WRAP PROJECT OFFICE ON BEHALF OF DESHELF 26 (PTY) LTD AND RT STEWART & JM DU PLESSIS Notice is hereby given in terms of Sections 47 and 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), of the following applications applicable to Erven 1013 and 1014, Sandbaai (the properties), namely: Removal of Restrictive Title Deed Conditions Application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed conditions as follows: • B(a), C(a), C(c) and C(d) as contained in Title Deed T32156/2025 applicable to Erf 1013, Sandbaai and • B(a), C(a), C(c) and C(d) as contained in Title Deed T32553/2020 applicable to Erf 1014, Sandbaai, to accommodate the proposed mixed-use development. Consolidation Application in terms of Section 16(2)(e) of the By-Law to consolidate Erven 1013 and 1014, Sandbaai to create a consolidated property of approximately 1381m² in extent. Rezoning Application in terms of Section 16(2)(a) of the By-Law for the rezoning of the newly consolidated property (±1381m²) from Residential Zone 1: Single Residential (SR1) to Business Zone 3: Local Business (B3) to accommodate a mixed-use development on the property (commercial area on the ground floor and twenty [20] flats on first floor level). Full details regarding the proposals above are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town and Spatial Planning, 16 Paterson Street, Hermanus and on the municipal webpage at the following link https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/ Any comments must be in writing and reach the Municipality (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) on or before 9 October 2026, with your name, address, contact details, interest in the application and the reasons for comment. Telephonic inquiries can be made to the Town Planner, Mr. B. Minnaar at 028-3138900. The Municipality may refuse to accept comments after the closing date. Any person who cannot read or write can visit the Town and Spatial Planning Department where they will be assisted by a municipal official in formulating their comments. <i>Please note that in terms of the Protection of Personal Information Act (POPIA), you will be entering into a public process and as such agree and consent to your name, surname, contact details and comment(s) may be disclosed / used in the (application) process.</i>	ERF 1013, HOOFWEG 79 EN ERF 1014, HOOFWEG 81, SANDBAAI: AANSOEK OM OPHEFFING VAN BEPERKENDE TITELAKTEVOORWAARDES, KONSOLIDASIE EN HERSONERING: WRAP PROJECT OFFICE NAMENS DESHELF 26 (PTY) LTD EN RT STEWART & JM DU PLESSIS Kragtens Artikel 47 en 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) word hiermee kennis gegee van die onderstaande aansoek van toepassing op Erwe 1013 en 1014, Sandbaai (die eiendomme), naamlik: Opheffing van Beperkende Titelaktevoorwaardes Aansoek ingevolge Artikel 16(2)(f) van die Verordening vir die opheffing van beperkende titelaktevoorwaardes soos volg: • B(a), C(a), C(c) en C(d) soos vervat in Titelakte T32156/2025 van toepassing op Erf 1013, Sandbaai en • B(a), C(a), C(c) en C(d) soos vervat in Titelakte T32553/2020 van toepassing op Erf 1014, Sandbaai, om die voorgestelde gemengde-gebruik-ontwikkeling te akkommodeer. Konsolidasie Aansoek ingevolge Artikel 16(2)(e) van die Verordening om Erwe 1013 en 1014, Sandbaai te konsolideer om 'n gekonsolideerde eiendom van ongeveer 1381m² in grootte te skep. Hersonering Aansoek ingevolge Artikel 16(2)(a) van die Verordening vir die hersonering van die nuutkonsolideerde eiendom vanaf Residensiële Sone 1: Enkel Woonsone (SR1) na Sakesone 3: Plaaslike Sake (B3) 'n gemengde-gebruik-ontwikkeling op die eiendom te akkommodeer (kommersiële area op die grondvloer en twintig [20] woonstelle op eerstevoervlak). Besonderhede aangaande die voorstel lê ter insae gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stads- en Streekbeplanning te Patersonstraat 16, Hermanus en op die munisipale webtuiste by die volgende skakel https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/ Enige kommentaar moet skriftelik wees en die Munisipaliteit (Patersonstraat 16, Hermanus / (e) landuse@overstrand.gov.za) voor of op 9 Oktober 2026, met u naam, adres, kontak besonderhede, belang in die aansoek en die redes vir kommentaar. Telefoniese navrae kan gerig word aan die Stadsbeplanner, Mnr. B. Minnaar by 028-3138900. Die Munisipaliteit mag weier om kommentare te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Afdeling: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formuleer. <i>U aandag word gevestig op die Bepalinge van die "POPI" Wet, en aangesien u opmerking deel sal uitmaak van 'n openbare deelname proses, u derhalwe toestem dat u naam, van en kontakbesonderhede openbaar gemaak mag word.</i>	ISIZA 1013, 79 MAIN ROAD KUNYE ISIZA 1014, 81 MAIN ROAD, SANDBAAI: ISICELO SOKUSUSWA KWEEMKO EZITHINTELAYO KWITAYITILE YOBUNINI, UKUHLANGANISA KUNYE UKUMISELWA KWAKHONA: WRAP PROJECT OFFICE EGAMENI LIKA DESHELF 26 (PTY) LTD KUNYE RT STEWART & JM DU PLESSIS Isaziso siyanikezelwa ngokweCandelo lama-47 nelama-48 loMthetho kaMasipala oLungisiweyo kaMasipala waseOverstrand kuCwangciso lokuSetyenziswa koMhlaba kaMasipala, ka-2020 (uMthetho kaMasipala) izicelo esebenzayo kwiZiza-1013 kunye 1014, Sandbaai, (lipropati) esizezi: Sokususwa kweemeko ezithintelayo kwitayitile yobunini Isicelo ngokungqinelana neCandelo 16(2)(f) loMthetho kaMasipala sokususwa kwemiqathango yesithintelo setayitile yobunini ngolu hlobo lulandelayo: • B(a), C(a), C(c) kunye C(d) njengoko kuqulethwe kwiSivumelwano soBunini Nomb T32156/2025 esebenza iSiza 1013, eSandbaai kunye • B(a), C(a), C(c) kunye C(d) njengoko kuqulethwe kwiSivumelwano soBunini Nomb T32553/2020 esebenza iSiza 1014, eSandbaai, ukulungiselela uphuhliso olucetywayo oluxubeneyo. Ukudityaniswa Ukusetyenziswa ngokweCandelo le-16(2)(e) loMthetho kaMasipala ukuhlanganisa iSiza 1013 kunye ne-1014, eSandbaai ukudala ipropati edityanisiweyo emalunga ne-1381m² ngobubanzi. Ukutshintshwa kokusetyenziswa komhlaba Isicelo ngokweCandelo le-16 (2) (a) loMthetho kaMasipala ukulungiselela ukucandwa ngokutsha kwepropati esanda kudityaniswa (±1381m²) isuswa kwindawo yokuHlala 1: Indawo yokuHlala umntu omnye (SR1) ukuya kwindawo yoShishino 3: Ushishino lweNgingqi (B3) ukuze kulungiselelwe uphuhliso oluxubeneyo kwipropati (indawo yorhwebo kumgangatho ophantsi kunye neeflethi ezingamashumi amabini [20] kumgangatho wokuqala). linkcukacha ezipheleleyo mayela nezi ziphakamiso zingentla ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini ukusukela phakathi kwentsimbi ye08:00 neye16:30 kwiSebe: LeziCwangciso zeDolophu noBume beNdawo, 16 Paterson Street, nakwiwebhpeyiji kamasipala kweli qhakamshela lilandelayo https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/ Naziphi na izimvo mazibhalwe phantsi kwaye zifike kuMasipala (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) ngomhla okanye ngaphambi koko 9 EyeDwarha 2026, kunye negama lakho, idilesi, iinkcukacha zoqhagamshelwano, umdla kwisicelo kunye nezizathu zokuphawula. Imibuzo ngomnxeba ingenziwa kuMcwangcisi weDolophu, uMnu B Minnaar kule nombolo 028-313 8088 . UMasipala unokwala ukwamkela izimvo emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala angandwendwela iCandelo: loCwangciso lweDolophu noMhlaba apho aya kuthi ancediswe ligosa likamasipala ekuqulunqeni izimvo zabo. <i>Nceda uqaphele ukuba ngokoMthetho woKhuseleko lweNgcaciso loLwazi loBuqu (POPIA), uya kuba ungena kwinkqubo kawonke-wonke kwaye uvuma ukuba igama lakho, ifani, iinkcukacha zoqhagamshelwano kunye nezimvo zingabhengzwa / zisetyenziswe kwi (isicelo) inkqubo.</i>
EW JANTJIES Acting Municipal Manager / Waarnemende Munisipale Bestuurder / Umphathi Kamasipala Obambeleyo PO Box / Posbus / Ibhokisi yePosi 20 HERMANUS 7200		

Notice no. / Kennisgewing nr. / Inothi si yeNomb: 182/2026

Plan 1 - Locality Plan
Erven 1013 & 1014 Sandbaai

Plan prepared by: Thian Jansen

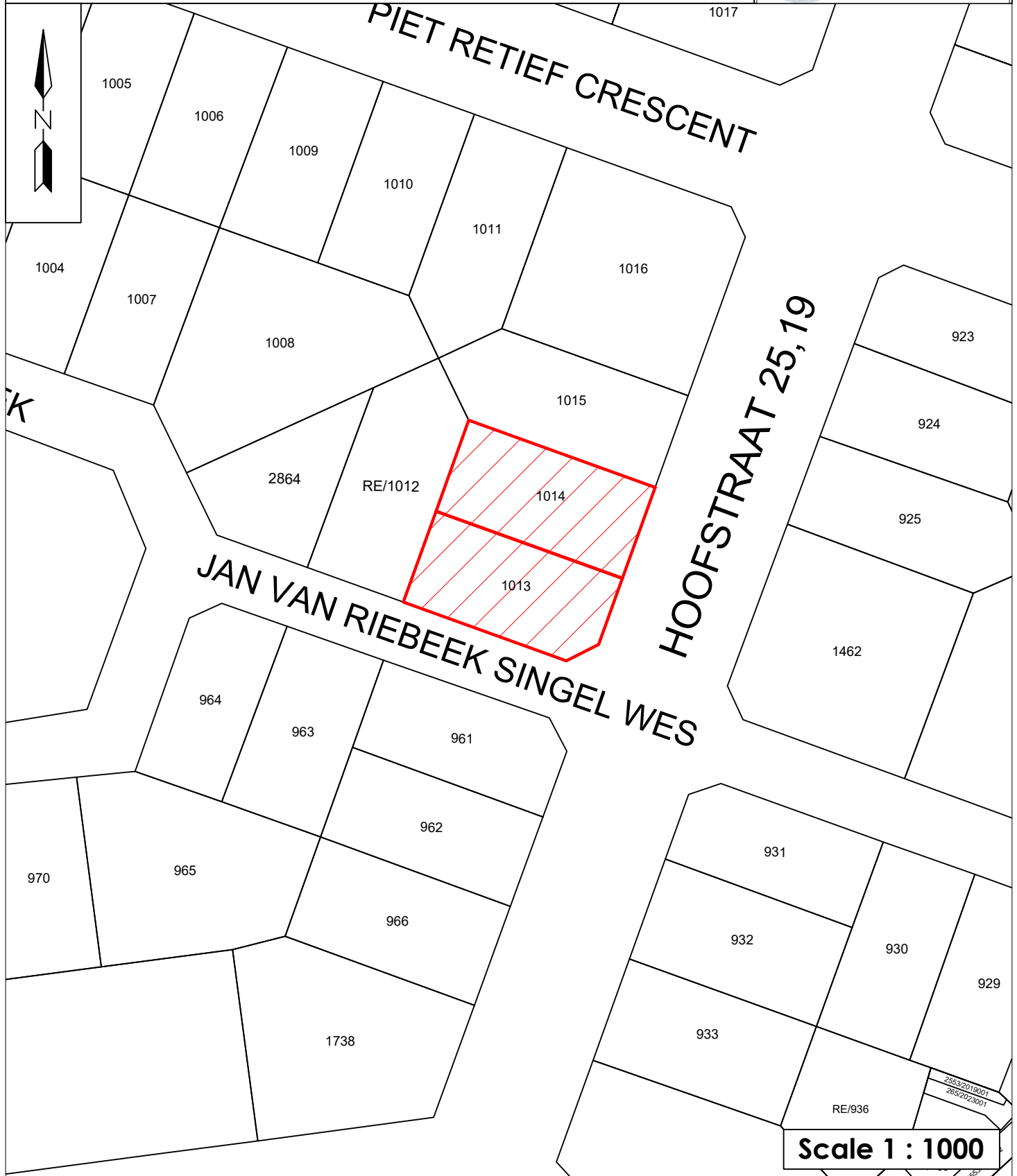
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Project Office
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ERVEN 1013 AND 1014 SANDBAAI

APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, CONSOLIDATION, REZONING

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1. ABBREVIATIONS

Table 1

OM	Overstrand Municipality
OMLUS	Overstrand Municipality Land Use Scheme, 2020
BY-LAW	Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020
PSDF	Western Cape Provincial Spatial Development Framework, 2014
LUPA	Western Cape Land Use Planning Act, 2014.
OMSDF	Overstrand Municipality Spatial Development Framework, 2020
B3	Business Zone 3: Local Business
GLA	Gross Leasable Area

2. PROPERTY DETAILS

Table 2

Erf Number	Erf 1013 Sandbaai
Extent	685m ²
Zoning	Residential Zone 1: Single Residential

Erf Number	Erf 1014 Sandbaai
Extent	696m ²
Zoning	Residential Zone 1: Single Residential

3. BACKGROUND AND INTENT

The subject properties, Erven 1013 & 1014 Sandbaai, occupies a distinctive location on the Main Road in Sandbaai, surrounded by a mix of business- and residential properties, refer to **Plan 1 - Locality Plan & Plan 3 – Status Quo Zoning Plan**.

The current owners of Erf 1013 Sandbaai obtained the property with the intent to use it for business and residential purposes. WRAP Project Office has been appointed to submit the land use application on behalf of the owners, refer to **Annexure A - Power of Attorney**.

Due to its favourable position and the owners' intended purpose, the owners of Erf 1013 Sandbaai approached the owners of Erf 1014 Sandbaai property to include their property into the proposal. This presents an excellent opportunity for redevelopment of a consolidated erf and create a hallmark development situated within the demarcated business node of Sandbaai. Therefore, the proposed rezoning aligns with the future development proposals envisioned by the OMSDF.

