

OVERSTRAND MUNICIPALITY	OVERSTRAND MUNISIPALITEIT	UMASIPALA WASE-OVERSTRAND
<u>ERF 4646, 52 ALBERTYN STREET, NORTHCLIFF, HERMANUS: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITION, DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF SA DANDRIDGE</u> Notice is hereby given in terms of Sections 47 and 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), of the following applications applicable to Erf 4646, Northcliff, Hermanus (the property), namely: <u>Removal of a Restrictive Title Deed Condition</u> Application in terms of Section 16(2)(f) of the By-Law for the removal of a restrictive title deed condition C.(ii)(4) as contained in Title Deed T63327/2021 of the property to accommodate the existing garage on the property. <u>Departure</u> Application in terms of Section 16(2)(b) of the By-Law to relax the southern lateral building line from 2m to 0m to accommodate the existing garage on the property. <u>Determination of an Administrative Penalty</u> Application in terms of Section 16(2)(q) of the By-Law to accommodate the unauthorized building line encroachment as mentioned above. Full details regarding the proposals above are available for inspection during weekdays between 08:00 and 16:30 at the Division: Town and Spatial Planning, 16 Paterson Street, Hermanus and on the municipal webpage at the following link https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/ Any comments must be in writing and reach the Municipality (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) on or before 2 October 2026, with your name, address, contact details, interest in the application and the reasons for comment. Telephonic inquiries can be made to the Principal Town Planner, Mrs. H. van der Stoep at 028-3138900. The Municipality may refuse to accept comments after the closing date. Any person who cannot read or write can visit the Division: Town and Spatial Planning where they will be assisted by a municipal official in formulating their comments. <i>Please note that in terms of the Protection of Personal Information Act (POPIA), you will be entering into a public process and as such agree and consent to your name, surname, contact details and comment(s) may be disclosed / used in the (application) process.</i>	<u>ERF 4646, ALBERTYNSTRAAT 52, NORTHCLIFF, HERMANUS: AANSOEK OM OPHEFFING VAN BEPERKENDE TITELAKTEVOORWAARDE, AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: INTERACTIVE STADS- EN STREEKBEPLANNING NAMENS SA DANDRIDGE</u> Kragtens Artikel 47 en 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) word hiermee kennis gegee van die onderstaande aansoeke van toepassing op Erf 4646, Northcliff, Hermanus (die eiendom), naamlik: <u>Opheffing van 'n Beperkende Titelaktevoorwaarde</u> Aansoek ingevolge Artikel 16(2)(f) van die Verordening vir die opheffing van 'n beperkende titelaktevoorwaarde C.(ii)(4) soos vervat in Titelakte T63327/2021 van die eiendom om die bestaande motorhuis op die eiendom te akkommodeer. <u>Afwyking</u> Aansoek ingevolge Artikel 16(2)(b) van die Verordening om die suidelike syboulyn vanaf 2m tot 0m te verslap om die bestaande motorhuis op die eiendom te akkommodeer. <u>Bepaling van 'n Administratiewe Boete</u> Aansoek ingevolge Artikel 16(2)(q) van die Verordening om die ongemagtige boulynoorskryding soos hierbo genoem te akkommodeer. Besonderhede aangaande die voorstel lê ter insae gedurende woensdae tussen 08:00 en 16:30 by die Afdeling: Stads- en Streekbeplanning te Patersonstraat 16, Hermanus en op die munisipale webtuiste by die volgende skakel https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/ Enige kommentaar moet skriftelik wees en die Munisipaliteit (Patersonstraat 16, Hermanus / (e) landuse@overstrand.gov.za) voor of op 2 Oktober 2026, met u naam, adres, kontak besonderhede, belang in die aansoek en die redes vir kommentaar. Telefoniese navrae kan gerig word aan die Hoof Stadsbeplanner, Me. H. van der Stoep by 028-3138900. Die Munisipaliteit mag weier om kommentare te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Afdeling: Stads- en Streekbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formuleer. <i>U aandag word gevestig op die Bepalinge van die "POPI" Wet, en aangesien u opmerking deel sal uitmaak van 'n openbare deelname proses, u derhalwe toestem dat u naam, van en kontakbesonderhede openbaar gemaak mag word.</i>	<u>ISIZA 4646, 52 ALBERTYN STREET, NORTHCLIFF, HERMANUS: ISICELO SOKUSUSWA KWEMIQATHANGO ENEZITHINTELO KWITAYITILE, UKUNYENISWA NOKUGQITYWA KWESOHLWAYO: ABAKWA-INTERACTIVE TOWN & REGIONAL PLANNING EGAMENI LIKA-SA DANDRIDGE</u> Kukhutshwa isaziso ngokumayela neCandelo 47 neCandelo 48 loMthetho ka-2020 Ohlonyelweyo woMasipala waseOverstrand ongokuSetyenziswa nokuCetywa koMhlaba kaMasipala (uMthetho kaMasipala) ukuba kufunyenwe ezi zicelo zilandelayo zimalunga neSiza 4646, eNorthcliff, eHermanus (ipropathi), ukuba: <u>Kususwe Umqathango Onesithintelo Kwitayitile</u> Isicelo ngokumayela neCandelo 16(2)(f) loMthetho kaMasipala ukuba kususwe imiqathango enezithintelo kwitayitile, umqathango C.(ii)(4) njengoko uqulathwe kwiTayitile T63327/2021 yepropathi ukulungiselela igaraji esele ikhona kwipropathi. <u>Ukunyeniswa</u> Isicelo ngokumayela neCandelo 16(2)(b) loMthetho kaMasipala ukuze kunyeniswe umgca wesakhiwo okwicala elingasemzantsi ukusuka ku-2m ukuya ku-0m ukulungiselela igaraji esele ikhona kwipropathi, <u>Ukugqitywa Kwesohlwayo</u> Isicelo ngokumayela neCandelo 16(2)(q) loMthetho kaMasipala ukulungiselela ukwakhiwa okungagunyaziswanga nokudlula kumgca wesakhiwo njengoko kuchaziwe ngasentla. linkcukacha ezipheleleyo mayela noku kucetywayo ziyafumaneka ukuze zihlolewe phakathi evekini phakathi ko 08:00 no 16:30 kwiSebe: Town and Spatial Planning, 16 Paterson Street, Hermanus nakwiwebhusayithi kamasipala kule linki ilandelayo https://www.overstrand.gov.za/document/town-spatial-planning/land-use-planning-applications/ Naziphi na izimvo zimele zibhalwe zize zingeniswe kuMasipala (16 Paterson Street, Hermanus / (e) landuse@overstrand.gov.za) ngaphambi okanye ingadlulanga 2 kaOkthobha 2026, ubhale igama lakho, idilesi yakho neenkukacha zoqhagamshelwano, umdla wakho kwisicelo nezizathu zokuhlomla kwakho. Imibuzo ngefowuni ingabhekiswa kuPrincipal Town Planner, uNkskz. H. van der Stoep ku 028-3138900. UMasipala angangavumi ukwamkela amagqabaza okuhlomla afunyenwe emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala angatyelela iSebe: Town and Spatial Planning. Igosa likamasipala liya kumnceda akwazi ukufaka izimvo zakhe. <i>Nceda uphawule ukuba ngokumayela noMthetho Wokukhuselwa kweNkazelo yoBuqu (POPIA), uza kungena kwinkqubo yokuthatha inxaxheba koluntu ibe ngenxa yoko uyavuma ukuba igama, ifani yakho, iinkukacha zakho zoqhagamshelwano namagqabaza akho angadizwa / asetyenziswa kwinkqubo (yokufaka isicelo).</i>
EW JANTJIES Acting Municipal Manager / Waarnemende Munisipale Bestuurder / Umphathi Kamasipala Obambeleyo PO Box / Posbus / Ibhokisi yePosi 20 HERMANUS 7200		

Notice no. / Kennisgewing nr. / Inothiisi yeNomb: 174/2026



PROJECT

Erf 4646 Northcliff,
Hermanus

TITLE

Zoning Plan

Application Area

Residential Zone 1:
Single Residential

Open Space Zone 1:
Nature Reserve

Open Space Zone 2:
Public Open Space

INDEMNITY

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CLIENT

DRAWN BY
JM

CHECKED BY
AW

DATE
2026/01/20

SCALE (if A4)
As indicated

PROJECT NUMBER
0001

DRAWING NUMBER
Rev 1

InterActive Town & Regional Planning

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Zoning
A4 Scale 1 : 2000



InterActive Town & Regional Planning
PO Box 980
Hermanus
7200

Reference: Erf 4646, Northcliff, Hermanus

Date: 29 June 2026

ERF 4646, NORTHCLIFF: DEPARTURE, REMOVAL OF A RESTRICTIVE TITLE DEED CONDITION & THE DETERMINATION OF AN ADMINISTRATIVE PENALTY

Application is hereby made for a building line departure for Erf 4646, Northcliff, Hermanus as well as the removal of a restrictive title deed condition in terms of the relevant legislation, as described in the accompanying documentation.

In support of the application please find the following attached:

- A proof of payment of the application fee
- Motivational Report
- Annexures

Kind Regards

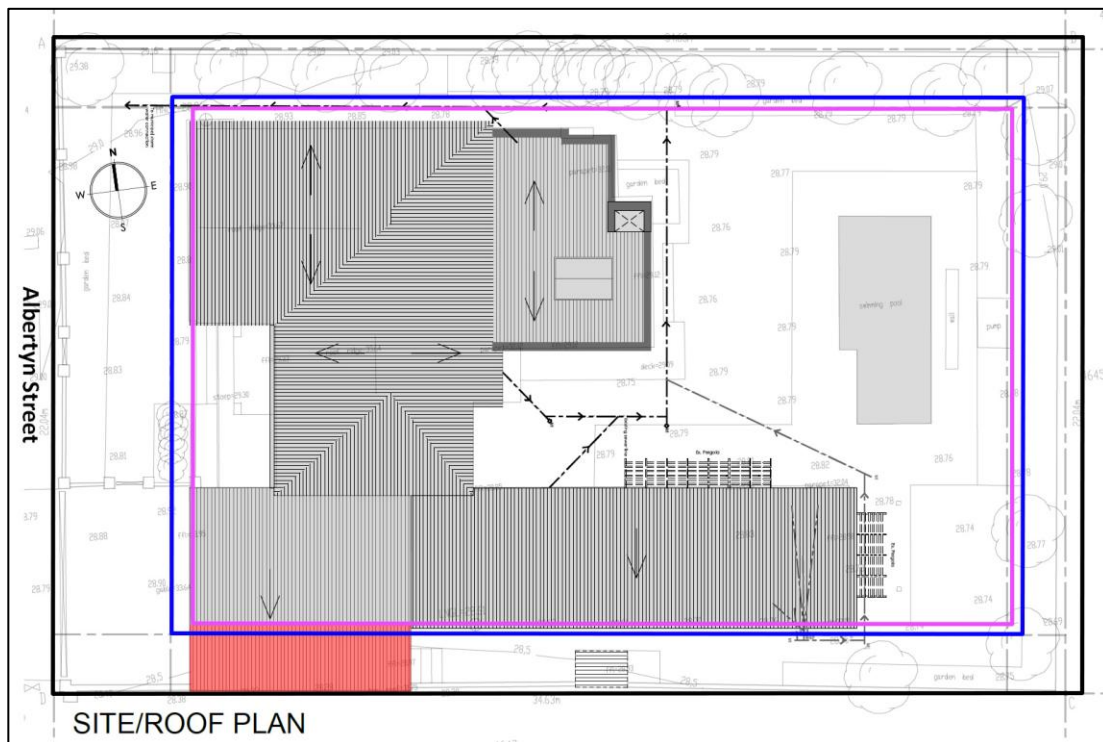
Andre Wiehahn Pr Pln A/927/1996
B Art et Sc (Town and Regional Planning)



ERF 4646 NORTHCLIFF, HERMANUS

52 Albertyn Street

Departure, Removal of a restrictive title deed condition & the determination of an administrative penalty application



Andre Wiehahn Pr Pln A/927/1996
B Art et Sc (Town and Regional Planning)
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June 2026

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Annexure

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1. Introduction

a. Brief

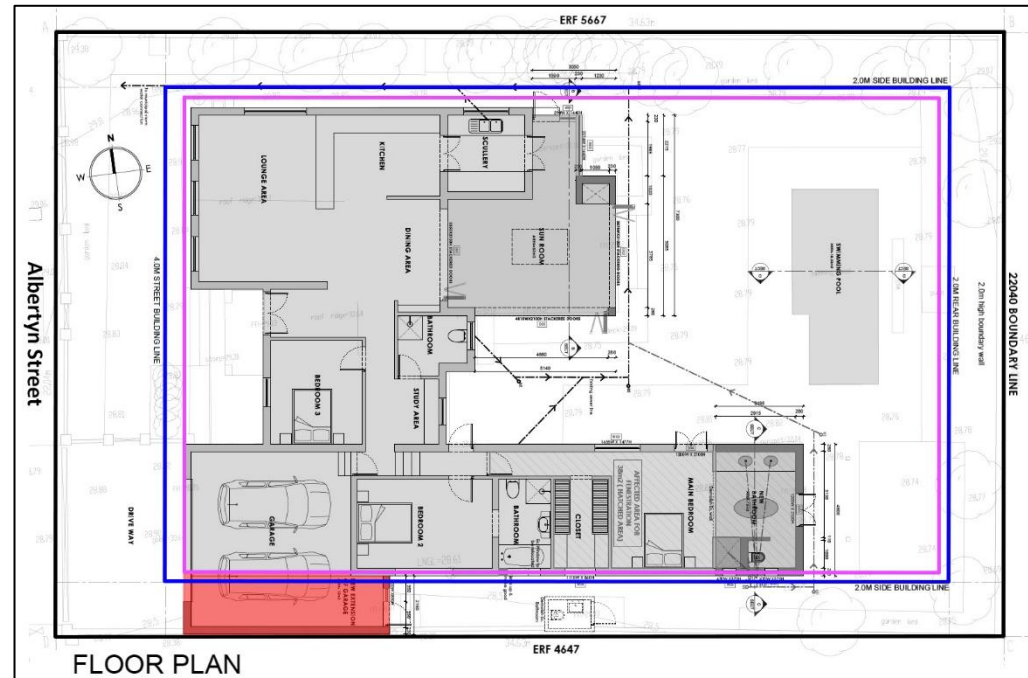
Refer to **Annexure B** for the Power of Attorney.

Interactive Town and Regional Planning is appointed by the owners of the property Susan Anne Dandridge to prepare and submit an application for a building line departure of Erf 4646, Northcliff, the removal of a restrictive title deed condition and the determination of an administrative penalty in terms of the relevant legislation.

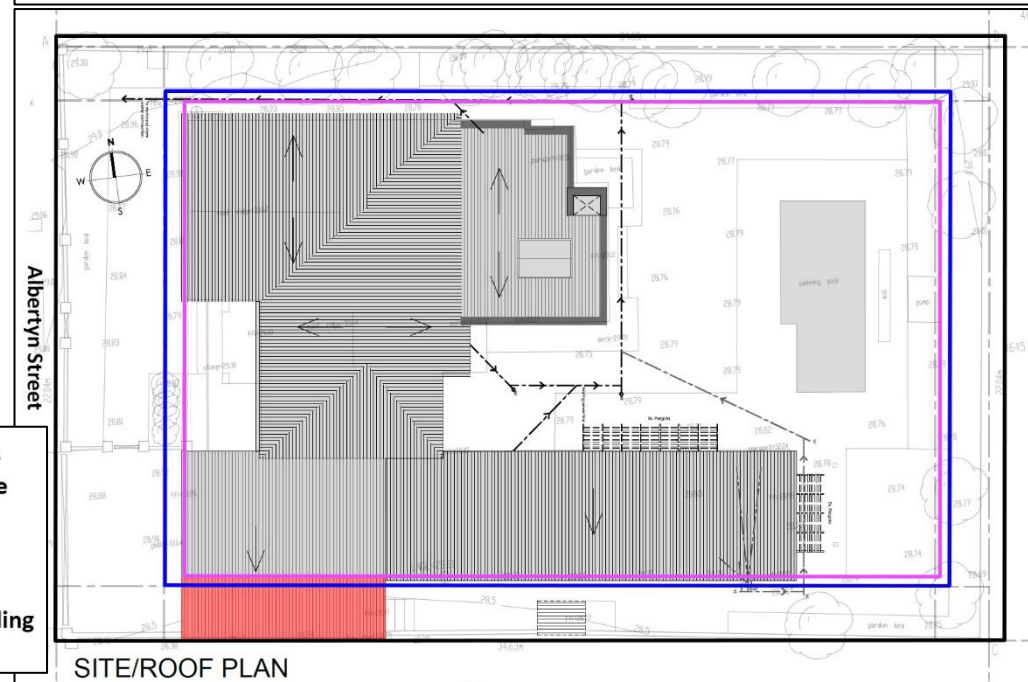
b. Background, Development Objective & Application Proposal

The application area accommodates a dwelling house on a 763m² erf with a garage which exceeds title deed and zoning scheme building lines.

The **objective** of the application is to legalise the existing garage exceeding title deed and zoning scheme building lines.