The owners are proposing demolishing the existing structures present on both sites to be able to accommodate the proposed development of a business space on the ground floor, together with parking while accommodating 20 flats above the ground floor. The proposal is restricted by a title deed condition limiting the properties' use to residential purposes only, which does not align with the intended use applied for. Therefore, the removal of these restrictive title deed conditions is necessary. To achieve the owners' intent, approval of the following two applications is required:



- Removal of restrictive title deed conditions;
- Consolidation of Erf 1013 & 1014, Sandbaai; and
- Rezoning the property from Residential Zone 1: Single Residential to Business Zone 3: Local Business.

4. PROCEDURE TO ACHIEVE THE DEVELOPERS' INTENT

WRAP compiled this report to ensure the owners' vision is achieved. The following is proposed:

4.1 Removal of restrictive title deed conditions to accommodate the future use.

ERF 1013 - SANDBAAI

Four title deed conditions currently prohibit the land use rights necessary for the proposed development on Erf 1013 Sandbaai, (T32156/2025). The rationale for removing these conditions is outlined below in **Tables 3, 4, 5** and **6**:

Table 3: Restrictive Title Deed Condition
Erf 1013, Sandbaai (T32156/2025)
Condition B(a) – <i>“The Company reserves to itself and its successors in title the sole right to all Hotels and liquor licenses and the Purchaser/s (Transferee/s) or his/their successors in title shall not have the right to erect any hotel or hold any liquor licenses, without the written consent of the Directors of the Company, or its successors in title, first had and obtained.”</i>

The aforementioned condition prevents the future owners or tenants to apply for a liquor license on the proposed business property. It is important to note that the property is located within a designated business node, making this condition inconsistent with the area's future development framework.

Table 4: Restrictive Title Deed Condition
Erf 1013, Sandbaai (T32156/2025)
Condition C(a) – <i>“That the above erf or erven be used for residential purposes only.”</i>

The aforementioned condition prevents the approval of the proposed rezoning. It is important to note that the property is located within a designated business node, making this condition inconsistent with the area's future development framework.

Table 5: Restrictive Title Deed Condition
Erf 1013, Sandbaai (T32156/2025)
Condition C(c) – <i>“That not more than one dwelling together with the necessary outbuildings and accessories be erected on any one of the above erven and that no more than one-half the area of any one of the above erven be built upon.”</i>

Table 6: Restrictive Title Deed Condition

Erf 1013, Sandbaai (T32156/2025)

Condition C(d) – “That no building shall be erected on the above erf or erven within four comma seven two metres (4,72) of any boundary line between the said erf or erven and any street, road or avenue on which such erf or erven abuts; such space may be used as gardens but shall not be built upon.”

The owners will be using the front portion of the property for more than gardening, which requires the removal of the restrictive title deed condition. The rationale for the removal of the restrictive title deed conditions is to enable the owners to achieve their intent highlighted in Section 3 of this report. The reasoning for the removal of these restrictive title deed conditions will be discussed in detail below.

ERF 1014 - SANDBAAI

Four title deed conditions currently prohibit the land use rights necessary for the proposed development on Erf 1014 Sandbaai, (T32553/2020). The rationale for removing these conditions is outlined below in **Tables 7, 8, 9 and 10**:

Table 7: Restrictive Title Deed Condition

Erf 1014, Sandbaai (T32553/2020)

Condition B(a) – “Die Maatskappy behou vir homself en sy opvolgers in regte die alleenreg tot alle hotelle en dranklisensies, en die Transportnemer of sy opvolgers in regte sal die reg hê om enige hotel op te rig of om enige dranklisensie te besit, sonder om eers die skriftelike toestemming van die Direkteure van die maatskappy of sy opvolgers in regte, te verkry.”

The aforementioned condition prevents the future owners or tenants to apply for a liquor license on the proposed business property. It is important to note that the property is located within a designated business node, making this condition inconsistent with the area's future development framework.

Table 8: Restrictive Title Deed Condition

Erf 1014, Sandbaai (T32553/2020)

Condition C(a) – “That the above erf or erven be used for residential purposes only.”

The aforementioned condition prevents the approval of the proposed rezoning. It is important to note that the property is located within a designated business node, making this condition inconsistent with the area's future development framework.

Table 9: Restrictive Title Deed Condition

Erf 1014, Sandbaai (T32553/2020)

Condition C(c) – “That not more than one dwelling together with the necessary outbuildings and accessories be erected on any one of the above erven and that no more than one-half the area of any one of the above erven be built upon.”

Table 10: Restrictive Title Deed Condition

Erf 1014, Sandbaai (T32553/2020)

Condition C(d) – “That no building shall be erected on the above erf or erven within four comma seven two metres (4,72) of any boundary line between the said erf or erven and any street, road or avenue on which such erf or erven abuts; such space may be used as gardens but shall not be built upon.”

The owners will be using the front portion of the property for more than gardening, which requires the removal of the restrictive title deed condition. The rationale for the removal of the restrictive title deed conditions is to enable the owners to achieve their intent highlighted in Section 3 of this report. The reasoning for the removal of these restrictive title deed conditions will be discussed in detail below.

The rationale for the proposed removal

The subject properties were used for residential purposes of a single-family. The properties will see a shift in owners' intent towards a scale and nature of use that exceeds current zoning regulations. The sought-after business use accompanied with flats above ground floor is incongruent with the existing condition, necessitating its removal.

The proposed business use accompanied with flats above ground floor exceeds the parameters permitted by the current zoning regulations for the subject properties. Consequently, it contradicts the existing conditions outlined in the title deed. Therefore, to align with the intended business (and residential) activity and the evolving nature of the use, it is necessary to remove these restrictive conditions.

Furthermore, the latter part of the conditions C(d) stipulates that no more than half of the area of any given erf may be built upon. The zoning regulations outlined in the OMLUS however permits a coverage of up to 75% for properties zoned as B3. Therefore, adherence to this condition would impede any future development on the property that conforms to the zoning guidelines. Hence, the removal of these conditions is imperative to enable future development in accordance with the permissible coverage set by the zoning regulations of the Overstrand Municipality.

Title deed conditions background

These title deed conditions were initially aimed to preserve the residential character of Sandbaai for residential purposes of a single-family. These title deed conditions were formulated in a period of low population growth and to maintain a low-density residential environment. The cap on residential use for a single-family was intended to protect this character.

Current development trend

The current trend in Sandbaai, as depicted in **Plan 3**, portrays a shift towards mixed-use development, particularly in the central area (Main Road) designated as a development node. This evolving land use trend accommodates businesses along Main Road, subject to appropriate land use approvals. The once-relevant residential-only condition, conceived in 1957, is now in conflict with the contemporary reality of Sandbaai's dynamic blend of residential and business uses, rendering it outdated.



In terms of the requirements of LUPA, the following needs to be addressed in terms of Section 39(5)(a-f) as outlined in *Table 11* below:

Table 11: LUPA, Section 39(5) (a-f)	
<i>(a) the financial or other value of the rights in terms of the restrictive condition enjoyed by a person or entity, irrespective of whether these rights are personal or vest in the person as the owner of a dominant tenement;</i>	No person or entity will be affected financially by the removal of these restrictive title deed conditions.
<i>(b) the personal benefits which accrue to the holder of rights in terms of the restrictive condition;</i>	No person is personally benefitting from this condition as this condition is only restricting the owners.
<i>(c) the personal benefits which will accrue to the person seeking the removal, suspension or amendment of the restrictive condition if it is removed, suspended or amended;</i>	The owners will be gaining from the removal of the restrictive conditions as it will allow them to rezone the property and establish a business space and flats from the property.
<i>(d) the social benefit of the restrictive condition remaining in place in its existing form; (e) the social benefit of the removal, suspension or amendment of the restrictive condition; and</i>	These restrictive conditions do not provide social benefits.
<i>(f) whether the removal, suspension or amendment of the restrictive condition will completely remove all rights enjoyed by the beneficiary or only some of those rights.</i>	There is no specific beneficiary of these conditions, and no person or entity will be affected if this is removed.

4.2 Consolidation of Erven 1013 and 1014 Sandbaai

The proposal entails the consolidation of the two properties to achieve the development intent. Consolidating the two properties will result in increased property value. By combining the subject properties, the owners will create a larger and more valuable piece of real estate.

The consolidation will also improve efficiency. Managing and maintaining a single consolidated property is simpler and more streamlined than dealing with two separate erven, despite the property already functioning as one. In addition, the owners stand to reduce expenses through consolidation. This includes savings on property rates, basic charges for utilities, which would otherwise apply to each property individually.

Finally, consolidation provides the owner with greater control over the combined property. This ensures that the property aligns with their vision and can be used in the most effective and cohesive manner possible. Overall, it is evident that consolidating the subject properties provides many benefits.

Table 12: Proposed Consolidation

Proposed Consolidation	
Erf 1013 Hermanus	685 m ²
Erf 1014 Hermanus	696 m ²
Consolidated Property	1381 m ²

4.3 Rezoning of the consolidated erf from Residential Zone 1: Single Residential to Business Zone 3: Local Business

The proposal seeks to rezone the consolidated property to a Business Zone in order to allow for a mixed-use development consisting of a business component on the ground floor and (20) twenty residential flats on the first floor. The proposed rezoning aligns with broader spatial development objectives, promotes land-use efficiency, and supports local economic growth within a primarily residential neighbourhood.

Under the proposed zoning, the property will benefit from both primary and consent use rights that permit a range of low-impact business activities. These rights will enable the owners to operate a business component on the ground floor while providing much-needed affordable residential flats above. For detailed plans of the proposal, refer to **Plan 5 – Site Development Plan** and **Annexure C – Proposed Architect Floor Layout Plans**.

The primary and consent uses permitted under Business Zone 3: Local Business will allow for flexible business operations in a manner that is contextually appropriate to the surrounding environment. Although the specific nature of the future business operations is not yet known, the OMLUS ensures that any proposed activity will be subject to the applicable land use and building regulations, which are designed to mitigate negative impacts on adjacent residential properties.

A key design consideration in this proposal is the careful separation of business and residential functions by proposing two separate access points to the property. The business space on the ground floor will be accessed from Main Road, which is a road more suited to accommodate potential customer or service vehicle traffic. In contrast, the residential flats on the first floor will have exclusive access via the existing entrance located in Jan van Riebeeck Crescent. This approach ensures functional efficiency and minimises potential traffic conflicts, enhancing the overall compatibility of the mixed-use development within the residential context. Refer to **Table 13** below for details regarding the proposed development.

<i>Table 13: Details of proposal</i>	
<u>Ground floor</u>	
Circulation space with stairs	To obtain access to flats above ground level
Commercial Space	For business purposes
3 x garages	For use by flats / commercial owners
Open-air refuse area / Service Yard	
<u>First floor</u>	
Circulation space (hallway)	To obtain access to flats
20 x 1-bedroom flats	Office space

Parking for the business and residential uses is located on the ground floor of the subject properties. The applicable parking requirements according to the OMLUS are outlined in **Table 14** (on the following page):

Table 14

Offices/shops/restaurants	Four bays per 100m ² Gross Leasable Area (GLA)
Flats	1,5 bays per 1 bedroom dwelling unit Two bays per two and more bedroom dwelling units

Taking the above into account, each 100m² of GLA of the business use requires 4 parking bays. The proposed GLA is approximately 200m² and therefore, 8 parking bays are required. The 20 flats are proposed to be twenty 1-bedroom flats which subsequently requires 30 parking bays. The proposal includes the provision of 38 parking bays, meeting the requirements as calculated above.

Mixed-use developments offer numerous benefits that enhance both the area and its community. Firstly, these developments create a vibrant and dynamic urban environment by integrating residential and business spaces within a single location. This diversity of land use encourages pedestrian activity, reduces dependence on private vehicles, and promotes a walkable, socially engaged neighbourhood. By fostering greater interaction among residents, workers, and visitors, mixed-use developments contribute to a sense of community and vitality, making the area more attractive and sustainable.

From an economic perspective, mixed-use developments can act as catalysts for local economic growth by attracting businesses, residents, and visitors. The inclusion of business spaces generates foot traffic that supports local businesses and creates job opportunities. This economic vitality benefits not only the immediate area but also has a ripple effect, positively influencing surrounding neighbourhoods and businesses. Additionally, mixed-use developments promote sustainability and environmental consciousness. By consolidating different activities within a single area, they reduce the need for long commutes, thus minimising traffic congestion and lowering carbon emissions.

From a social standpoint, mixed-use developments foster a strong sense of community and connectivity. The co-existence of residential and business spaces encourages daily interaction among residents, workers, and visitors, creating a diverse, vibrant, and inclusive environment that enhances the overall quality of life.

The integration of both business and residential uses on the property reflects a strategic, sustainable approach to land use. By optimising the development potential of the site without compromising the residential character of the area, the proposal contributes to the broader planning goals of promoting mixed-use development, encouraging local economic growth, and fostering a more compact urban form.

This proposal to rezone the subject properties, facilitates a balanced mix of business and residential functions while ensuring that the future development integrates harmoniously into the existing urban fabric of Sandbaai.

Design and Layout

The proposed development has been carefully designed to respond to the unique configuration of Erven 1013 and 1014 Sandbaai and to optimise the functional integration of residential and commercial land uses along Main Road. The consolidated site almost

forms a square, and the architectural layout has been purposefully arranged to use this geometry efficiently while achieving an orderly development pattern.

On the ground floor, the layout introduces a structured arrangement of commercial units along the Main Road interface. These commercial units have been positioned to reinforce active street frontage, enhance visual surveillance along the public realm, and provide a transition between the street and the residential components on the upper floors. The commercial units vary in size, offering a range of opportunities for smaller local businesses and contributing to a mixed-use environment aligned with contemporary urban development principles.

Parking areas are positioned behind the commercial frontage and along the internal circulation zone, ensuring that vehicular activity is contained within the site and does not detract from the Main Road streetscape. A total of 38 parking bays are strategically distributed across the site, including accessible bays, and are designed to allow safe manoeuvring and ease of movement. The placement of garages reduces visual clutter and maintains a clean, pedestrian-friendly edge along Main Road.