FLOOR PLAN



SITE/ROOF PLAN

- Erf boundaries
- Zoning Scheme Building Lines
- Title Deed Building Lines
- Garage exceeding building lines

-  Erf boundaries
-  Zoning Scheme Building Lines
-  Title Deed Building Lines
-  Garage exceeding building lines

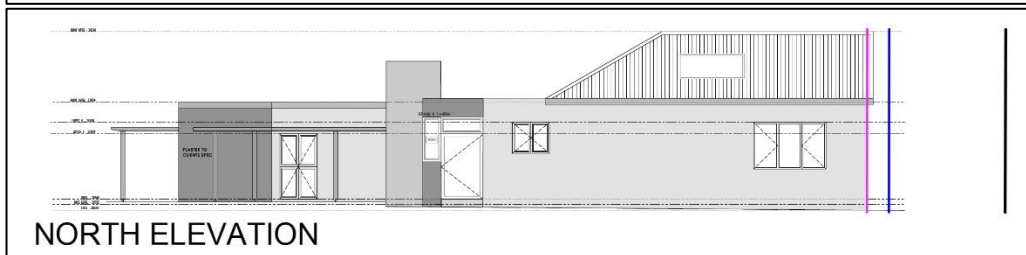
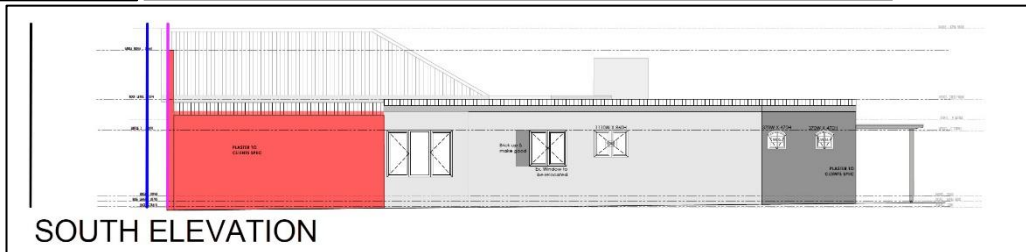


Figure 1: Proposal illustrations

2. The Application

a. Analysis: Title Deed Refer to Annexure D for the Conveyancer Certificate.	The conveyancer Amelia Galvin from Virtual Lawyers provided a conveyancer certificate confirming Condition C.(ii)(4) on Title Deed T63327/2021, restricts the development proposal. Condition C.(ii)(4) of Title Deed T63327/2021 reads as follows: <i>“C. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No. T588/1949 imposed by the Administrators of the Cape Province in approving of Hermanus Township (Extension No. 4), namely:-</i> <i>(ii) As being in favour of the registered owner of any erf in the Township and subject to amendment or alteration by the Administrator under the provisions of Section 18(3) of Ordinance No. 33 of 1934, namely:-</i> <i>(4) <u>That no building or structure or any portion thereof, except boundary walls and fences shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf. No such building or structure shall be situated within 2,36 metres of the lateral boundary common to the adjoining erf.</u>”</i>			
b. Analysis: Development Criteria: The development parameters for Erf 4646 Hermanus as per the Overstrand Municipality Land Use Scheme, 2020 are summarised as follows:				
Parameters		Existing Zoning:	Proposal:	Comments
Zoning		Residential Zone 1: Single Residential	Residential Zone 1: Single Residential	Consistent
Primary Use		Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self-catering	Dwelling house	Consistent
Consent Uses		Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building & intensive horticulture	None	Consistent
Coverage		50%	36%	Consistent
Height		8m	4.9m	Consistent
Building lines	Street	4m	4m	Consistent
	Side	2m	0m south for garage 2m south for dwelling	Application includes a departure
	Rear	2m	2m	Consistent
Parking		Dwelling house: 2 bays	2 bays	Consistent
c. Application: The application form is attached as Annexure A .		Application is subsequently made in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the following: • A permanent departure to relax the southern side building line from 2m to 0m to allow for an existing garage in terms of Chapter IV, Section 16(2)(b). • The removal of Condition C.(ii)(4) from Title Deed T29315/2023 in terms of Chapter IV, Section 16(2)(f). • The determination of an administrative penalty in terms of Chapter IV, Section 16(2)(f).		

3. Contextual Site Information

a. Property Description

Property	Extent	Title Deed	Registered Owner
Erf 4646 Hermanus	763m ²	T63327/2021	Susan Anne Dandridge

Refer to **Annexure E** for the SG Diagrams, **Annexure C** for the Title Deed of Erf 4646 Northcliff.

The following Surveyor General Plans reflect the application site:

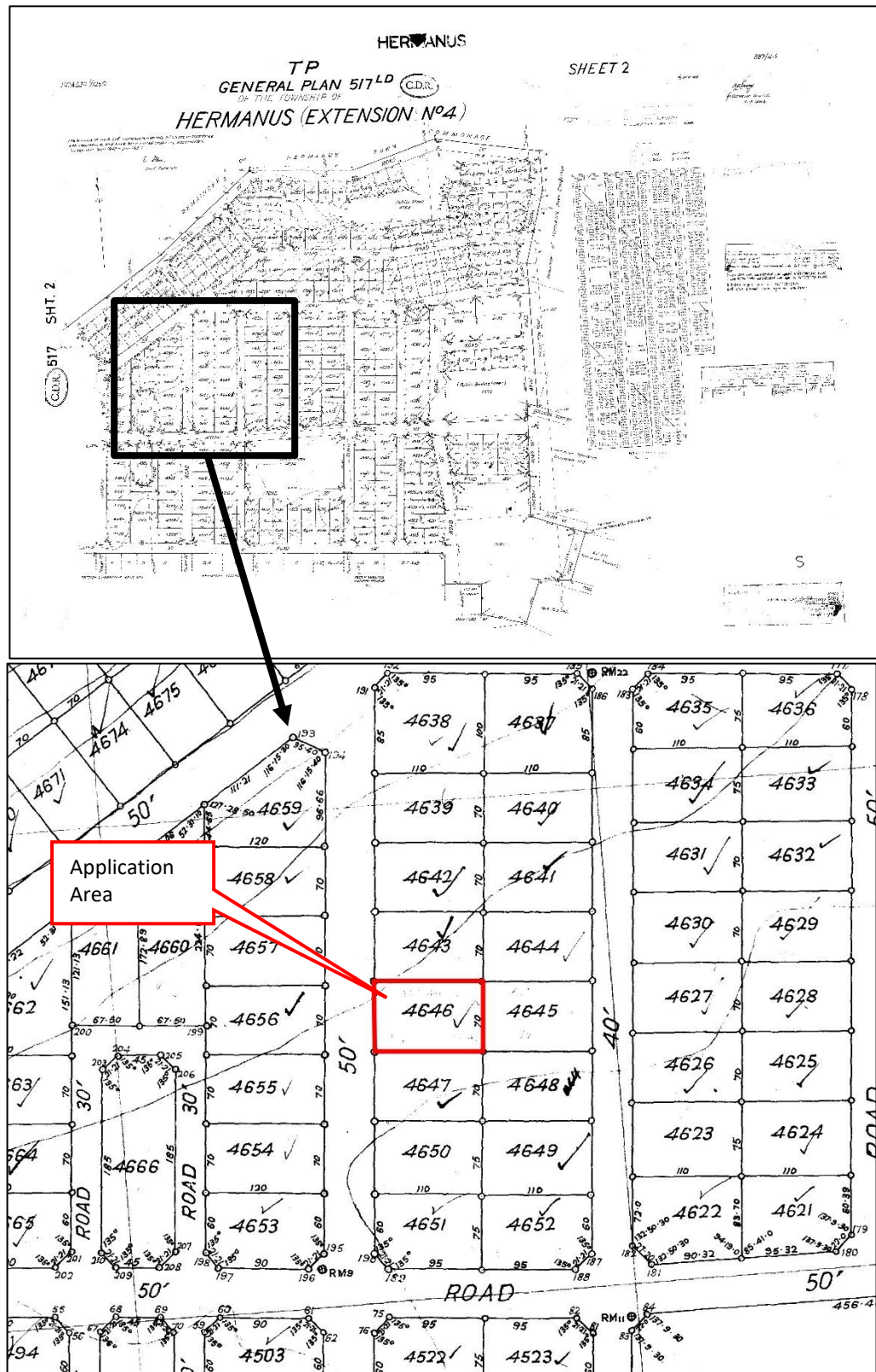


Figure 2: Extracts of the Surveyor General Plans of the application site

b. Location:

For the Locality Plans refer to Annexure F

Regional Context:

Within the regional context, the application area is located within Northcliff residential suburb, which forms part of Hermanus Central.