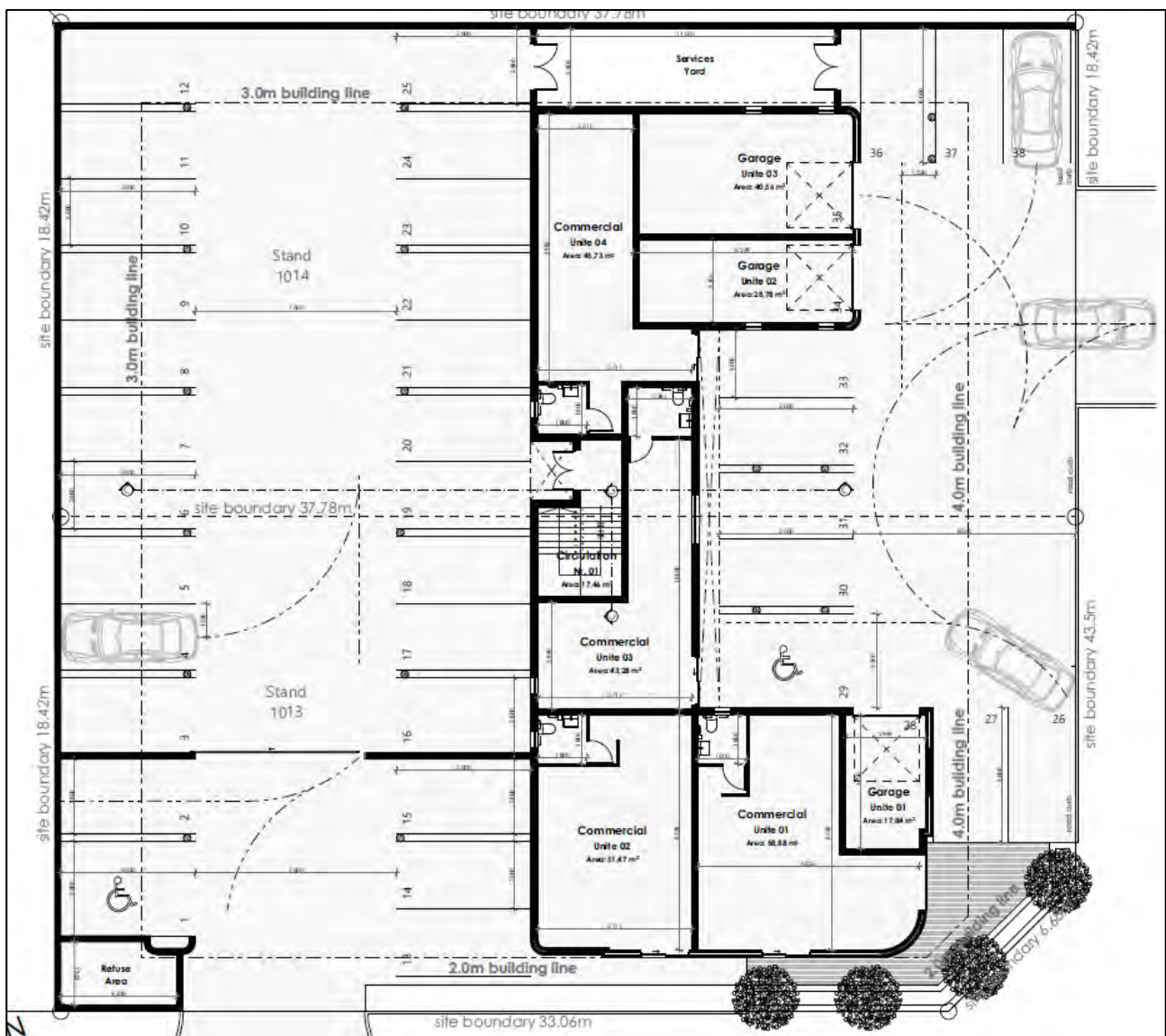


Figure 1: Ground Floor Layout



The circulation core, centrally located on the ground floor, ensures efficient access to vertical movement systems and provides logical connectivity to the upper residential floors. This positioning strengthens internal movement paths, limits unnecessary travel distances, and enhances overall safety for future residents.

The design incorporates generous setbacks in accordance with the applicable building lines. This results in a development footprint that respects adjoining properties and ensures adequate separation between buildings. The perimeter landscaping and retained open areas further soften the built form and contribute to a visually pleasing edge condition.

In terms of urban design, the ground-floor layout establishes a strong base for the residential storeys above. The clear distinction between private, semi-private, and public spaces ensures functional clarity and supports a well-structured mixed-use development. The building footprint remains proportionate to the site, enabling the upper floors to be developed without creating excessive bulk or overshadowing.

Overall, the design and layout demonstrate a considered response to site constraints, municipal requirements, and sound planning principles. The proposal supports efficient land use, reinforces the mixed-use character of the area, and introduces a high-quality built form that will enhance the Main Road corridor.

Density

The proposed density of approximately 145 units per hectare represents an efficient and appropriate use of well-located urban land and aligns with contemporary planning principles, national policy directives, and municipal objectives that promote compact, sustainable settlement patterns.

- Alignment with Spatial Efficiency and Densification Goals

Higher densities on infill sites reduce urban sprawl, optimise infrastructure usage, and make better use of existing public services and transport networks. The subject properties are situated along Main Road, a key corridor with existing capacity and direct access to amenities, and employment opportunities. Increasing density in such locations allows municipalities to accommodate growth without extending costly infrastructure into peripheral areas.

- Appropriate Response to Site Context

The site is strategically located within an urban environment characterised by a mix of commercial and residential uses. A higher density is therefore consistent with the existing development pattern and supports the transition between commercial activity along Main Road and surrounding residential areas. The proposed building form remains within acceptable bulk and scale limits, demonstrating that the density may be accommodated without creating visual or functional impacts on neighbouring properties.

- Design Measures that Mitigate Perceived Density Impacts

Although the numerical density calculation appears high due to the size of the site, the design carefully mitigates the typical concerns associated with higher density. The development incorporates vertical articulation, separate roof elements, and a varied façade treatment to avoid a monolithic appearance. Each unit has access to natural light,



ventilation, and private or semi-private outdoor spaces, demonstrating that higher density does not compromise residential amenity.

- Support for Mixed-Use Activity and Economic Vitality

Higher density residential development directly supports local commercial activity along Main Road by increasing the resident population within walking distance of shops and services. This promotes a walkable environment, reduces reliance on private vehicles, and contributes to a vibrant street character.

- Alignment with Municipal Strategic Planning

The municipal spatial development frameworks encourage densification along activity streets and established nodes. The proposal fulfils these policy directives by introducing additional housing stock in an appropriate urban setting where higher densities are desirable and sustainable.

The design, location, and mixed-use context of the property fully support a higher-density residential component, with no adverse impact on surrounding land uses or municipal infrastructure. The application is therefore considered consistent with sound spatial planning principles and municipal policy objectives, and the higher density is both reasonable and desirable.

From an economic perspective, higher residential yields enable development costs such as land acquisition, professional fees, infrastructure contributions, and construction costs to be distributed across a greater number of units. This results in a lower per-unit cost, which can be translated into more affordable selling prices or rental rates. Without the increased development rights afforded by the proposed rezoning, the development would be limited to fewer, larger units, which are typically less accessible to lower- and middle-income households.

5. LAND USE ENVIRONMENT

The surrounding area of the subject properties may be considered as a mixed-use area as depicted in **Plan 3 - Status Quo Zoning Plan**, showcasing various types of land uses coexisting within the area where the subject properties are situated. This indicates that the proposal for a B3 zoning within the area would align with the existing character, considering that the subject properties are situated within the Sandbaai Development node as outlined in the MSDF. For a detailed in-depth review of how the application aligns with regulating policies, refer to Section 9 of this report.

6. ZONING

The proposal requires the zoning to be Business Zone 3: Local Business. Therefore, the proposal was designed in conjunction with the zoning parameters of the B3 zoning as outlined within the OMLUS as this is a relevant consideration in terms of Section 66 (1) (a) of the OM By-Law:



Table 15: BUSINESS ZONE 3: LOCAL BUSINESS (B3)

Land Use Restrictions			
	Parameters	Proposal	Comply/ deviate
Primary use	Shops , Dwelling Unit (above ground floor) in accordance with 6.3.2, Flats (above ground floor) , Offices , Restaurant , Caretaker's Accommodation and Self-Catering.	Business space (shops/ restaurant/ offices) & Flats (above ground floor)	Applied for and motivated
Consent uses which may be applied for	Bottle Store, Business Premises, Clinic, Conference Facility, Dwelling Unit (on ground floor) in accordance with 6.3.2, Flats (On Ground Floor), Town Housing in accordance with 6.3.2, Tourist Accommodation, Hotel, Institution, Place of Assembly, Place of Entertainment, Place of Instruction, Place of Worship, Recreational Facilities, Residential Building, Sale of Alcoholic Beverages, Service Station, Service Trade and Transmission Apparatus (subject to the provisions of chapter 16.10).	N/A	N/A
Coverage	The maximum coverage for all buildings on the land unit is 75% .	±63.94%	Comply
Floor Factor	The maximum floor factor is 1.5.	± 0,85	Comply
Height	i. The maximum height of a building, measured from the base level to the top of the structure, is 8,5 m. ii. The maximum number of storeys is 2.	i. Comply ii. 2 Storey	Comply
Setback	i. The Municipality may require that all buildings and structures on the property are set back at least 6,5 m from the centre line of the street. ii. Where special circumstances exist, the Municipality may require a greater setback.	i. The proposed structure is set back at ±5,7m from the centre line of Jan van Riebeeck Crescent and ±17,4m from the centre line of Main Road. ii. This is noted.	Comply
Building Lines	i. The street building line is 0m, provided that a 5,0m	i. No fuel pumps are proposed.	Comply



MOTIVATION

	building line applies where fuel pumps are erected; ii. The side building line is 0 m, provided that where any Business Zone 3 abuts another zone, the side building line is 3,0m; iii. The rear building line is 3,0 m, provided that where any Business Zone 3 abuts another zone, the rear building line is 3,0m; and iv. Provided that the Municipality may require more restrictive building lines in the interests of public health or safety or the environment or in order to enforce any applicable law or right.	ii. Comply iii. Comply iv. Noted	
Window and door placement	Where a 0 m building line applies and where a wall of a building is erected 1,0 m or less from the side or rear building line, no door or window shall be permitted in the wall concerned. Any portion of the building which contains a door or window onto a side or rear boundary shall be at least 1,5 m away from such boundary.	Noted.	Comply
Parking and access	According to Section 17.1 of the OMLUS: <u>Office/shops/restaurant:</u> Four bays per 100m² GLA are required. <u>Flats</u> 1,5 bays per 1 bedroom dwelling unit & 2 bays per two and more bedroom dwelling units	<u>Office/shops/restaurant:</u> GLA = ±200m² 2 x 4 = 8 parking bays <u>Flats</u> 20 x 1-bedroom flats = 30 parking bays 38 Parking bays required 38 Parking bays provided	Comply
Loading Bays	The minimum off-street loading must be provided to the satisfaction of the Engineering Department.	Noted.	Comply

7. SERVICES

The availability of services is a relevant consideration in terms of Section 42(1)(c)(v) of SPLUMA and is herewith illustrated.

7.1 Electricity, Water and Solid Waste

The subject properties are connected to the existing municipal service networks, including electricity, water and sewerage. The proposed development is not anticipated to have a material impact on the capacity of these existing services. The application will be circulated to the Overstrand Municipality's Engineering Department and any additional requirements or information requested will be addressed accordingly. It is further noted that any bulk service contributions required as a result of the 20 additional flats will be payable by the owners.

7.2 Access, egress, and parking

Vehicular access and egress to the subject properties are currently gained from the Main Road and Jan van Riebeek Crescent. The proposal is to keep the two existing access points, in order to split the residential access from the business access. Therefore, the proposal is for the business space to obtain access via Main Road, while the occupants of the proposed flats obtain access via the existing entrance on Jan van Riebeek Crescent. The access on Main Road was set back as far as possible away from the intersection to accommodate adequate sight lines.

8. NEED AND DESIRABILITY

The need and desirability of the approval and implementation of this proposal in accordance with Section 66 (1) (c) of the OM By-Law is outlined in **Table 16** below:

Table 16

Socio-economic impact	The proposal will enable the development of a mixed-use building that contributes positively to the local economy by creating opportunities for small-scale business activity and providing additional housing options within an established neighbourhood. The inclusion of twenty residential flats addresses the growing demand for well-located housing, while the business component promotes local entrepreneurship and job creation. This combination enhances land-use efficiency, supports economic diversification, and contributes to a more vibrant, sustainable urban environment in Sandbaai.
Compatibility with surrounding uses	The proposal is deemed to be consistent with the character of the surrounding area as illustrated in Plan 4 - Proposed Zoning Plan . The proposal is compatible with the surrounding land uses, which comprise a mix of residential and commercial activities typical of a Main Road environment. The development reinforces the existing urban character by introducing a scale and form that aligns with surrounding buildings. The mixed-use nature of the proposal ensures an appropriate transition between commercial frontage and residential accommodation, thereby strengthening the functional integration of land uses along the street.



MOTIVATION

Impact on the external engineering services	Refer to Section 7 of this report. The Overstrand Municipality's Engineering Department will review the application to ensure that service capacities are adequate.
Impact on safety, health and wellbeing of the surrounding community	The design promotes safety and wellbeing through active street frontage, clear internal circulation, and passive surveillance. Increased residential presence along Main Road is likely to enhance safety through natural oversight. Adequate lighting, controlled access points, and clear separation between vehicular and pedestrian movement further support a safe environment. The development does not introduce activities that would generate noise, pollution, or health risks beyond what is typical of an urban residential setting.
Impact on heritage	The properties are not listed in the OM Heritage Register. No heritage resources or structures of cultural or historical significance have been identified on the subject properties. The proposed development does not involve the demolition or alteration of any heritage structures and will not negatively impact the heritage character of the surrounding area. The architectural design is contemporary yet respectful of the existing urban context.
Impact on the biophysical environment	The development is located within an existing urban area and does not involve sensitive environmental features, natural habitats, or protected vegetation. No significant alteration to the natural environment is proposed. The limited site coverage, provision of landscaped areas, and incorporation of sustainable design principles ensure that the biophysical impact of the development remains minimal.
Traffic impacts, parking, access and other transport related considerations	The subject properties are well located along Main Road, which is supported by existing road infrastructure and. Traffic generated by the proposed development is not expected to materially impact the surrounding road network. Adequate on-site parking is provided in accordance with the applicable zoning scheme requirements, and vehicular access has been designed to ensure safe ingress and egress. The location further encourages walking reducing reliance on private vehicles.