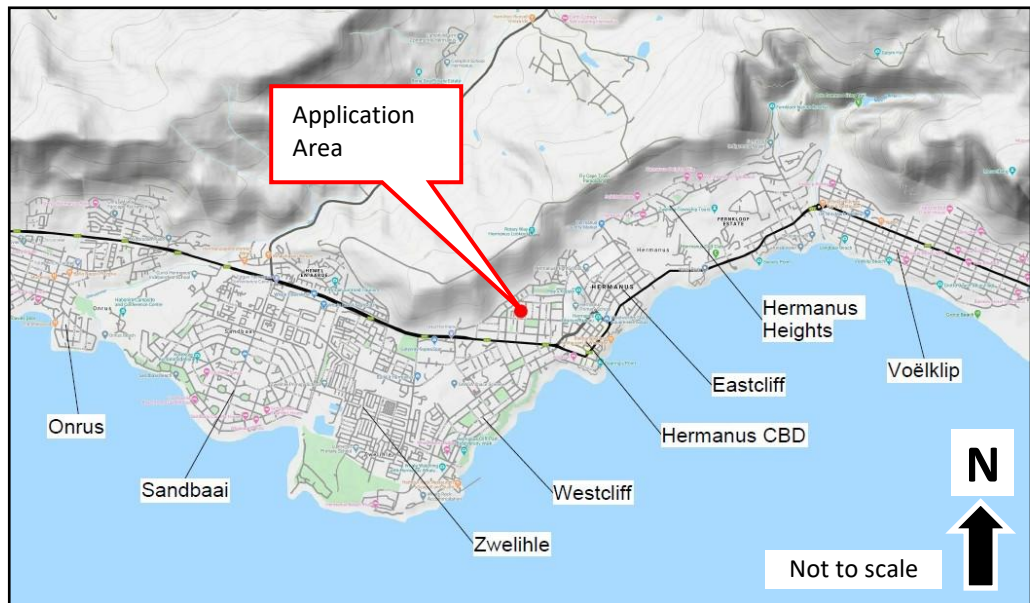


Figure 3: Locality Plan – Regional Context

Local Context:

Within the local context the application area consists of a single residential erf within Northcliff. The application area is located at number 52 Albertyn Street.



Figure 4: Locality Plan – Local Context

c. Land Use:

Refer to the Extract of Hermanus Zoning plan attached as **Annexure G.**

The application area accommodates a dwelling house on the property. The surrounding land-uses consist of single residential dwellings. No change in land use is proposed. The application area is consistent with the land use of the area.



Figure 5: Aerial Image illustrating the residential land-use activities of the application area

d. Zoning:

Refer to the Extract of Hermanus Zoning plan attached as **Annexure H.**

The application area, Erf 4646, Northcliff is zoned Residential Zone 1: Single Residential. The surrounding erven are zoned Residential Zone 1: Single Residential as well. No change in zoning is proposed. The application area is consistent with the zoning of the area.



Figure 6: Extract from the Overstrand Municipality: Online zoning viewer

e. Laws and policies relevant to the consideration of the application and forward planning and land use documents

The following policy is applicable to the application area and the development proposal:

i. Overstrand Municipal Spatial Development Framework, 2020

The application area is within an urban development area. No change in land use or spatial structure is proposed. The application is consistent with the Overstrand Municipal Spatial Development Framework, 2020.

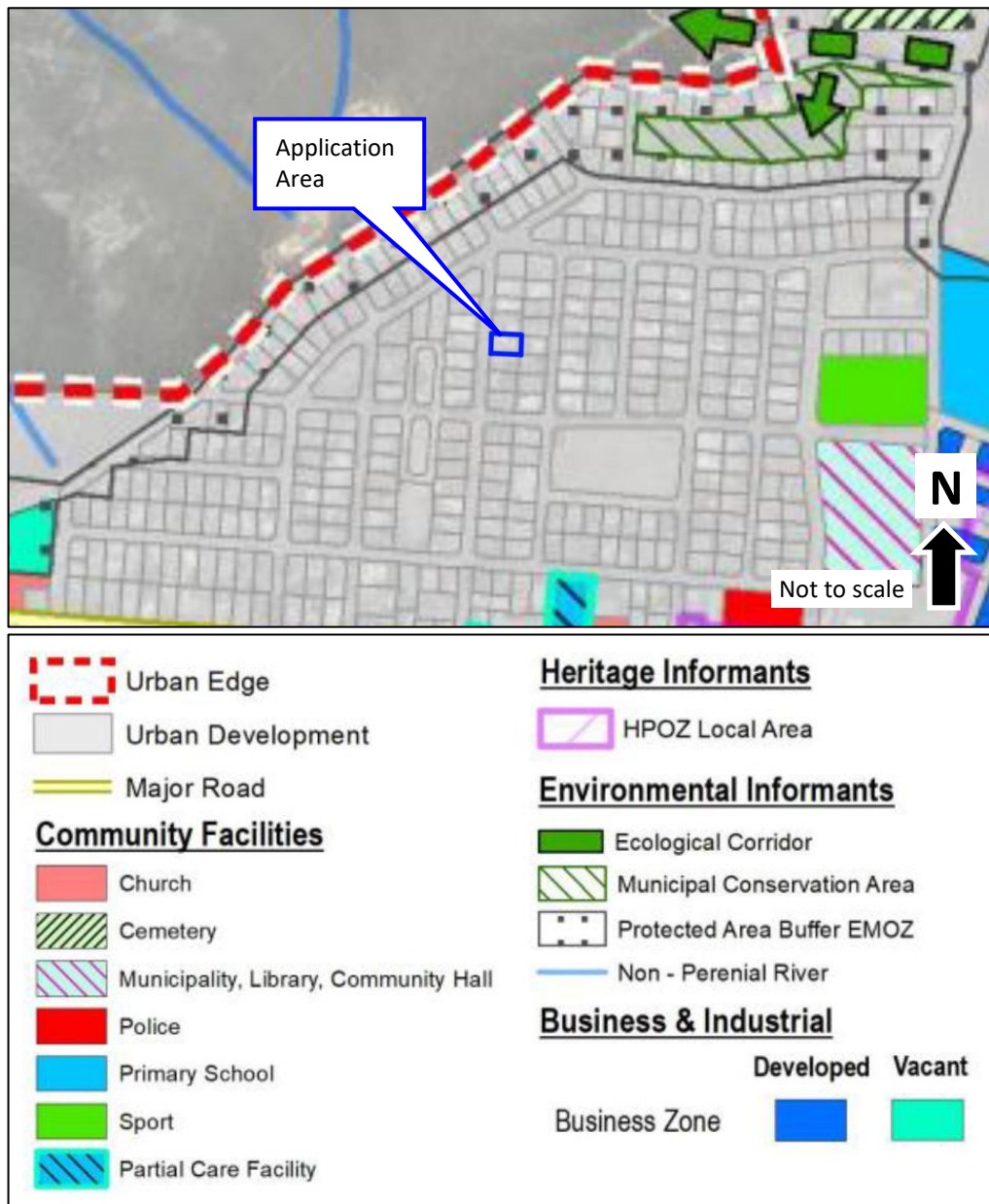


Figure 7: Spatial Development Framework 2020 plan extract

ii. **Overstrand Municipality Growth Management Strategy, 2010**

The application area is within a less than 10 dwelling units per hectare densification zone. No densification is proposed. The application proposal is consistent with the Overstrand Municipality Growth Management Strategy, 2010

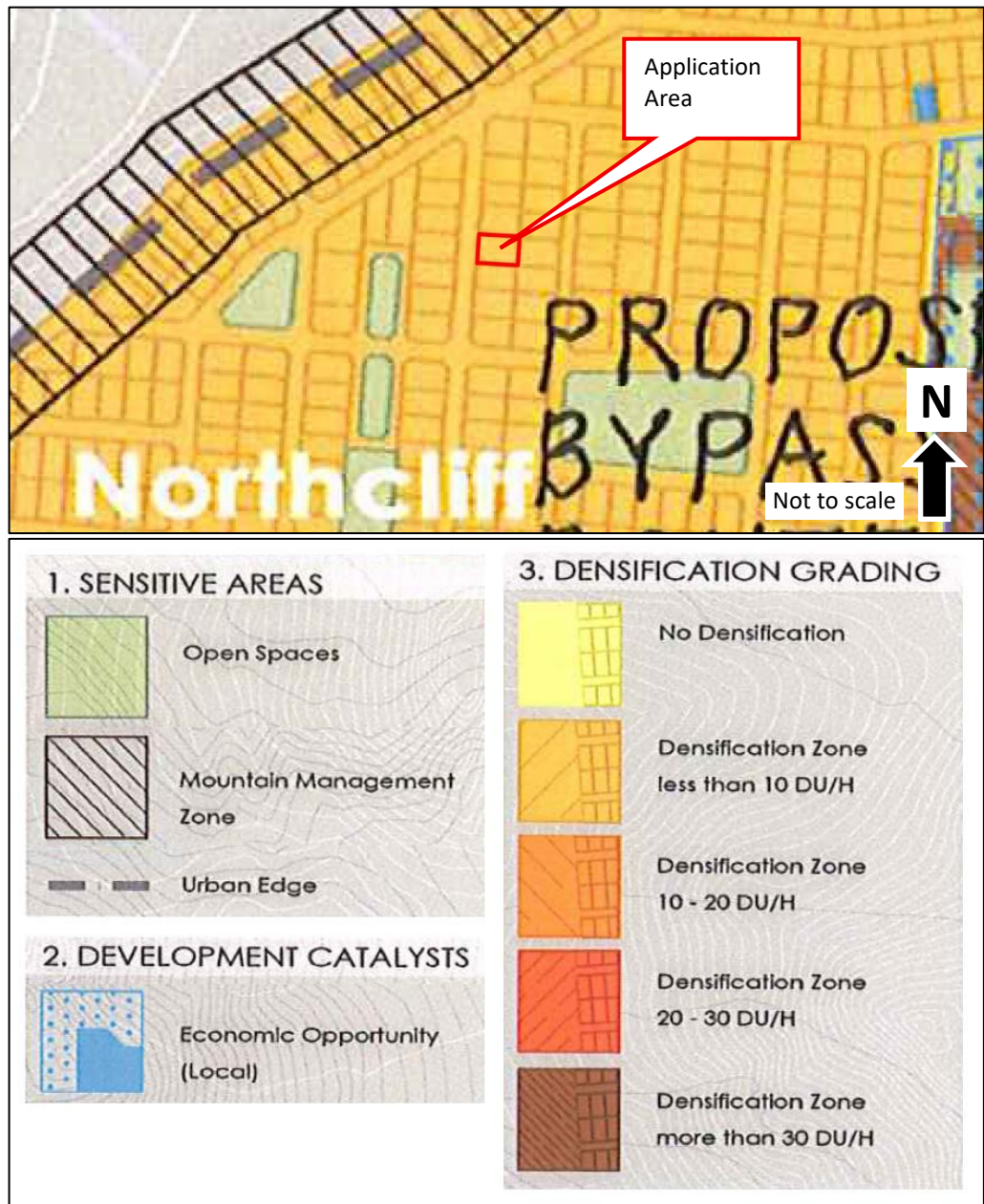


Figure 8: Extract from the Overstrand Municipality Growth Management Strategy, 2010

4. Motivation

Motivation for the application:

Refer to **Annexure I** for the Building Plan

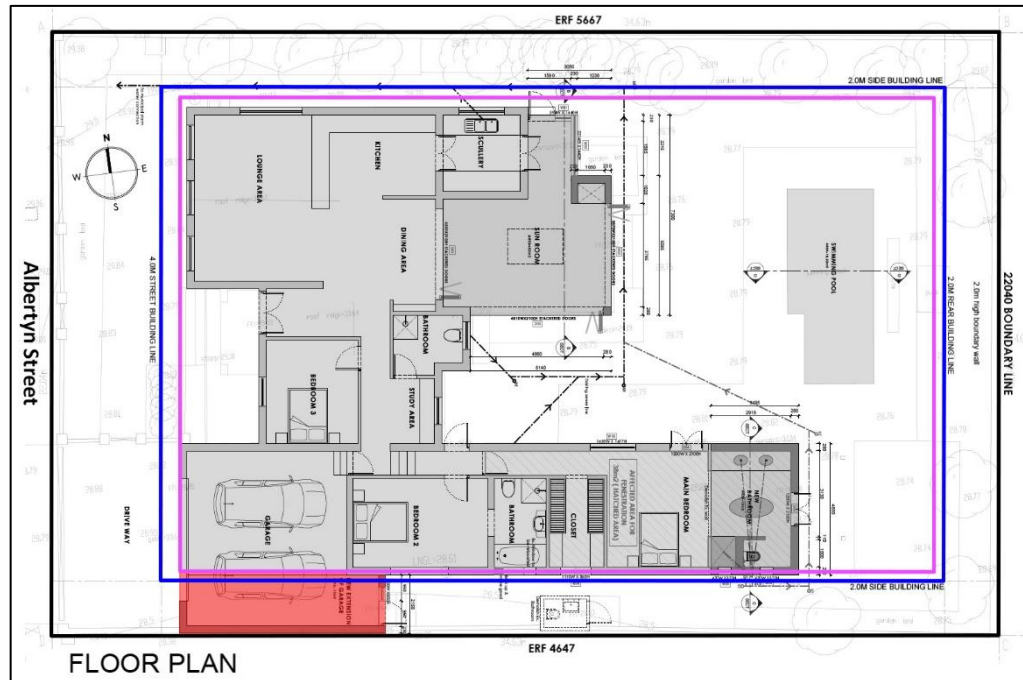
a. Introduction and Background

The application area accommodates a 763m² single residential zoned property with a single storey dwelling house.

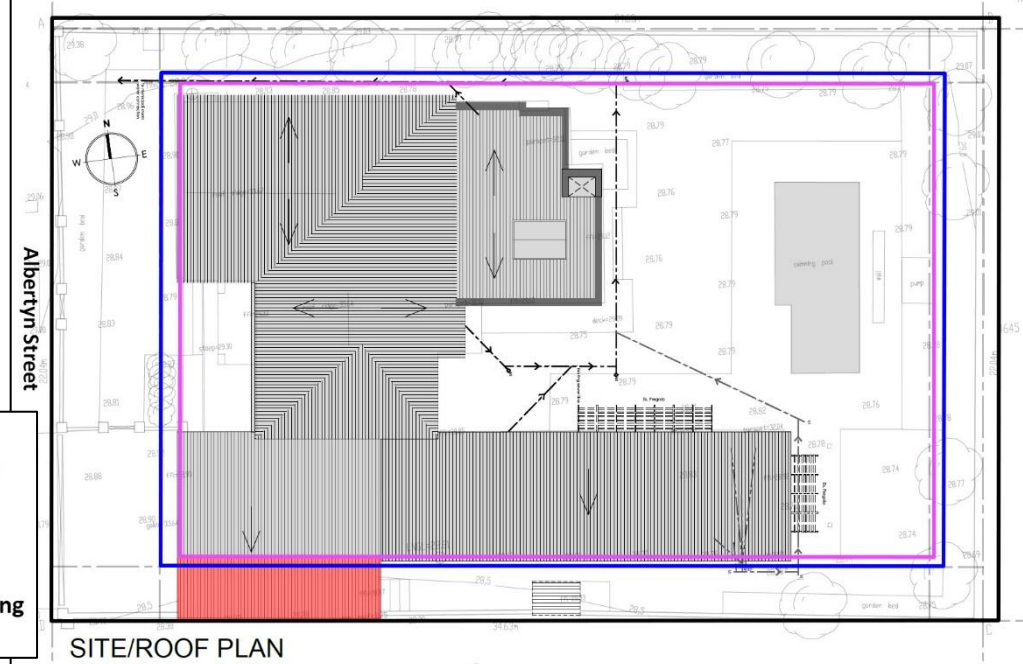
On the application area a garage was built exceeding the title deed and zoning scheme building lines.

b. Proposal

The **objective** of the application is to legalise the existing garage exceeding title deed and zoning scheme building lines as illustrated in the figures here-below:



FLOOR PLAN



SITE/ROOF PLAN

- Erf boundaries
- Zoning Scheme Building Lines
- Title Deed Building Lines
- Garage exceeding building lines



Figure 9: Proposal illustrations

To legalise these structures an approval of a building line departure as well as a removal of restrictive title condition application is required. The motivation for these applications are as follows:

Application for a building line departure

Application includes a departure to relax the southern side building line from 2m to 0m to allow for an existing garage.

The garage was extended to the southern boundary by previous owners.

The garage spans 7.5m along the 34.6m side boundary. The garage roof is 2.8m in height on the boundary, and the gable wall is 3.6m on the boundary. The roof slopes up away from the boundary. Rainwater running towards the boundary is collected in a gutter and discharged on the application area.

Several properties in the area have garages on their property side boundaries. The adjacent neighbouring property has a garage / carport within 0.5m of the subject common boundary. The application proposal is therefore considered consistent with the character of the area.

The garage is not a habitable space.

The existing garage improves the functionality of the application area and serves as compliance with the parking requirements for a Residential Zone 1: Single Residential property

Removal of Restrictive Title Deed Conditions

The application proposal includes the removal of a restrictive title deed building line restriction.

Condition C.(ii)(4) of Title Deed T63327/2021 reads as follows:

“C. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No. T588/1949 imposed by the Administrators of the Cape Province in approving of Hermanus Township (Extension No. 4), namely:-

(ii) As being in favour of the registered owner of any erf in the Township and subject to amendment or alteration by the Administrator under the provisions of Section 18(3) of Ordinance No. 33 of 1934, namely:-

(4) That no building or structure or any portion thereof, except boundary walls and fences shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf. No such building or structure shall be situated within 2,36 metres of the lateral boundary common to the adjoining erf.”

Clause C.(ii)(4) consists of building lines as part of township establishment conditions. At the time zoning criteria was managed by the Administrator which is provincial government. The regulation of zoning criteria has since been transferred to municipalities. Spatial planning theory and policy has since the establishment of the township evolved significantly.

Land use rights with associated building restrictions on the property will continue to be governed by the Overstrand Municipality Land Use Scheme, 2020. The removal of Clause C.(ii)(4) will not result in uncontrolled development, as municipal planning regulations and systems will still provide the framework for permissible land uses and associated building restrictions.