Impact on views, sunlight and character of the area

The proposed two-storey building is in keeping with the permissible height and development parameters of Business Zone 3: Local Business and will not significantly obstruct views or access to sunlight for surrounding properties. The current zoning of SR1 also allows a two-storey building and therefore, the proposal is not out of character with the surrounding area. However, the design will be sensitively integrated into the streetscape, ensuring minimal visual intrusion. As properties along Main Road in Sandbaai is experiencing gradual diversification of land uses, the proposed mixed-use development is compatible with the evolving character of the area and will contribute to a more active and integrated neighbourhood.



Economic impact

The proposed development will have a positive economic impact by unlocking the property's full development potential. It will create opportunities for local business activity on the ground floor, potentially generating employment and supporting entrepreneurship. Additionally, the construction phase will contribute to the local economy through job creation and service procurement. The new residential units will also increase the property rates base, supporting municipal revenue and service delivery.

Opportunity cost

An opportunity cost in the context of land use planning refers to a development proposal that leads to the devaluation or forgoing valued land use rights of interested and affected parties when an application is approved. The proposed use of the subject properties are not predicted to adversely affect the surrounding area as the use proposed is not a use that emanates a lot of noise or any noxious trades.

Environmental impact

No listed activities in terms of the National Environmental Management Act are triggered by this proposal.

9. POLICIES AND REGULATIONS

9.1 Overstrand Municipality Environmental Protection Overlay Zone (EMOZ)

The subject properties are not located within the EMOZ.

9.2 Overstrand Municipality Heritage Protection Overlay Zone (HPOZ)

The subject properties are not located within the HPOZ.

9.3 Spatial Planning Policies

The consistency and inconsistency of this proposal with the applicable spatial development policies will herewith be illustrated. The spatial policies which are pertinent to the submitted proposal are the following:

PSDF

The PSDF (Provincial Spatial Development Framework) is the result of a collaborative effort between various provincial departments, government entities, the private sector, academia, and non-governmental organisations, all guided by an inter-departmental steering committee. This broad participatory process has fostered a shared spatial vision that aims to guide spatial development patterns across both urban and rural areas of the province.

Economic development is a key focus throughout the PSDF, recognised as essential for ensuring the provincial economy has a significant impact on the national economy. The ongoing growth of the provincial economy highlights the need to stimulate economic activity at lower levels of government. This application, which seeks to allow business use accompanied by residential use, aligns with the broader vision to add value to the Sandbaai area, thereby positively impacting the Overstrand Municipality. In this context, the application is consistent with the PSDF's emphasis on promoting economic activity, contributing to the region's development goals.

MSDF

The MSDF's purpose is to ensure compliance with national, provincial and district legislation policies and principles. The MSDF aims to provide sufficient guidance regarding what constitutes appropriate spatial development land uses and direction within the urban edge. The MSDF was drafted after considering input from other state departments and the public and provides a shared spatial vision which the development proposal should ideally attempt to synchronise with.

To ensure compliance with the principles and objectives set out by the PSDF and the National Development Plan, the MSDF was synthesised through the influence of these policies and frameworks. Ensuring economic development take place in the OM would ensure sustainable growth of the municipal area. The area where the subject properties are located, falls within a Business/Community Node (N4) as identified within the MSDF's 2050 Vision: Greater Hermanus (West). It states that business uses, commercial, retail and offices should be concentrated within demarcated business areas as far as possible. Refer to *Figure 2* below for a visual illustration of the business/community node and a visual representation where the subject property is located. The subject properties are located within the demarcated business area and the proposed rezoning is therefore in line with the future development proposals envisioned for the area within the MSDF.



Figure 2: Business/Community Node (N4)

Overstrand Municipal Growth Management Strategy, 2010

Although the Overstrand Municipal Growth Management Strategy (OMGMS), 2010, has been repealed, it continues to be utilised by the municipality as a guideline document when assessing development proposals. The subject property is located within Planning Unit 7, as illustrated in Figure 3.

The property falls within an area identified for "Economic Opportunity (Local)", which supports the principle of more intensive and efficient land use. This designation aligns with the proposed rezoning of the property and supports the introduction of higher-density development within a well-located and accessible urban environment.

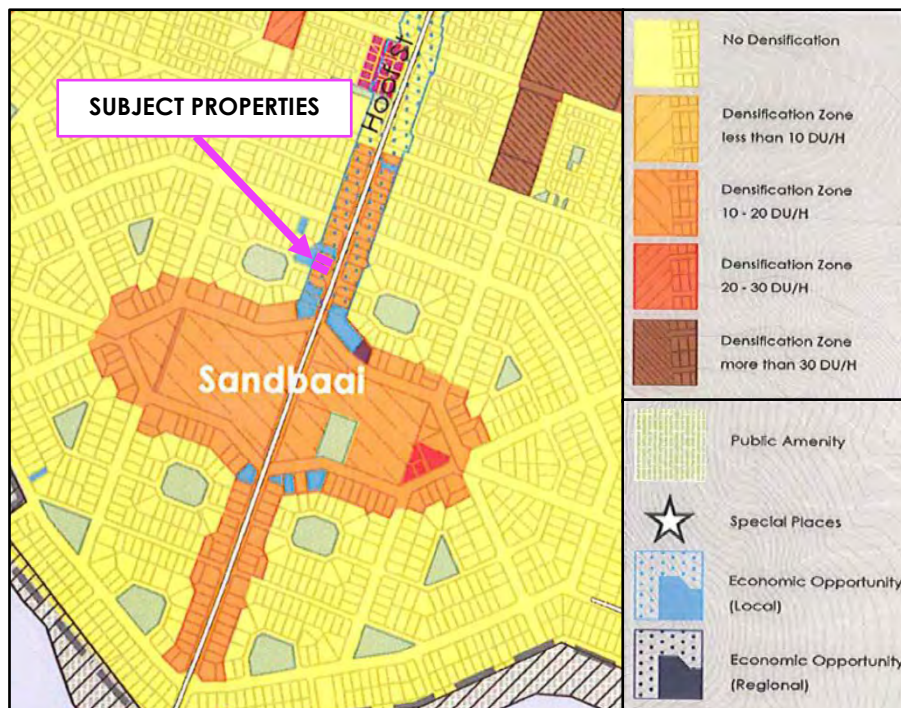


Figure 3: Extract of the OMGMS

Density

The proposed density is assessed in relation to both the guideline density parameters contained in the OMGMS and the existing development fabric of the surrounding area.

The proposal consists of **20 flats on a consolidated property measuring 1 381 m²**, resulting in a density of approximately **144.8 dwelling units per hectare**. According to Figure 3, the subject property is located within a density zone of **10-20 dwelling units per hectare**. However, given that the OMGMS has been repealed, it is necessary to place greater emphasis on the actual, existing development pattern within the immediate surrounding area.

To this end, Table 17 below summarises the densities of surrounding developments located within the same density zone and planning unit as the subject property. The locations of these properties are illustrated in Figure 3.

Table 17: Density of surrounding properties within the same density zone

Map no.	Properties (allotment: Sandbaai)	Extent	No. of Units	Units per hectare
1	Erf 1739 (Watsonia Park)	3065m ²	38	124
2	Erf 283 (Driftwood Court)	1031m ²	10	97
3	Erf 426 (Magpies)	1266m ²	9	71
4	Erf 1570 (new development)	831m ²	14	168

Table 18: Density of proposal;

Properties	Extent	No. of Units	Units per hectare
Erf 1013 & 1014 Sandbaai	1381m ²	20	144,8

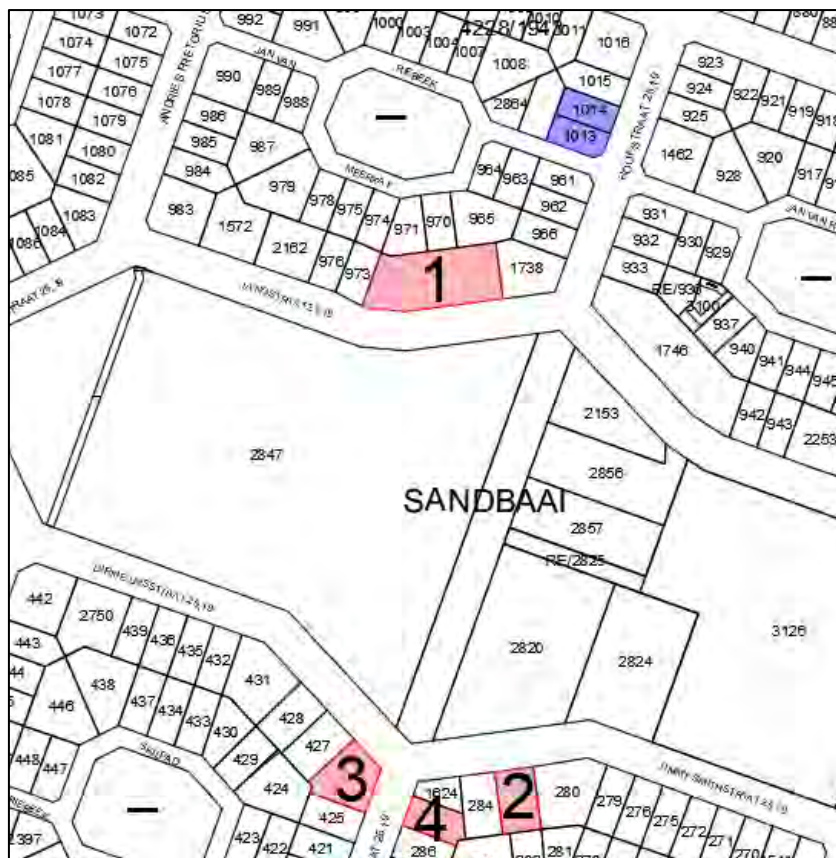


Figure 4: Location of properties in Table 17 in red, subject properties in blue

From the information contained in Tables 11 and 12, and as illustrated in Figure 4, it is evident that the proposed density of approximately 145 units per hectare is not out of character with the existing development pattern within the area. Surrounding developments already achieve densities ranging from 71 to 168 dwelling units per hectare, with several exceeding the density proposed on the subject properties.

The proposed density is therefore consistent with the established urban fabric and reflects an incremental intensification rather than an abrupt or inappropriate increase in development intensity. Importantly, the proposal is located along a main activity route, where higher densities are generally encouraged in order to optimise accessibility, and reinforce economic activity.

Furthermore, the density is achieved through a well-considered architectural design that mitigates potential impacts typically associated with higher-density development. The building form is articulated, the coverage remains well below the permissible maximum, and adequate provision is made for open space, parking, and internal circulation. As such, the increased density does not translate into excessive bulk or loss of amenity.

In addition, higher-density residential development in well-located areas supports broader spatial planning objectives, including efficient land use, reduced pressure for outward urban expansion, and improved sustainability of municipal services and infrastructure.

Although the calculated density exceeds the guideline range previously indicated in the OMGMS, the proposal is supported by the prevailing development context, sound planning principles, and the strategic location of the site. The proposed density is consistent with



surrounding developments, appropriate for a main road environment, and can be accommodated without adverse impacts. The higher density is therefore considered reasonable, justified, and desirable, and should be supported.

10. PLANNING PRINCIPLES

Chapter 2 of SPLUMA contains 5 uncompromisable planning principles by which each development application must be guided. Policy proposals in SPLUMA which are pertinent to this proposal are recorded below:

Spatial justice

The proposal supports the principle of spatial justice by promoting equitable access to well-located urban land. The subject properties are situated along a main road, within close proximity to public transport routes, employment opportunities, and commercial services. The introduction of additional residential units in this location enables a broader range of households to access these opportunities without being displaced to peripheral areas.

By increasing residential density within an established urban area, the proposal contributes to redressing historic patterns of inefficient land use and supports more inclusive settlement patterns. The development does not exclude surrounding communities and integrates seamlessly with the existing urban fabric.

Spatial sustainability and Efficiency

The proposed development promotes spatial sustainability and efficiency through the intensification of land use on a consolidated urban site that is already serviced by existing infrastructure. The proposal limits urban sprawl by accommodating growth within the current urban footprint, thereby reducing pressure on environmentally sensitive and peripheral land.

The efficient use of land and infrastructure aligns with sustainable development objectives by maximising the return on existing municipal investment in engineering services, transport infrastructure, and public amenities. The compact development form also reduces travel distances, supports non-motorised transport, and encourages the use of public transport.

Spatial resilience

The proposal enhances spatial resilience by introducing a flexible and adaptable built form capable of responding to changing socio-economic conditions. The mix of residential units, combined with ground-floor commercial activity, strengthens the long-term viability of the site and supports economic resilience along the Main Road corridor.

Increased residential density contributes to a more active and populated urban environment, which improves safety, supports local businesses, and ensures the sustainable use of infrastructure over time. The design allows the site to remain functional and relevant as urban needs evolve.

Good administration

The OM has a reputation for conducting effective public participation as part of its land use planning process. This process is an essential component of land use planning, as it allows people who may be affected by the development to provide feedback and raise any concerns or suggestions for improvement. This ensures that the development is in line with the needs and desires of the community.



MOTIVATION

All comments and feedback received during the public participation process will be carefully reviewed and considered by the relevant authorities. Any issues or concerns raised will be addressed, and suggestions for improvement will be considered where possible. This approach ensures that the final outcome benefits both the community and the developers.



CONCLUSION AND RECOMMENDATION

11. CONCLUSION

The owners have appointed WRAP Project Office to assist with the proposed application to allow the "highest and best use" of the properties, in accordance with the relevant policies, legislation, and development parameters of the proposed zoning.

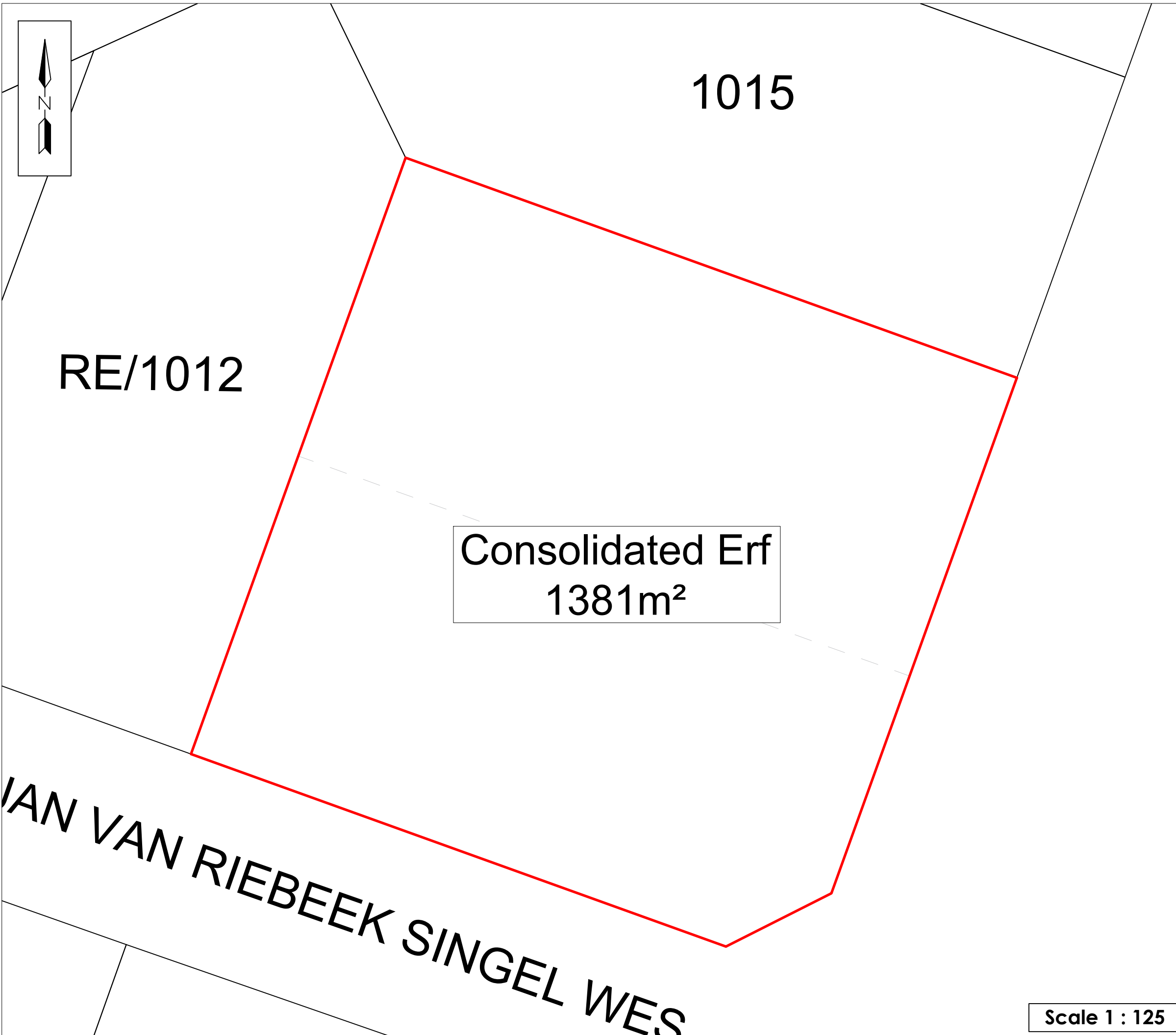
In accordance with the OMSDF, the area is identified as a business node that intends to accommodate smaller, localized businesses, which aligns with the purpose of this proposal. Additionally, the proposed land use is in keeping with the surrounding area as it also comprises of a residential component (flats) and is not considered undesirable. The development aims to preserve the character of the area and is not expected to obstruct views or sunlight.

In conclusion, the proposed development is a feasible option that aligns with the policies and legislation of the Overstrand Municipality. The owners have taken the necessary steps to ensure the proposal is planned and executed sustainably, and it is anticipated that the proposal will make a positive contribution to the local economy.

12. RECOMMENDATION

Based on the motivation, it is recommended that the following be approved:

- 12.1** Removal of restrictive title deed conditions to accommodate the proposed rezoning in terms of section 16(2)(f) of the Overstrand Amendment By-Law on Municipal Land Use Planning, 2020;
- 12.2** Consolidation of Erven 1013 and 1014 Sandbaai in terms of section 16(2)(e) of the Overstrand Amendment By-Law on Municipal Land Use Planning, 2020; and
- 12.3** Rezoning of consolidated erf from Residential Zone 1: Single Residential To Business Zone 3: Local Business in terms of section 16(2)(a) of the Overstrand Amendment By-Law on Municipal Land Use Planning, 2020.



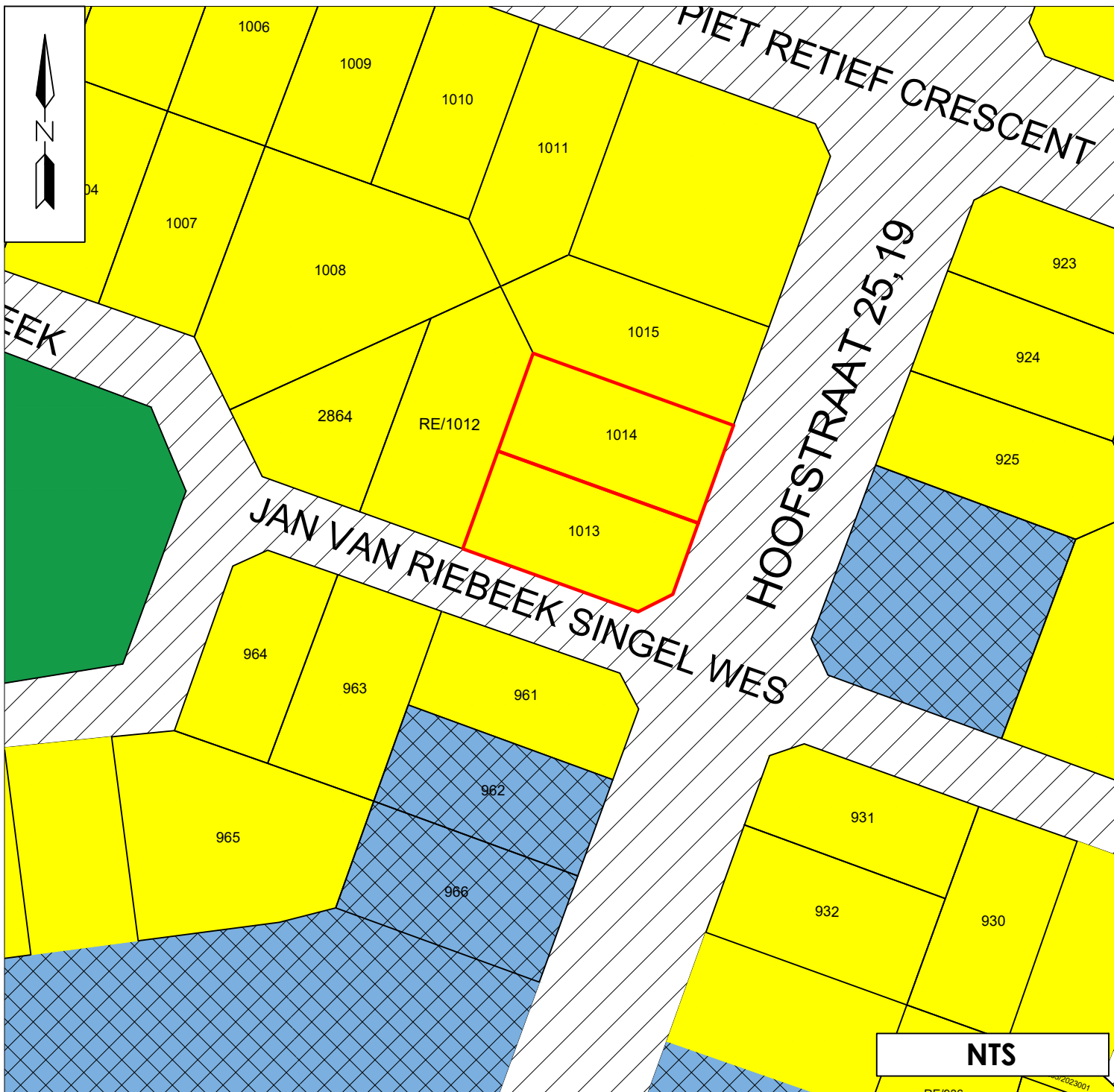
Plan 4 - Proposed Consolidation Plan
Erf 1013 & 1014 - Sandbaai

Plan prepared by: Thian Jansen on 06/11/2025
All distances are approximate and subject to a survey
Tel: 028 313 1411
Email: admin@wrapgroup.co.za
Office 3, Oakwood, 10 Dirkie Uys Street Hermanus, 7200



Project Office
Town Planning & Project Management

Scale 1 : 125



Plan 3 - Status Quo Zoning Plan Erven 1013 & 1014 Sandbaai



Residential Zone 1: Single Residential



Business Zone 3: Local Business



Open Space Zone 2: Public Open Space



Transport Zone 2: Road and Parking (Public)

Plan prepared by: Thain Jansen

All distances are approximate
and subject to a survey

Tel: 028 313 1411

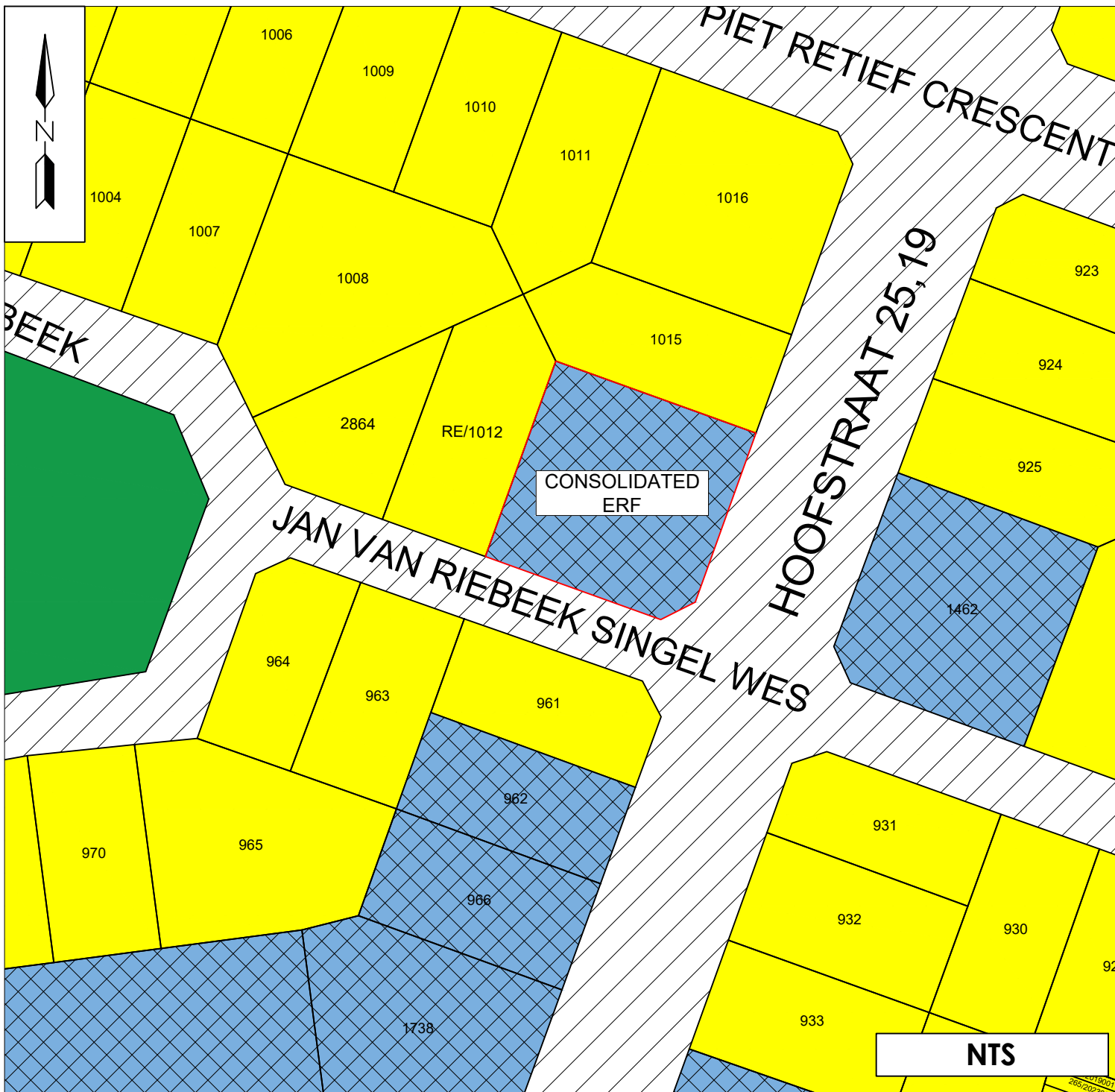
Email: admin@wrapgroup.co.za

Office 3, Oakwood, 10 Dirkie
Uys Street Hermanus, 7200



Project Office
Town Planning & Project Management

NTS



Plan 5 - Proposed Zoning Plan Erven 1013 & 1014 Sandbaai



Residential Zone 1: Single Residential



Business Zone 3: Local Business



Open Space Zone 2: Public Open Space



Transport Zone 2: Road and Parking (Public)