The removal of the restrictive title deed condition will allow for the building lines to be determined by the municipal zoning scheme and municipal procedures, thus reflecting the current procedures.

The existing garage on the application area exceeds the title deed building line restriction, thus Clause C.(ii)(4) needs to be removed from T532073/2021 in order to allow for the existing garage.

“35. Requirements for amendment, suspension or removal of restrictive conditions

(4) When the Municipality considers the removal, suspension or amendment of a restrictive condition, the Municipality must have regard to the following:

(a) the financial or other value of the rights in terms of the restrictive condition enjoyed by a person or entity, irrespective of whether these rights are personal or vest in the person as the owner of a dominant tenement;”

Clause C.(ii)(4) of Title Deed T32073/2021 proposed to removed does not grant any rights, but rather a land use restriction with the purpose of managing building lines. The clause originated in 1949 and the Administrator was originally Provincial Government, but has since been replaced by the Municipality. Building lines are now controlled by the municipal Land Use Scheme. Since building lines is still managed by the municipality, the proposed removal of the restrictive title deed condition does not have adverse impacts. Clause C.(ii)(4) of Title Deed T588/1949 does not have a financial value.

“(b) the personal benefits which accrue to the holder of rights in terms of the restrictive condition;”

The restrictive Condition E.4.(b) of Title Deed T32073/2021 is in favour of the township as a whole and manages building lines which protects the character of the area. Building lines are now controlled by the municipality, thus Condition E.4.(b) is considered redundant and procedurally cumbersome.

“(c) the personal benefits which will accrue to the person seeking the removal of the restrictive condition, if it is removed;”

	The proposed removal of Condition E.4.(b) from Title Deed T32073/2021 will allow for the existing garage to be retained. <i>“(d) the social benefit of the restrictive condition remaining in place in its existing form;”</i> Condition E.4.(b) of Title Deed T32073/2021 restricts building lines and thus manages the character of the area. The application proposal for a garage on the application area side boundary is consistent with the character of the area. Building lines are also managed by the municipality, thus still protecting the character of the area and therefore there are no social benefit of the restrictive condition remaining in place. <i>“(e) the social benefit of the removal or amendment of the restrictive condition; and”</i> The removal of Condition E.4.(b) of Title Deed T32073/2021 will allow for an existing garage on the application area which is a private property and does not impact on social benefits. <i>“(f) whether the removal, suspension or amendment of the restrictive condition will completely remove all rights enjoyed by the beneficiary or only some of those rights.”</i> Condition E.4.(b) of Title Deed T32073/2021 is proposed to be completely removed, but does not grant any rights and does therefore not affect any rights. <u>The determination of an administrative penalty</u> The following information with regards to the administrative penalty is provided as required according to Chapter X, Section 90(3): (a) <u>The nature, duration, gravity and extent of the contravention;</u> The garage was widened up to the property boundary in 2010 by previous owners without the required approvals. The area of the garage exceeding building lines is 15m². (b) <u>The conduct of the person (allegedly) involved in the contravention;</u> The contraventions were done by previous owners, therefore the details are not known. (c) <u>Report by a quantity surveyor in matters of unauthorised building/construction;</u> Two sets of quotations aligned with the Overstrand Municipality requirements are provided in lieu of a report by a quantity surveyor. The quotations / cost estimate totals are R161000 and R158789. - See Annexure K (d) <u>Whether the unlawful conduct was stopped</u> The garage is still in place hence the application for the legalisation thereof. (e) <u>Whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law</u> We are not aware of any contraventions by the existing owner. c. Desirability The application proposal is considered desirable for the following reasons: • The application proposal is compatible with the character of the area. • The application proposal does not impact on views, privacy or light of neighbouring properties. • The application proposal is considered consistent with the relevant policy documents with the exception of building lines which is being applied for. • The legalisation of the existing garage exceeding the side building line is the most cost effective and resource efficient solution.
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d. Planning Principles

In terms of Chapter VI of the Spatial Planning and Land Use Management Act, 2013 the following Planning Principles have been applied to the application site:

- 1) **Spatial Justice** which refers to the need for redressing the past apartheid spatial development imbalances and aims for equity in the provision of access opportunities, facilities, services and land.

Possible results of the development

The application proposal is to legalise an existing garage and will not impact on spatial justice.

The application proposal is **consistent** with the principle of **spatial justice**.

- 2) **Spatial Sustainability** which refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

Possible results of the development

The application proposal will allow for an existing garage on a single residential property and will not impact on valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic or cultural landscapes.

The application proposal is **consistent** with the principle of **spatial sustainability**.

- 3) **Efficiency** which refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

Possible results of the development

The application proposal will allow for an existing structure on a single residential property and will not impact on spatial structure or efficiency.

The application proposal is **consistent** with the **efficiency principle**.

- 4) **Spatial Resilience** which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

Possible results of the development

The approval of the existing garage will avoid property and financial loss by the property owners.

The application proposal is **consistent** with the principle of **spatial resilience**.

- 5) **Good Administration** which, in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

Possible results of the development

Consultative practices are being followed in this application as it is done in consultation with the Planning Department of the Municipality who will also advertise the application in such a manner as to enable the relevant government tiers and the general public to participate in the eventual decision-making process.

The application proposal is **consistent** with the principle of **good administration**.

5. Conclusion

The application as motivated in this report is regarded **desirable** and consistent with the character of the area.

It is therefore recommended that the application **be approved** in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020, for the following:

- A permanent departure to relax the southern side building line from 2m to 0m to allow for an existing garage in terms of Chapter IV, Section 16(2)(b).
- The removal of Condition C.(ii)(4) from Title Deed T29315/2023 in terms of Chapter IV, Section 16(2)(f).
- The determination of an administrative penalty in terms of Chapter IV, Section 16(2)(f).

CONSTRUCTION NOTES:

Only applicable where deemed necessary to the material and construction detail. All discrepancies to be listed and indicated, in writing, to the architect/ designer prior to commencement of works.

AUTHORITIES:

- Main Contractor and Sub Contractors to ensure that all work is done in strict accordance with the latest regulations and requirements of related authorities including:
- a) National Building Regulations (NBR)
 - b) South African National Standards (SANS)
 - c) Local Municipal Authority (By-Laws)
 - d) CSIR – "Technical Guide to Good House Construction"
 - e) National House Building Registration Council (NHBRC)
 - f) Estate Architectural Guidelines & Regulations (housing only)
 - g) All other relevant Authorities GENERAL

DRAWING STATUS

The Contractor to ensure that the latest drawings are used on site prior to the commencement of work.

Only the latest construction drawings issued by the Architect/ Designer as "construction drawings" with a date may be used for construction of the works. All superseded drawings must be removed from the site. One set of the Local Authority Approved Plan/ Drawings to be kept on site at all times.

One set of the latest construction drawings to be kept on site at all times, and available for the Architect/ Designer/ Consultants and other Authorities.

GENERAL

Quality of materials and workmanship to comply with the latest relevant Codes & Specifications of SABS and the minimum standards of Standard Preliminaries (JBCC) and the Model Preliminaries for Trades (SANS 2008) and where applicable Project Specifications and/or Bill of Materials. This drawing to be read in conjunction with other Project Drawings, Construction Documents and building contract / agreement documents. Contractors must view the site and works to allow for everything necessary to complete the works.

Contractor(s) to check the details on this drawing for compliance with standards of good building practice with particular reference as per Clause "Authorities" and report any discrepancies in writing to the Architect/ Designer.

No setting out is to commence before the site boundary pegs position are verified and pointed out by the Land Surveyor. The Contractor to ensure that the correct setting out, including that which is from the boundary and building lines is done prior to commencement of ANY work. The contractor to verify all local council, utility service providers and existing work(s) which is the responsibility of the contractor. The contractor to verify all levels, heights and dimensions on site and check the same against drawings before any work commences.

Any errors, discrepancies or omissions as well as queries are to be immediately reported to the Architect/ Designer for clarification before any work is taken in hand.

DRAINAGE

Closed system to conform to national building regulations. First inspection eye (i.e.) to be min. 450mm below ground level with a min.

Fall of all 110mm diameter pipes 1:60 and a max.

fall of 1:40. (SANS 10400P)

Rodding eyes (i.e.) to join drain in direction of flow at maximum angle 45 degrees and to be continued up to ground level & adequately marked & protected.

BRICK TIES & REINFORCEMENT

Approved SABS butterfly tie wires to be used in cavity wall. Where the cavity is greater than 50mm, but less than 100mm, or the height of the wall is greater than 3m, approved SABS galvanized drip wall tie, to minimum specifications, to be used. Brickface on parapets and gables and / or balustrade walls to be used of least every third brick course.

ELECTRICITY

All electrical cables and wires in walls, floors, concrete soffits and ceilings shall run in SABS approved conduits and / or trunking and / or cable trays.