Plan prepared by: Thain Jansen

All distances are approximate
and subject to a survey

Tel: 028 313 1411

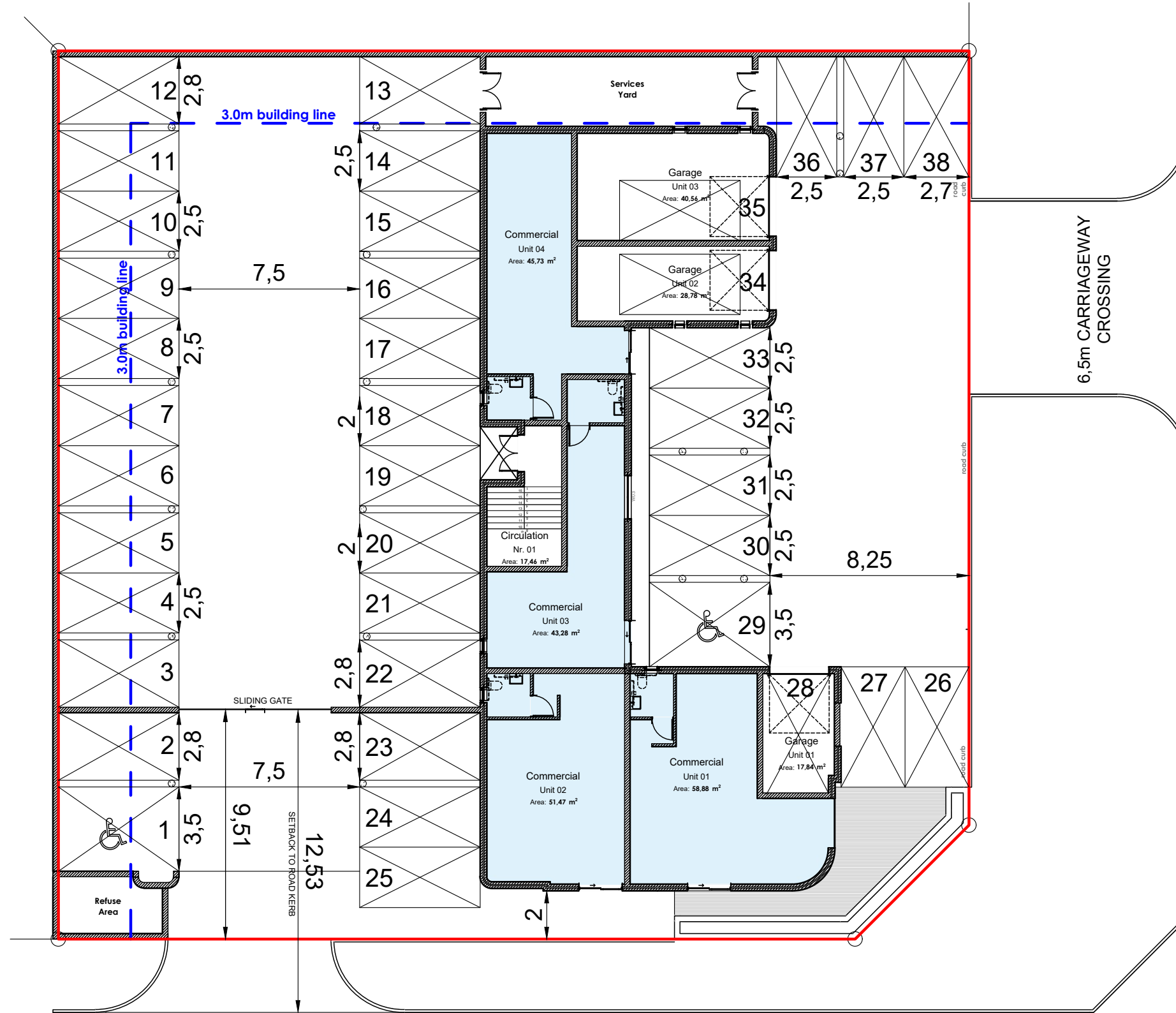
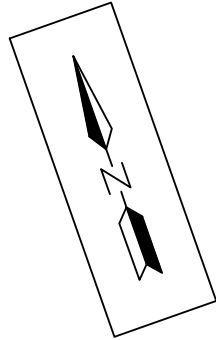
Email: admin@wrapgroup.co.za

Office 3, Oakwood, 10 Dirkie
Uys Street Hermanus, 7200



Project Office
Town Planning & Project Management

NTS



GROUND FLOOR

Scale 1 : 200

Plan 6:
Site Development Plan
Erven 1013 & 1014 -
Sandbaai

Parking

Commercial
GLA = $\pm 200\text{m}^2$
8 Parking Bays Required

Residential
Proposed 20 x
1-Bedroom Flats

1.5 Parking Bays per 1
Bedroom

30 Parking Bays Required
38 Parking Bays Provided

Plan number: 24.138 (V1)

Plan prepared by: Thian Jansen

All distances are approximate
and subject to a survey

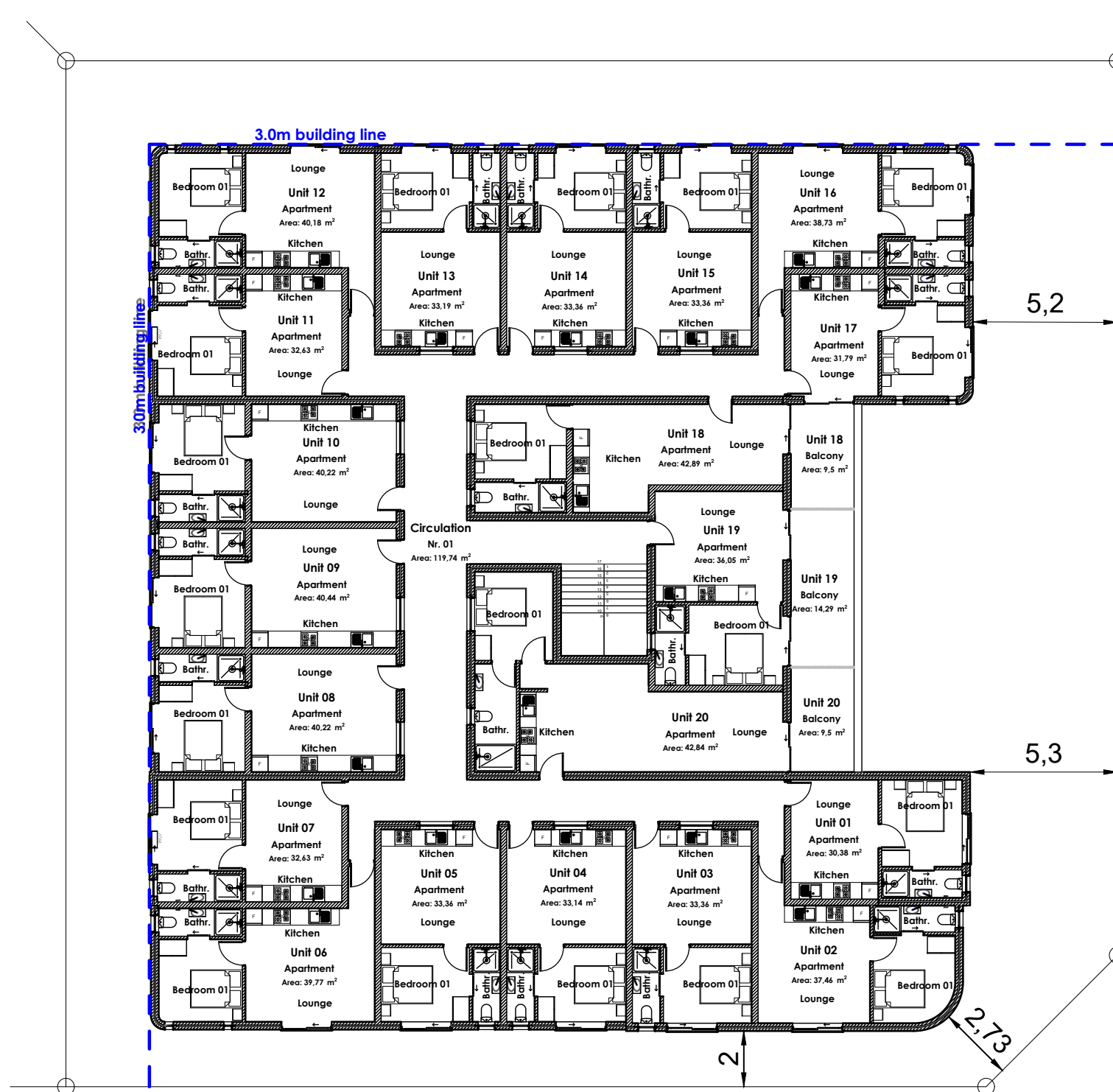
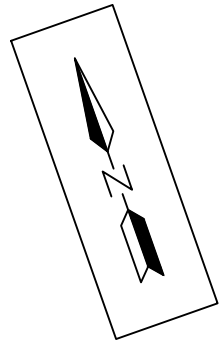
Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Office 3, Oakwood, 10 Dirkie
Uys Street Hermanus, 7200



Project Office
Town Planning & Project Management



FIRST FLOOR

Scale 1 : 200

Plan 6:
Site Development Plan
Erven 1013 & 1014 -
Sandbaai

Parking

Commercial
GLA = $\pm 200\text{m}^2$
8 Parking Bays Required

Residential
Proposed 20 x
1-Bedroom Flats

1.5 Parking Bays per 1
Bedroom

30 Parking Bays Required

38 Parking Bays Provided

Plan number: 24.138 (V1)

Plan prepared by: Thian Jansen

All distances are approximate
and subject to a survey

Tel: 028 313 1411

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Uys Street Hermanus, 7200



Project Office
Town Planning & Project Management



79 Main Road | 3D - Render

Friday, April 17, 2026

FINLAYSON
VAN DER MERWE
ARCHITECTS



79 Main Road | 3D - Render

Friday, April 17, 2026

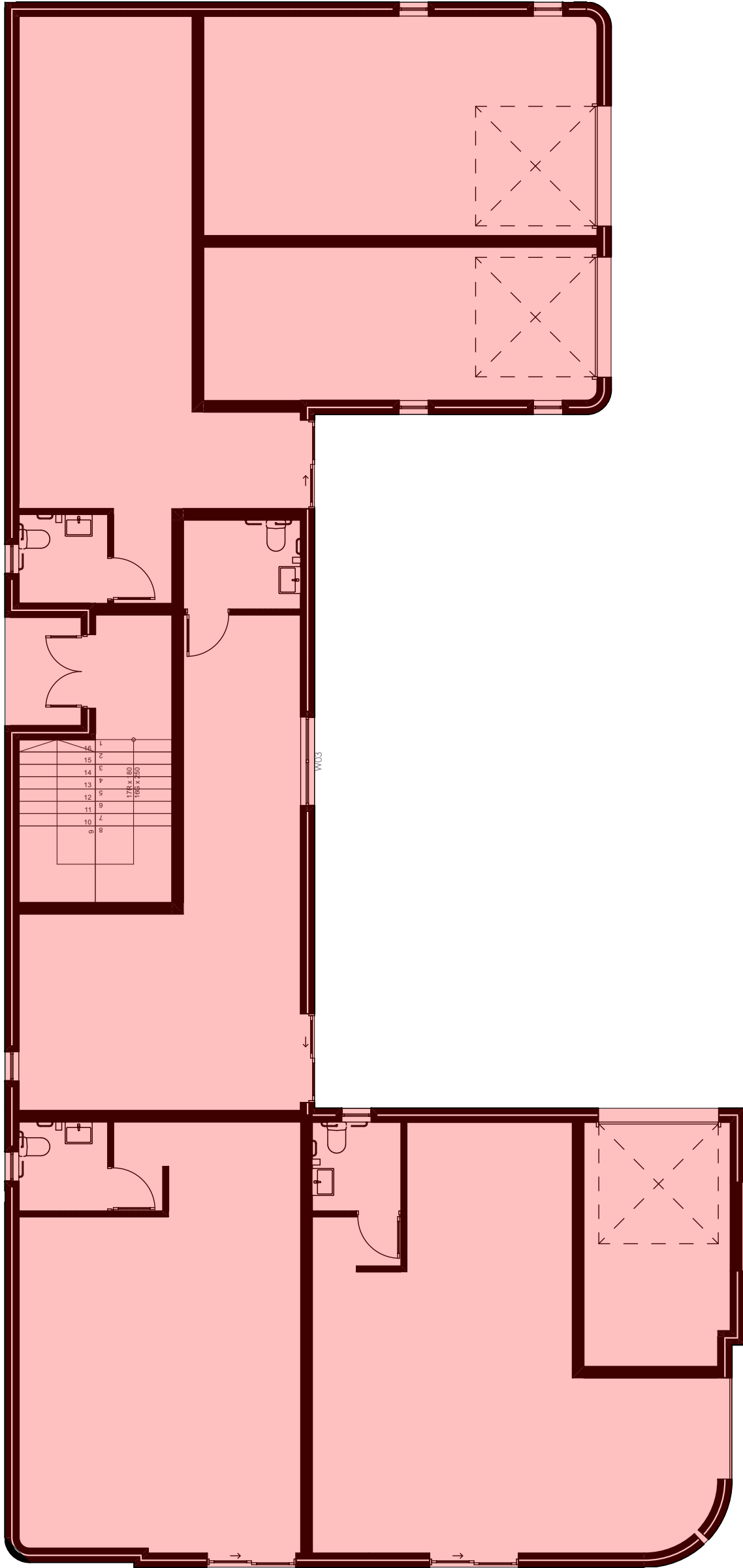
FINLAYSON
VAN DER MERWE
ARCHITECTS



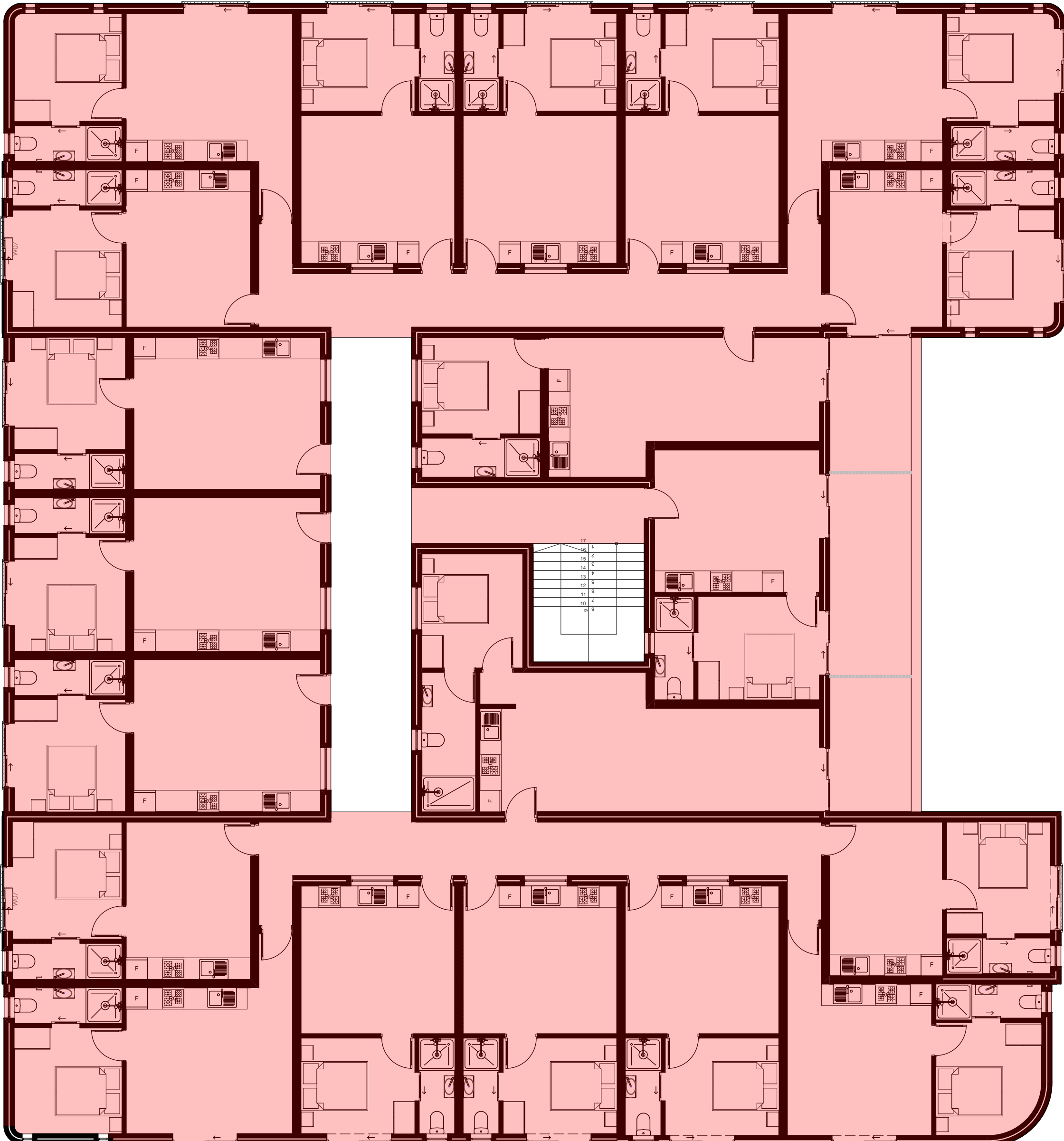
79 Main Road | 3D - Render

Friday, April 17, 2026

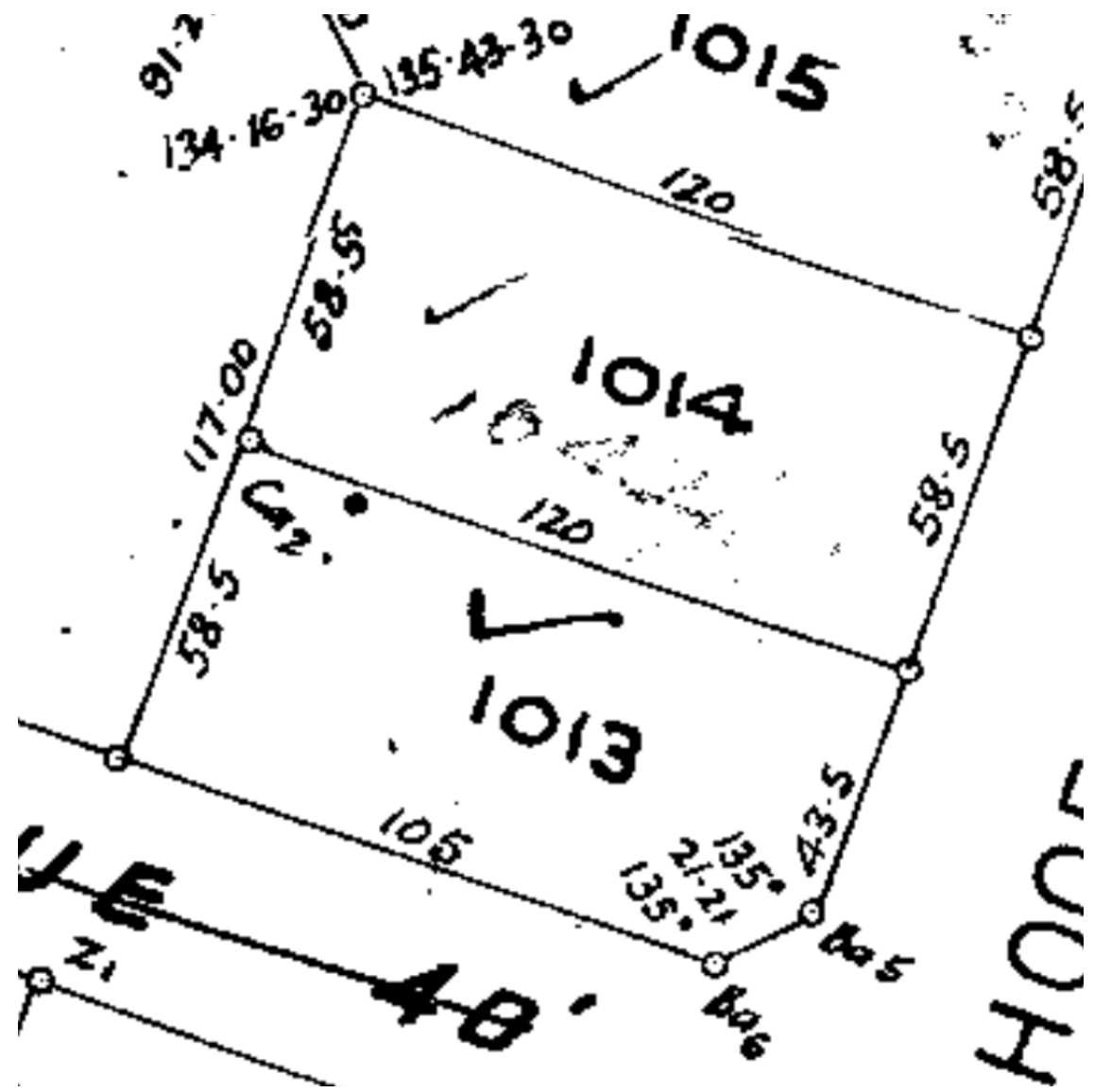
FINLAYSON
VAN DER MERWE
ARCHITECTS



Area Ground
1:100



Area First
1:100



GENERAL NOTES

- The design of the drawing remains the property of the Architect
- All work is to be carried out with strict accordance with the National Building Regulations, Municipal Regulations and SANS 600
- All relevant details, levels, dimensions and positions must be checked and verified on site before commencing any building work
- Any discrepancies and queries to be forwarded to the Designer immediately
- All architectural drawings to be read in conjunction with all relevant structural, mechanical, electrical, civil Engineer's and all other specialist drawings
- Only signed dimensions to be used and not copied
- Consultant to ensure compliance with safety regulations at all time

SPECIFICATIONS:

ROOF:

- All roofs to be approved by appointed structural engineer and to comply to SANS 10400 Part 1
- Engineer to approve design and to do necessary inspections on structure and connections to walls etc.

WALLS:

- New external brick work to be 280mm cavity walls of 115mm ROK's with 50mm cavity, laid together with wall ties evenly distributed at 2.5 ties per square meter of face area.
- New external brick work cavity walls to have Damp Proof Course stepped from internal skin down to external skin with weep holes at regular intervals (every fifth brick only) in the external skin.
- New internal load bearing walls to be min 230mm and in strict accordance with engineer's detail and specification.
- New internal non-load bearing walls to be 110mm ROK brick work.

FLOOR SLABS:

- New ground floor slabs are to be cast of a minimum of 100mm thick reinforced in accordance with engineer's specification, laid on 250micron Damp Proof Membrane, turned up around the perimeter at least the full thickness of the slab, on Syndicate sheet with at least a R-Value of 1, on maximum 150mm well compacted sand, on clean well compacted fill layers not more than 150mm in thickness.

FOUNDATIONS:

- All footings, slabs, columns and beams to be in accordance with drawings and specifications supplied by the appointed engineer.
- All new foundations are to be min 100kPa at 28 days (1:4.5 coarse aggregate) of min 200mm thick.

WATERPROOFING:

- All parapet walls to receive Duraflex flashings.
- All windows and doors to receive vertical and horizontal DPC and to be sealed with polysulphide.

WINDOWS AND DOORS:

- Refer to Window and Door Schedule for specifications

COOLING:

- Note: If air conditioning units are installed, efficiency of minimum COP=2.5 is required.

LIGHTING:

- Note: new and existing lighting to be max. 5W/m², if any halogen downlights are present in the existing building, these are to be replaced with LED fittings.

REVISION:

ARCHITECTS SIGNATURE

Date : Friday, April 17, 2026

CLIENT SIGNATURE, SIGNED BY ARCHITECT ON BEHALF OF CLIENT - POWER OF ATTORNEY ATTACHED

Date : Friday, April 17, 2026

AREAS:

Ground Floor Area.	327.69m²
First Floor Area.	842.84m²
Total House Area.	1170.53m²
Site Area.	1380.60m²
Coverage.	63.94%
(882.79 x 100 / 1380.60)	
F.A.R.	0.85

ZONING: S1 - SINGLE RESIDENTIAL

BUILDING OCCUPANCY CLASSIFICATION: H4

DWELLING HOUSE: Occupancy consisting of a dwelling unit on its own site, including a garage and other domestic outbuildings, if any.

FINLAYSON
VAN DER MERWE
ARCHITECTS

1 Village Lane H&A Village Onrus River Western Cape
7201 South Africa /028 313 0741 / 028 313 0747/
www.fvdm.co.za

Project Name

79 Main Road

1013 79 Main Road, Sandbaai, 7200

Drawing Name

Site Locality and Area

Drawing Status

COUNCIL SUBMISSION

Drawn by

GFH

Checked by

JVDM

Drawing Scale

As shown @ A1

Drawing No.

2321.100 |

Status

CS

Revision

A



Area Schedule		
Zone Name	Zone Number	Calculated Area
Circulation	Nr. 01	17.69
Circulation	Nr. 01	119.74
		137.43 m ²
Commercial	Unite 01	59.28
Commercial	Unite 02	51.87
Commercial	Unite 03	43.28
Commercial	Unite 04	45.73
		200.16 m ²
Garage	Unite 01	17.84
Garage	Unite 02	28.78
Garage	Unite 03	40.56
		87.18 m ²
Unit 01	Apartment	30.38
		30.38 m ²
Unit 02	Apartment	37.46
		37.46 m ²
Unit 03	Apartment	33.36
		33.36 m ²
Unit 04	Apartment	33.14
		33.14 m ²
Unit 05	Apartment	33.36
		33.36 m ²
Unit 06	Apartment	39.77
		39.77 m ²
Unit 07	Apartment	32.63
		32.63 m ²
Unit 08	Apartment	40.22
		40.22 m ²
Unit 09	Apartment	40.44
		40.44 m ²
Unit 10	Apartment	40.22
		40.22 m ²
Unit 11	Apartment	32.63
		32.63 m ²
Unit 12	Apartment	40.18
		40.18 m ²
Unit 13	Apartment	33.19
		33.19 m ²
Unit 14	Apartment	33.36
		33.36 m ²
Unit 15	Apartment	33.36
		33.36 m ²
Unit 16	Apartment	38.73
		38.73 m ²
Unit 17	Apartment	31.79
		31.79 m ²
Unit 18	Apartment	42.89
Unit 18	Balcony	9.50
		52.39 m ²
Unit 19	Apartment	36.20
Unit 19	Balcony	14.29
		50.49 m ²
Unit 20	Apartment	42.84
Unit 20	Balcony	9.50
		52.34 m ²
		1,184.21 m ²

GENERAL NOTES

- The design of the drawing remains the property of the Architect
- All work to be carried out with strict accordance with the National Building Regulations, Municipal Regulations and SANS 600
- All relevant details, levels, dimensions and positions must be checked and verified on site before commencing any building work
- Any discrepancies and queries to be forwarded to the Designer immediately
- All architectural drawings to be read in conjunction with all relevant structural, mechanical, electrical, civil Engineer's and all other specialist drawings
- Only figured dimensions to be used and not scaled
- Consultant to ensure compliance with safety regulations at all time

SPECIFICATIONS:

ROOF:

- All roofs to be approved by appointed structural engineer and to comply to SANS 10400 Part 1
- Engineer to approve design and to do necessary inspections on structure and connections to walls etc.

WALLS:

- New external brick work to be 280mm cavity walls of 115mm ROK's with 50mm cavity, laid together with wall ties evenly distributed at 2.5 ties per square meter of face area.
- New external brick work cavity walls to have Damp Proof Course stepped from internal skin down to external skin with weep holes at regular intervals (every fifth brick only) in the external skin.
- New internal load bearing walls to be min 230mm and in strict accordance with engineer's detail and specification.
- New internal non-load bearing walls to be 110mm ROK brick work.

FLOOR SLABS:

- New ground floor slabs are to be cast of a minimum of 100mm thick reinforced in accordance with engineer's specification, laid on 250mm Damp Proof Membrane, turned up around the perimeter at least the full thickness of the slab, on Styrofoambead with at least a R-Value of 1, on maximum 150mm well compacted sand, on clean well compacted B1 layers not more than 150mm in thickness.

FOUNDATIONS:

- All footings, piles, columns and beams to be in accordance with drawings and specifications supplied by the appointed engineer.
- All new foundations are to be min 100kPa at 28 days (1:4:5 coarse aggregate) of min 200mm thick.

WATERPROOFING:

- All parapet walls to receive Duraflex flashings.
- All windows and doors to receive vertical and horizontal DPC and to be sealed with polysulphide.

WINDOWS AND DOORS:

- Refer to Window and Door Schedule for specifications

COOLING:

- Note: If air conditioning units are installed, efficiency of minimum COP=2.5 is required.

LIGHTING:

- Note: new and existing lighting to be max. 5W/m², if any halogen downlights are present in the existing building, these are to be replaced with LED fittings.

REVISION:

ARCHITECTS SIGNATURE

Date : Friday, April 17, 2026

CLIENT SIGNATURE, SIGNED BY ARCHITECT ON BEHALF OF CLIENT - POWER OF ATTORNEY ATTACHED

Date : Friday, April 17, 2026

AREAS:

Ground Floor Area.

327.69m²

First Floor Area.

842.84m²

Total House Area.

1170.53m²

Site Area.

1380.60m²

Coverage.

(882.79 x 100 / 1380.60)

63.94%

F.A.R.

0.85

ZONING: S1 - SINGLE RESIDENTIAL

BUILDING OCCUPANCY CLASSIFICATION: H4

DWELLING HOUSE: Occupancy consisting of a dwelling unit on its own site, including a garage and other domestic outbuildings, if any.

FINLAYSON

VAN DER MERWE

ARCHITECTS

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7201 South Africa /028 313 0741 / 028 313 0747/

www.fvdm.co.za

Project Name

79 Main Road

1013 79 Main Road, Sandbaai, 7200

Drawing Name

Ground Floor

Drawing Status

COUNCIL SUBMISSION

Drawn by

GFH

Date

4/17/2026

Checked by

JVDM

Date

4/17/2026

Drawing Scale

As shown @ A1

Drawing No.

2321.101|

Status

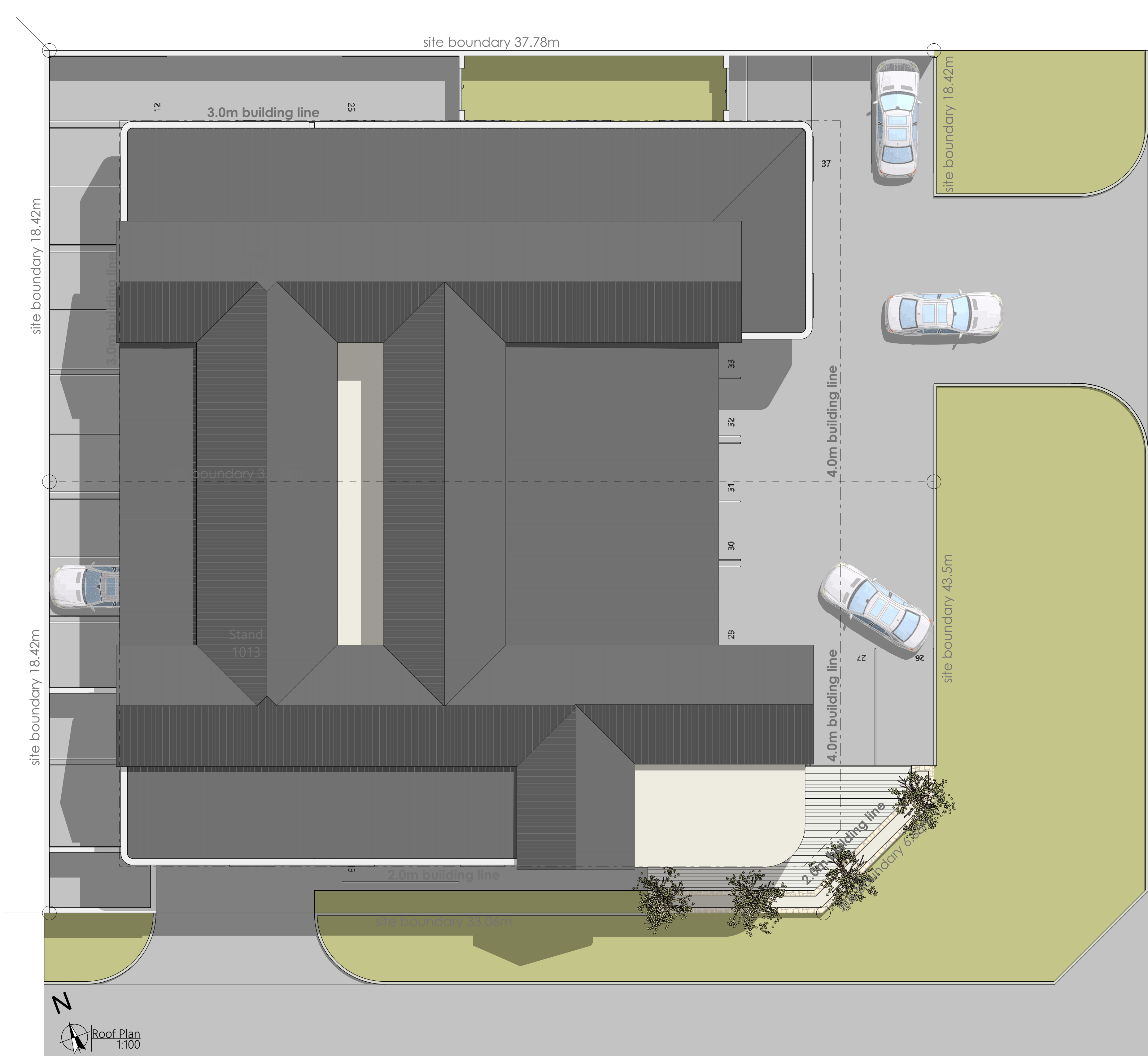
CS

Revision

A



Drawing Status			
COUNCIL SUBMISSION			
Drawn by GFH	Date	4/17/2026	
Checked by JVDM	Date	4/17/2026	
Drawing Scale			
As shown @ A1			
Drawing No. 2321.102	Status CS	Revision A	



Area Schedule		
Zone Name	Zone Number	Calculated Area
Circulation	Nr. 01	17.69
Circulation	Nr. 01	119.74
		137.43 m ²
Commercial	Unite 01	59.28
Commercial	Unite 02	51.87
Commercial	Unite 03	43.28
Commercial	Unite 04	45.73
		200.16 m ²
Garage	Unite 01	17.84
Garage	Unite 02	28.78
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		32.63 m ²
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Unit 20	Balcony	9.50
		52.34 m ²
		1,184.21 m ²

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- Only signed dimensions to be used and not copied
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SPECIFICATIONS:

ROOF:

- All roofs to be approved by appointed structural engineer and to comply to SANS 10400 Part 1
- Engineer to approve design and to do necessary inspections on structure and connections to walls etc.

WALLS:

- New external brick work to be 280mm cavity walls of 115mm ROK's with 50mm cavity, laid together with wall ties evenly distributed at 2.5 ties per square meter of face area.
- New external brick work cavity walls to have Damp Proof Course stepped from internal skin down to external skin with weep holes at regular intervals (every fifth brick only) in the external skin.
- New internal load bearing walls to be min 230mm and in strict accordance with engineer's detail and specification.
- New internal non-load bearing walls to be 110mm ROK brick work.

FLOOR SLABS:

- New ground floor slabs are to be cast of a minimum of 100mm thick reinforced in accordance with engineer's specification, laid on 250micron Damp Proof Membrane, turned up around the perimeter at least the full thickness of the slab, on Styrofoambead with at least a R-Value of 1, on maximum 150mm well compacted sand, on clean well compacted fill layers not more than 150mm in thickness.

FOUNDATIONS:

- All footings, slabs, columns and beams to be in accordance with drawings and specifications supplied by the appointed engineer.
- All new foundations are to be min 10Mpa at 28 days (1:4:5 coarse aggregate) of min 200mm thick.

WATERPROOFING:

- All parapet walls to receive Duraflex flashings.
- All windows and doors to receive vertical and horizontal DPC and to be sealed with polysulphide.

WINDOWS AND DOORS:

- Refer to Window and Door Schedule for specifications

COOLING:

- Note: If air conditioning units are installed, efficiency of minimum COP=2.5 is required.

LIGHTING:

- Note: new and existing lighting to be max. 5W/m² if any halogen downlights are present in the existing building, these are to be replaced with LED fittings.

REVISION:

ARCHITECTS SIGNATURE

Date : Friday, April 17, 2026

CLIENT SIGNATURE: SIGNED BY ARCHITECT ON BEHALF OF CLIENT - POWER OF ATTORNEY ATTACHED

Date : Friday, April 17, 2026

AREAS:

Ground Floor Area.	327.69m ²
First Floor Area.	842.84m ²
Total House Area.	1170.53m ²
Site Area.	1380.60m ²
Coverage.	63.94%
(882.79 x 100 / 1380.60)	
F.A.R.	0.85

ZONING: S1 - SINGLE RESIDENTIAL

BUILDING OCCUPANCY CLASSIFICATION: H4

DWELLING HOUSE: Occupancy consisting of a dwelling unit on its own site, including a garage and other domestic outbuildings, if any.

FINLAYSON

VAN DER MERWE

ARCHITECTS

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7201 South Africa /028 313 0741 / 028 313 0747/

www.fvdm.co.za

Project Name

79 Main Road

1013 79 Main Road, Sandbaai, 7200

Drawing Name

Roof Plan

Drawing Status

COUNCIL SUBMISSION

Drawn by

Date

4/17/2026

Checked by

Date

4/17/2026

JVDM

Drawing Scale

As shown @ A1

Drawing No.

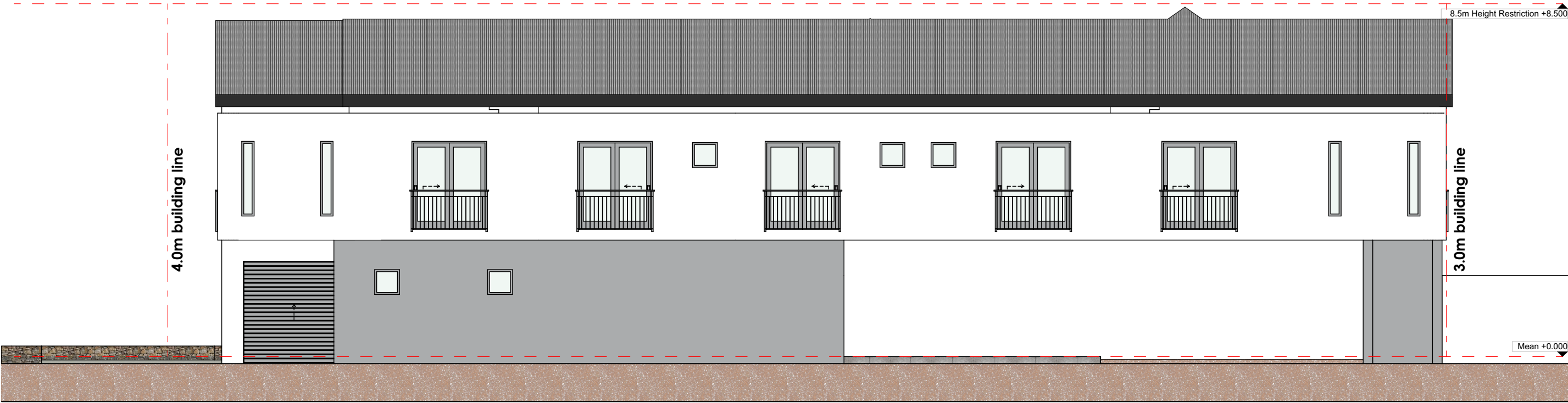
Status

Revision

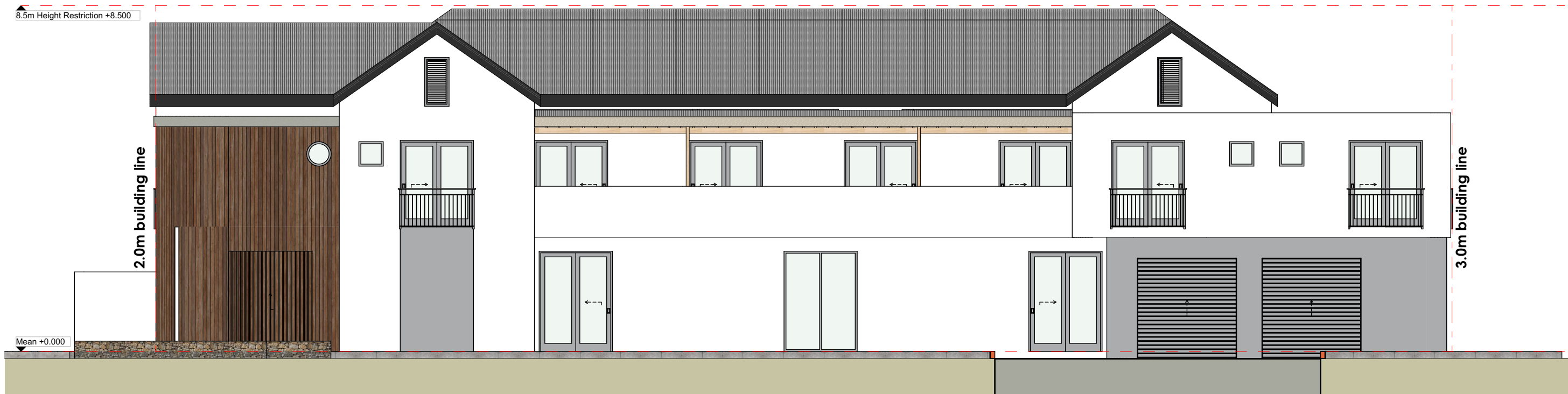
2321.103 |

CS

A



North Elevations
1:100



East Elevations
1:100



South Elevations
1:100



West Elevations
1:100

GENERAL NOTES

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FOUNDATIONS:

- All footings, slabs, columns and beams to be in accordance with drawings and specifications supplied by the appointed engineer.
- All new foundations are to be min 10MPa at 28 days (1:4.5 coarse aggregate) of min 200mm thick.

WATERPROOFING:

- All parapet walls to receive Duraflex flashings.
- All windows and doors to receive vertical and horizontal DPC and to be sealed with polysulphide.

WINDOWS AND DOORS:

- Refer to Window and Door Schedule for specifications

COOLING:

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LIGHTING:

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REVISION:

ARCHITECTS SIGNATURE

Date : Friday, April 17, 2026

CLIENT SIGNATURE, SIGNED BY ARCHITECT ON
BEHALF OF CLIENT - POWER OF ATTORNEY ATTACHED

Date : Friday, April 17, 2026

AREAS:

Ground Floor Area.	327.69m ²
First Floor Area.	842.84m ²
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Site Area.	1380.60m ²
Coverage. (882.79 x 100 / 1380.60)	63.94%
F.A.R.	0.85

ZONING: S1 - SINGLE RESIDENTIAL

BUILDING OCCUPANCY CLASSIFICATION: H4

DWELLING HOUSE: Occupancy consisting of a dwelling unit on its own site, including a garage and other domestic outbuildings, if any.

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VAN DER MERWE
ARCHITECTS

1 Village Lane H&A Village Onrus River Western Cape
7201 South Africa /028 313 0741 / 028 313 0747/
www.fvdm.co.za

Project Name

79 Main Road

1013 79 Main Road, Sandbaai, 7200

Drawing Name

Elevations

Drawing Status

COUNCIL SUBMISSION

Drawn by GFH	Date 4/17/2026
Checked by JVDM	Date 4/17/2026

Drawing Scale

As shown @ A1

Drawing No. 2321.200	Status CS	Revision A
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