ENERGY DEMAND

Allowed: 5w/m²

ENERGY CONSUMPTION

Allowed: 5kwh/m².a or 5kwh/m² (a=1 year)

ENGINEERING & STRUCTURAL

All structural works to be designed by a structural engineer, appointed by the Client. The engineer to specify all foundations, footings, retaining walls, masonry walls, columns, piers, concrete slabs, beams, and structural steel work.

All foundations specified on drawings to be verified by engineer. Provision to be made for reinforcement where the soil conditions require stability. All structural firms to be inspected by, and have passed inspection by, the engineer, prior to closing up of the work.

EXTERNAL

Hardwood frames to all external doors as supplied by Swartland or equally approved. Internal doors to be timber as selected by client.

FILLING MATERIAL

Filling material(s) under floor slabs to consist of suitable material and to be compacted in 150mm layers, to a density of at least 90% Mod AASHTO (SANS 10400 J:2010 4.4.5.7)

FOUNDATIONS

Foundations to be in accordance with appointed Engineer's details & specifications. Where Engineer is not appointed: Continuous strip foundation to be minimum 250mm thick, unless laid on solid rock, and minimum 750mm wide to load bearing or free standing walls and 400mm wide for non-load bearing masonry walls (SANS 10400 H). Foundations to boundary walls not to exceed property / erf boundary.

GENERAL

- If underfloor heating is installed, the floor slab must be insulated with insulation material with a minimum r-value of 1.00
- Hot water supply requirements: Geysers are to be wrapped in insulation blanket with an r-value to satisfy part XA of SANS 10400.
- A minimum of 50 of the annual average heating requirement for hot water must be provided by means other than electric resistive heating or fossil fuels.
- Check with manufacturer, subject to:
SANS 1307, SANS 10106, SANS 6211-1, SANS 6211-2, SANS 10254, SANS 10252-1
- Where applicable, solar & heat pump installations are to be by specialists.
- All exposed hot water pipes >80mm in diameter must be insulated with a material that has a minimum r-value of 1.00

GEYSER

3000 Eskom approved solar geyser to be supplied, geyser cylinder to be wrapped in 80mm thick suitable insulation blanket. All specifications to be in accordance with SANS 10252-1 & SANS 10106.

GEYSER DRIP TRAY

Drip tray to comply with SANS 11848 drip tray specification. Drip tray(s) to be supplied with adaptor for connecting the waste pipe to the tray.

GLAZING

All glazing to comply to SANS 10400-N.

Glass panels lower than 500 mm from the FFL or greater than 1m² to be minimum 6.38mm thick safety glass.

All safety glazing materials (individual panes) shall be Permanently marked. Such marking to be visible after installation and comply with SABS 1263.

Thickness of glazing subject to wind load expectation - to be in accordance with SABS 0137.

All glazed aluminium windows, residential sliding doors, shop fronts, entrances screens, window- and curtain walling, skylights and space enclosures should meet the minimum recommended performance requirements as set out by AAAMSA in their general specification for Architectural Aluminium and Glass Products.

No glazed architectural aluminium products should be installed on site before relevant AAAMSA Performance test certificates for the product have been provided.

Frosted / obscure glass to windows in bathrooms & toilets.

HEALTH & SAFETY

The Client is to ensure that the Contractor, in terms of the Occupational Health and Safety Act, Act 85 of 1993, with specific reference to the Construction Regulations, complies with the minimum requirements.

HOT WATER DEMAND, STORAGE & HEATER POWER

ACCORDING TO SANS 10252-1

As per attached XA schedule

HOT WATER REQUIREMENTS

The 100 l hot water cylinder is to be wrapped with a 80mm thick suitable insulation blanket and an Eskom approved solar geyser must be fitted. (min 100l or equal & approved).

Hot water demand as per SANS 10252-1.

All specifications & installations will be done in accordance with SANS 10106. 50% hot water from alternate source.

LIGHTING

Energy saving CFLs to be used.

Lighting to be max 5w per sq/m per SANS 204.

NATURAL VENTILATION & LIGHTING

Provide minimum of 10% of floor area or 2m² area of opening for natural lighting to all habitable rooms inclusive of frames & glazing bars.

Provide minimum of 5% of floor area or 2m² (whichever is greatest) to each habitable room. (SANS 10400 I)

Buildings with up to 15% fenestration area to net floor area, per storey, to comply with the minimum energy performance requirements.

Buildings exceeding 10% per storey shall comply with requirements for fenestration as per SANS 204. Air leakage should comply with SANS 613.

PLASTER

Cement plaster, consisting of 5:1 sand & lime and 10% cement.

Smooth wood trowelled finish internally, smooth plastered finish externally where indicated.

Stipple textured plaster to walls where applicable and indicated on elevations.

PREMABLE

All work will be constructed in compliance with the National Building Regulations.

SANS 10400 and the Energy Efficiency Act, SANS 204, and all Local Authority By-Laws.

PRE-CAST UNITS

Units over all openings exceeding 1.5m with DPC (375 micron) stepped over.

Openings exceeding 4.8m in width to engineer's design.

RAINWATER GOODS

150x12mm fibre cement fascias fixed with brass screws to rafter ends.

125mm PVC gutters to 75mm diameter downpipes to catchpits. 110mm diameter underground PVC piping according to stormwater layout.

ROOF

Zinc aluminium or aluzinc - detail to be confirmed by architectural professional. Indicated roofing material of specified pitch, fixed in accordance with the manufacturer's recommendations. 38 x 38mm SA pine battens at 450mm c/c on 1430 fire retardant aluminium foil insulation or similar insulation on 38 x 14 mm v6 grade SA pine rafters and or SABS mitek nail plate. Manufactured trusses, secured on 114 x 38mm SA pine wallplate anchored with 2 x 3 mm galvanized hoop iron built a minimum of 600mm into brickwork.

All in accordance with the manufacturers recommendations.

SANS 10400 XA REQUIREMENTS

Roof overhang to remain at min. 300mm.

No doors & windows specs can be altered in any way without a recalculation.

All insulation to roof, pipework etc. to be strictly adhered to.

SURFACE BED

Surface beds to be in accordance with appointed engineer's details & specifications.

Where engineer is not appointed: selected floor finish material on 30mm cement: sand screed on 80mm thick concrete surface bed in accordance with SANS 50197-1:2002 cement Part 1: composition, specification and conformity criteria for common cements, stone and sand to conform to SANS 1083:2006.

Mesh ref no 193, to all surface beds where depth of fill exceeds 100mm.

DPC 250µm (or equally approved) damp proof membrane under concrete surface beds conforming to SANS 952-1:2011. laid with minimum 250mm overlaps, to be turned up around perimeter of and of at least for full thickness of surface bed and sealed pressure sensitive tape or equally approved sealant.

Clean compacted sand backfill - G7 quality 400mm minimum thick

Clean compacted sand backfill - G7 quality back to natural soil strata.

50 mm clean sand blinding layer. Trench to be cleaned and squared before casting of concrete. Blinding layer to be compacted with mechanical compactor.

DPC 375µm (or equally approved) damp proof course in solid walls conforming to sans 952-1:2011, laid with minimum 250mm overlaps.

WALLS

All bricks to comply with SABS 227. All external walls to be 230mm cavity walls with clay bricks. All internal walls to be 90mm clay bricks. Walls to comply with SANS 10400 I.

DPC 375µm (or equally approved) damp proof course below all cills and above all slabs, openings and other bridges to cavity walls and vertical DPC to sides of all openings. Weep holes @ 600mm intervals. DPC under cavity walls must be 150mm above finished ground level and cavity beneath DPC must be filled with a mortar support fillet.

WINDOWS & DOORS

All windows and sliding fold-a-side doors to be aluminium framed.

All frames to be fixed to walls with galvanized hoop iron built into wall at 600mm c/c in 3:1 cement mix.

WINDOW CILLS

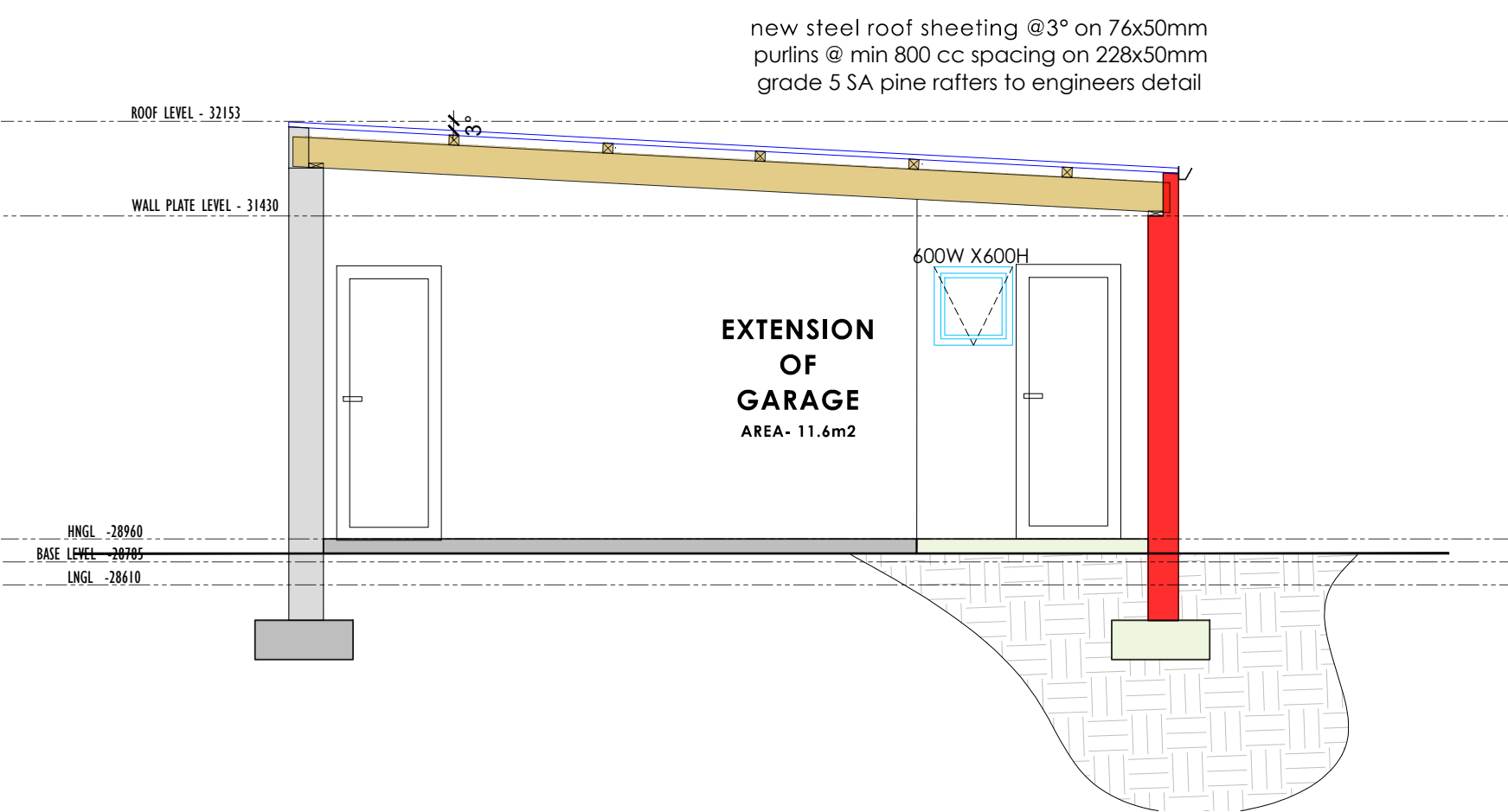
Internal - Plastered window cills except in bathrooms. Interior cills fixed bathrooms.

External - Window cills are plastered & painted brick on edge with DPC under.

ERF 5667

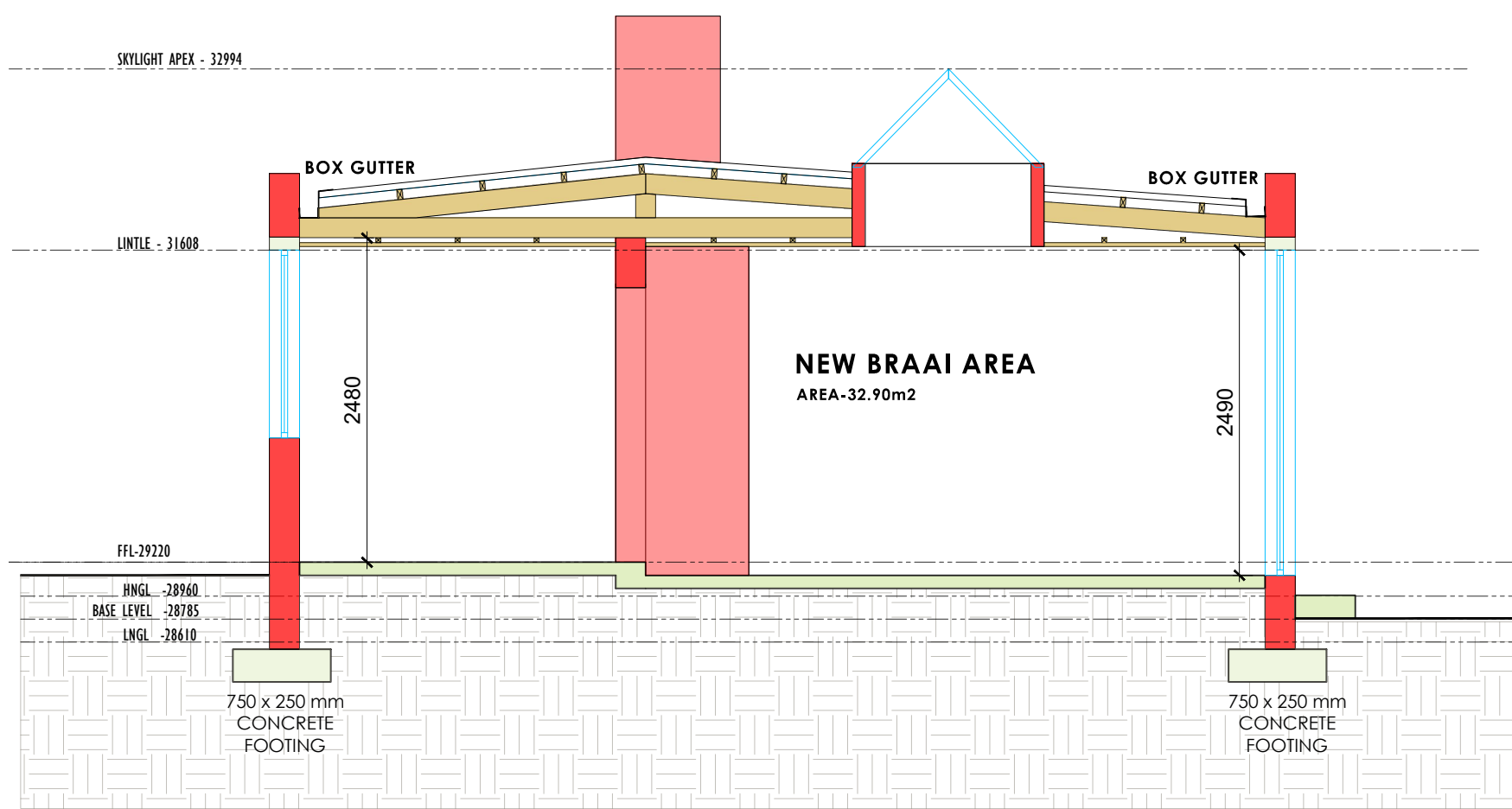
ERF 4647

FLOOR PLAN_SCALE 1:100



SECTION A_SCALE 1:50

SITE/ROOF PLAN_SCALE 1:200



SECTION B_SCALE 1:50

GENERAL NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED AND VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCING ANY WORKS

FIGURED DIMENSIONS ARE TO TAKE PREFERENCE TO SCALING. ALL DISCREPANCIES ON DRAWINGS OR INTENDED VARIATIONS FROM DRAWINGS ARE TO BE CLEARED WITH THE PROJECT MANAGER BEFORE COMMENCING

ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH REGULATIONS AS LAID DOWN IN THE NATIONAL BUILDING REGULATIONS.

ALL EXISTING MATERIAL REMAINS THE PROPERTY OF THE OWNER UNLESS OTHERWISE STATED.

SUBMISSION CALCULATIONS

MUNICIPAL BY-LAW / ESTATE REGULATIONS	Site Area	763m ²
Zoning	SR1	
Permitted Coverage	50%	
Maximum Height	8m	
Street Building Line	4m	
Common Building Line	2m	

EXISTING	Building Footprint	215m ²
Building Coverage	28.17%	
Ground Storey Area	215m ²	
Total floor area	215m ²	

PROPOSED	Additional floor area	60m ²
Proposed total floor area	275m ²	
Proposed floor factor	0.36	
Building Coverage	36%	

ISSUED FOR
INFORMATION ONLY

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architecture

ARCHITECTURE
PROJECT MANAGEMENT

INFO@GROWARCHITECTURE.COM
WWW.GROWARCHITECTURE.COM

UNIT 15, CANAL EDGE 4, TYGER WATERFRONT, BELLVILLE
087 702 7619 | 082 681 4454

PROJECT:
HOUSE SUE DANRIDGE

LOCATION:
52 ALBERTYN STREET
NORTHCLIFF, HERMANUS

ERF: 4646

DRAWING:
ADDITIONS AND
ALTERATIONS

DATE: 2026 04 22	DRAWN: JB
SCALE: AS INDICATED	DWG. No. 101
OWNER'S SIGNATURE:	ARCH. SIGNATURE:

